

Approved
MRE 11/5/25

Record Detail * (This section is required.)

Permit Type	Permit Number	Opened Date
Building/Residential/Garage/Attached	B25004518	10/10/2025

Description of Work
New attached garage, 1 STORY, Slab on Grade, 0R, 0FB, 0HB, 0FP, OTHER STRUCTURE = Attached Garage, 0BR, PORCH/DECK = N/A, ENERGY METHOD = N/A, undefined.

Online BP. 9/8 10/22/25

[check spelling](#)

Address * (This section is required.)

Search Reset Clear Get Parcel & Owner

Street #	Street Name	Street Type	
14118	HOWARD	RD	
Unit Type	Unit #	X Coordinate	Y Coordinate
--Select--		-77.00213	39.24587
City	State	Zip Code	Primary
DAYTON	MD	21036	Yes

Parcel * (This section is required.)

Search Reset Clear Get Address & Owner

GIS ID *	Parcel	Parcel Area	Land Value	Improved Value	Exemption Value	Plan Area
1063010	31	3.06	296600	547900	251300	RURAL

Legal Description
IMPSLOT 1 3.0610 A.[]14118 HOWARD RD[]DAYTON

[check spelling](#)

Block	Lot	Census Tract	Council Dist	Inspection Dist	Supervisor Dist	Map #	DAP Zone
	1	605101	5				
Plan Area	State Tax Id	Subdivision Name					
	1405362792	Studdard Property					
Section	Area	Tax Map					
		27					
Grid	Zoning District	ADC Map					
27-6	RC-DEO	4932-K1					
SDP No.	Final Plan No.	WP File No.					
	ECP-11-005						
Record Plat No.	WS Contract No.	FDP No.	Primary				
21838			Yes				
Owner Occupied	Year Built	Historic District					
<input type="radio"/> Yes <input type="radio"/> No	1959	<input type="radio"/> Yes <input checked="" type="radio"/> No					
Historic District Registry No.	Stat Area	Flood Plain					
	5-01	<input type="radio"/> Yes <input checked="" type="radio"/> No					
Building No							

Owner (This section is not required.)

Search Reset Clear

Name *
NICHOLSON

Address Line 1
14118 Howard Rd

Address Line 2

Address Line 3

Mail City
Dayton

Mail State
MD

Mail Zip Code
21036

Phone
7863500050

Primary
Yes

E-mail

Cell Number Fax Number

Professionals (This section is not required.)

License # *
08050156219

License Type *
MHIC Co

Primary
Yes

Business Name
L & C GENERAL CONTRACTING LLC

First Name **Middle Name** **Last Name**
▼ JAYDA JULIANA GIRON

Address Line 1
▼ 504 E DIAMOND AVENUE SUITE F

Address Line 2

City **State** **ZIP Code**
GAITHERSBURG MD 20877-0000

Phone 1 **Phone 2** **Fax**
2406727355

E-mail
JAYDA0JULIANA@GMAIL.COM

Applicant (This section is not required.)

Search **As Owner** **As Lic. Prof** **As Contact**

Type *
Applicant

Relationship
--Select--

Primary
Yes

First Name **MI** **Last Name**
▼ Jayda Giron

Full Name
▼ Jayda Giron

Organization Name

Street Address
504 E Diamond Ave Suite F

Address Line 2

City **State** **Zip Code**
Gaithersburg MD 20877

Phone **Cell** **Fax**
240-672-7355

E-mail *
jayda@landcgc.com

Contact (This section is not required.)

Search **As Owner** **As Lic. Prof** **As Contact**

Type
Contact

Relationship
--Select--

Primary
No

First Name **MI** **Last Name**
▼ Jonathan Studdard

Full Name
▼ NICHOLS MARILYN JOYCE

Organization Name
NICHOLS MARILYN JOYCE

Street Address
14118 Howard Rd.

Address Line 2

City **State** **Zip Code**
Dayton MD 21036

Phone **Cell** **Fax**
7863500050

E-mail
jonathan.studdard@gmail.com

Addtl Info

Est Construction Cost * **Housing Units *** **Number of Buildings *** **Public Owned**
30000 0 0 No

Construction Type
--Select--

RESIDENTIAL ADDITION INFORMATION

RESIDENTIAL ADDITION INFORMATION

Capital Project-No Fee *

Yes No

Capital Project Number

(Text)

Fee Exempt *

Yes No

Roadside Tree Project Permit

Yes No

Roadside Tree Pr

No of Stories * 1 (Text) Foundation * Slab on Grade Basement * Unfinished No of Rooms * 0 (Text) Full Baths * 0 (Number) Ha 0

Model *
New attached garage
[check spelling](#)

Other Structure * Attached Garage
W & S Fees Paid Yes No
1st Floor Width FT (Number)
1st Floor Depth FT (Number)
2nd Floor Width FT (Number)
2nd Floor Depth FT (Number)
Basement Width FT (Number)
Basement Depth FT (Number)
Height FT (Number)
Total Square Footage * 4800 SQFT (Number)
Occupiable Square Footage * SQFT (Number)
Affordable Housing Funding * --Select--
Foundation Measurement (Text)
Walls (Text) Roof (Text)
Change In Use Yes No
Grading Permit No (Text)
Senior Housing Yes No
MIHU Outside Downtown Columbia Yes No

Additional Description Info
[check spelling](#)
Expiration Date 4/20/2026
MIHU Required Units (Num)

GREEN INFORMATION

Goal Level --Select-- Actual Level --Select-- Leed Registration Number (Text) Date of Leed Certification

STORM WATER MANAGEMENT

Green Roofs A1 Yes No
Permeable Pavements A2 Yes No
Reinforced Turf A3 Yes No
Disconnection of Rooftop Runoff N1 (Number)
Sheeflow to Conservation Areas N3 Yes No
Rainwater Harvesting M1 (Number)
Submerged Gravel Wetlands M2 (Number)
Landscape Infiltrator
Dry Wells M5 (Number)
Micro Bioretention M6 (Number)
Rain Gardens M7 (Number)
Swales M8 (Number)
PSWM Certification Received in CID on

Submit Cancel

Hickory Ridge Farm
Lot 6
12958 Highland Rd

Clerk of the Circuit Court for
Howard County
9250 Judicial Way
Ellicott City, MD 21043
410-313-2111
Receipt Ref# 1022251302001013
Terminal: 13PRD474 Operator: 49
10/22/2025 14:48:43

Agreement Recording Fee \$60.00
Name: SYED
Ref: 8
Fee Amount: \$20.00
Agreement Surcharge: \$40.00

Payments

Credit Card \$60.00
Card Type: VISA
CC #: 5997
Authorization #: 05247G
Order Id: 76071384
AID: A0000000031010
ARC: 3030
IAD: 06011203A00000

Total Due \$60.00
Total Received \$60.00

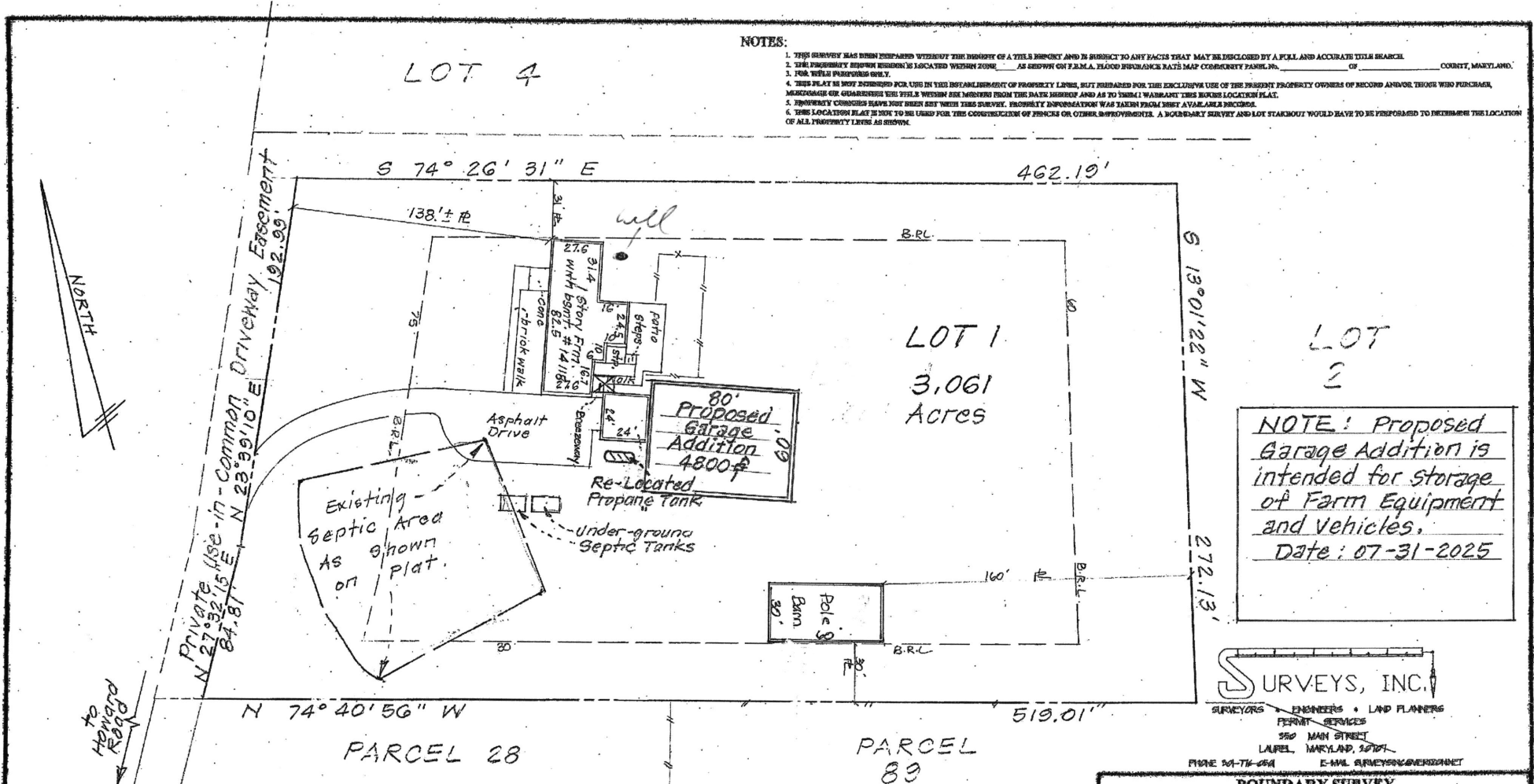
X _____
Signature

~Thank you for visiting us today~

LOT 4

NOTES:

1. THIS SURVEY HAS BEEN PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO ANY FACTS THAT MAY BE DISCLOSED BY A FULL AND ACCURATE TITLE SEARCH.
2. THE PROPERTY'S BOUNDARY HEREON IS LOCATED WITHIN ZONE _____ AS SHOWN ON F.R.M.A. FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. _____ OF _____ COUNTY, MARYLAND.
3. FOR THE PURPOSES ONLY.
4. THIS PLAN IS NOT INTENDED FOR USE IN THE ESTABLISHMENT OF PROPERTY LINES, BUT PREPARED FOR THE EXCLUSIVE USE OF THE PRESENT PROPERTY OWNERS OF RECORD AND/OR THOSE WHO PURCHASE, MORTGAGE OR GUARANTEE THE TITLE WITHIN THE MENTIONED FROM THE DATE HEREOF AND AS TO THEM; WARRANTING THE BOUNDARY LOCATION PLAT.
5. PROPERTY CORNERS HAVE NOT BEEN SET WITH THIS SURVEY. PROPERTY INFORMATION WAS TAKEN FROM BEST AVAILABLE RECORDS.
6. THIS LOCATION PLAT IS NOT TO BE USED FOR THE CONSTRUCTION OF FRONTS OR OTHER IMPROVEMENTS. A BOUNDARY SURVEY AND LOT STAKING WOULD HAVE TO BE PERFORMED TO DETERMINE THE LOCATION OF ALL PROPERTY LINES AS SHOWN.



NOTE: Proposed Garage Addition is intended for storage of Farm Equipment and Vehicles.
Date: 07-31-2025

SURVEYS, INC.
SURVEYORS • ENGINEERS • LAND PLANNERS
PERMIT SERVICES
350 MAIN STREET
LAUREL, MARYLAND, 20707
PHONE 301-776-0584 E-MAIL SURVEYS@GMAIL.COM

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT THIS LOT SURVEY IS BASED ON A FIELD SURVEY PERFORMED BY MYSELF OR DIRECTLY UNDER MY SUPERVISION. INFORMATION HEREON WAS OBTAINED FROM COUNTY LAND RECORDS AND TO THE BEST OF MY KNOWLEDGE AND BELIEF IS CORRECT, THAT PROPERTY CORNERS HAVE BEEN FOUND AND/OR SET AS INDICATED.

2-8-25
DATE

Gregory O. Bennett
GREGORY O. BENNETT
REGISTERED PROFESSIONAL
LAND SURVEYOR No. MD. 10994



DRAWN BY TO/LC
CHECKED BY T.O.
DATE 7-8-25
SCALE 1" = 50'
JOB NO. 1267-25
CASE NO. Johnathan

BOUNDARY SURVEY
14118 Howard Road
LOT(S)/PARCEL ONE BLOCK/TM 27
STUDDARD PROPERTY
5th ELECTION DISTRICT
Howard COUNTY, MARYLAND
LIBER _____ FOLIO _____
FLATBOOK NDR FLAT 21938 DWG No. MS-490-A

PROP. 30' WELL SETBACK
FUTURE 16" WIDE
N-COMMON DRIVEWAY

PROPOSED PRIVATE WELL BOX
1,500 S.F.

PROP. 30' WELL SETBACK

PROP. 100' ENVELOPE

PROP. LOT 1
16,395 S.F.
AC. 3/4-

516.10'

EX. WOOD FENCE LINE

S137°01'22"W 275.38

22.42'
S74°40'56"E

PROP. BUILDING

PROPOSED PRIVATE WELL BOX
1,500 S.F.

PROP. 30' WELL SETBACK

PROP. 100' WELL ENVELOPE

PROP. LOT 2
134,242.46 S.F.
(3.08 AC. 4/1-)

TP-10
EL. 526.81

TP-11
EL. 531.02

PROP. SEPTIC RESERVATION AREA
10,000 S.F.

TP-12
EL. 521.16

TP-14
EL. 530.92

TP-13
EL. 527.17

TP-15
EL. 520.67

N 51°25'22" W 309.12'
MATCHLINE SEE SHEET 2

EX. WOOD FENCE LINE

Approved Perc cert
8-12-09

544

542

538

S87°09'27"E 6-370.70'

534

532

530

528

526

LAYOUT _____ INSP 4 _____
 INSP 2 _____ INSP 5 _____
 INSP 3 _____ INSP 6 _____

ISSUE DATE: 4/16/2010

APPROVAL DATE: _____

PERMIT
UPGRADE

P _____
 A _____

Tax ID # _____

ON-SITE SEWAGE DISPOSAL SYSTEM
HOWARD COUNTY HEALTH DEPARTMENT
BUREAU OF ENVIRONMENTAL HEALTH

Hatfield's Equipment IS PERMITTED TO INSTALL ALTER

ADDRESS: P.O. Box 519 Annapolis Jct. MD, 20701 PHONE NUMBER: 410-984-0047

SUBDIVISION: Studdard Property LOT NUMBER: 1

ADDRESS: 14118 Howard Road PROPERTY OWNER: Jonathan and Amy Studdard

SEPTIC TANK CAPACITY (GALLONS): 1500 OUTLET BAFFLE FILTER REQUIRED

PUMP CHAMBER CAPACITY (GALLONS): _____ COMPARTMENTED TANK REQUIRED

NUMBER OF BEDROOMS: 3 APPLICATION RATE: 0.8

SQUARE FOOTAGE OF HOUSE: ~2000

LINEAR FEET OF TRENCH REQUIRED: 115'

TRENCHES:	Trenches to be 3 feet wide. Inlet 3 feet below original grade. Bottom maximum depth 6 feet below grade. Effective area begins at 4 feet below original grade with 3 feet of stone below distribution pipe.
LOCATION:	Install 2 x 58' trenches on contour. Abandon existing septic tank and drywell.
NOTES:	Do not order the septic tank until after layout inspection and Sanitarian approval. Stake septic easement corners. Call for layout inspection. Mark utilities. Gravel tickets must be available for Environmental Sanitarians. Stone must be approved by the Howard County Health Department. A written variance request is required for tanks deeper than 3 feet. A traffic bearing lid is required for tanks deeper than 4 feet.

PLANS APPROVED: Heidi Scott DATE: 12/6/11

- NOTE: PERMIT VOID AFTER 2 YEARS
- NOTE: CONTRACTOR RESPONSIBLE FOR SCHEDULING A PRE-CONSTRUCTION INSPECTION FOR ALL INSTALLATIONS
- NOTE: WATERTIGHT SEPTIC TANKS REQUIRED
- NOTE: ALL PARTS OF SEPTIC SYSTEM SHALL BE 100 FEET FROM ANY WATER WELL
- NOTE: MANHOLE RISERS REQUIRED ON ALL SEPTIC TANKS AND PUMP CHAMBERS
- NOTE: AN ELECTRICAL PERMIT IS REQUIRED FOR INSTALLATION OF ANY ELECTRICAL COMPONENTS OF THE SYSTEM

NEITHER THE HOWARD COUNTY COUNCIL OR THE HEALTH DEPARTMENT IS RESPONSIBLE FOR THE SUCCESSFUL OPERATION OF ANY SYSTEM PERMITTEE RESPONSIBLE FOR OBTAINING FINAL APPROVAL ON THIS PERMIT CALL 410-313-1771 FOR INSPECTION OF SEPTIC SYSTEM



Cochranville Pole Buildings
941 Steelville Rd Cochranville, PA 19330
Business: 610-470-8216

Building Specifications

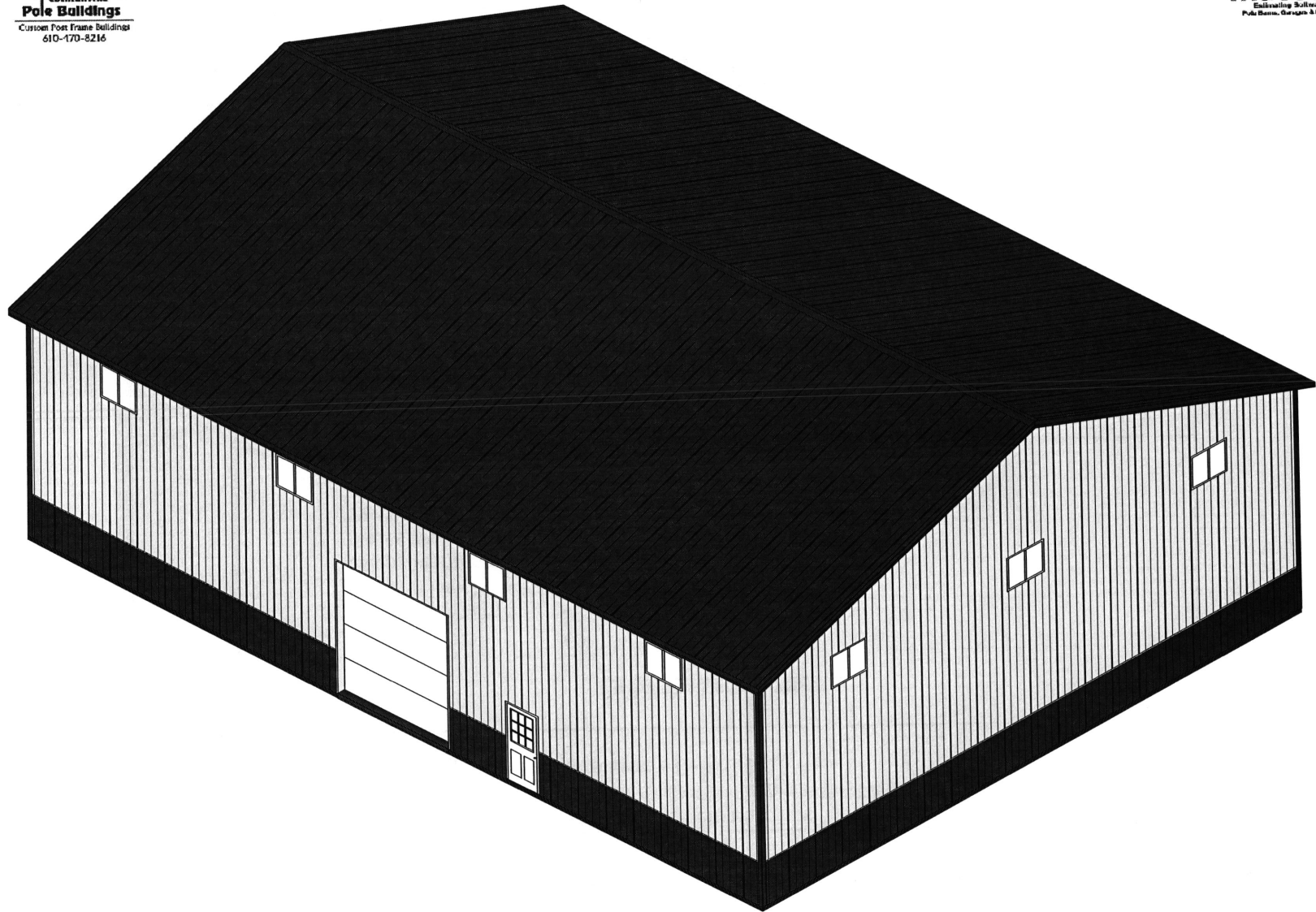
Building Width	60'
Building Length	80'
Building Height	20'
Eave Overhang	12 in.
Gable Overhang	12 in.
Pitch of Roof	4 in./12
Style of Building	Post Frame

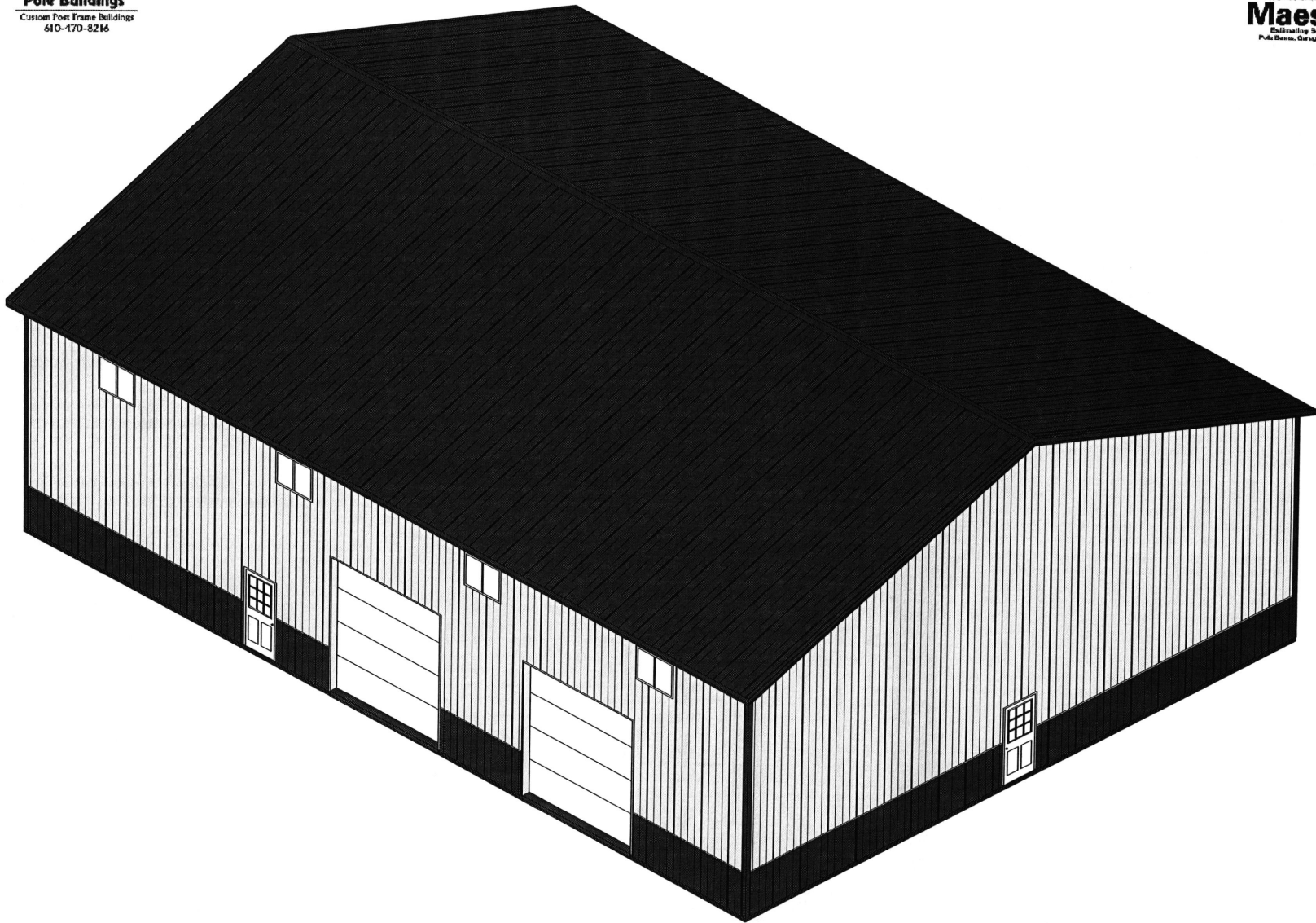
Customer Name	Jonathan Studdard
Customer Address	14118 Howard Rd. Dayton, MD 21036
Customer Phone	Call 786-350-0052

powered by Symun Systems, Inc. www.symun.com

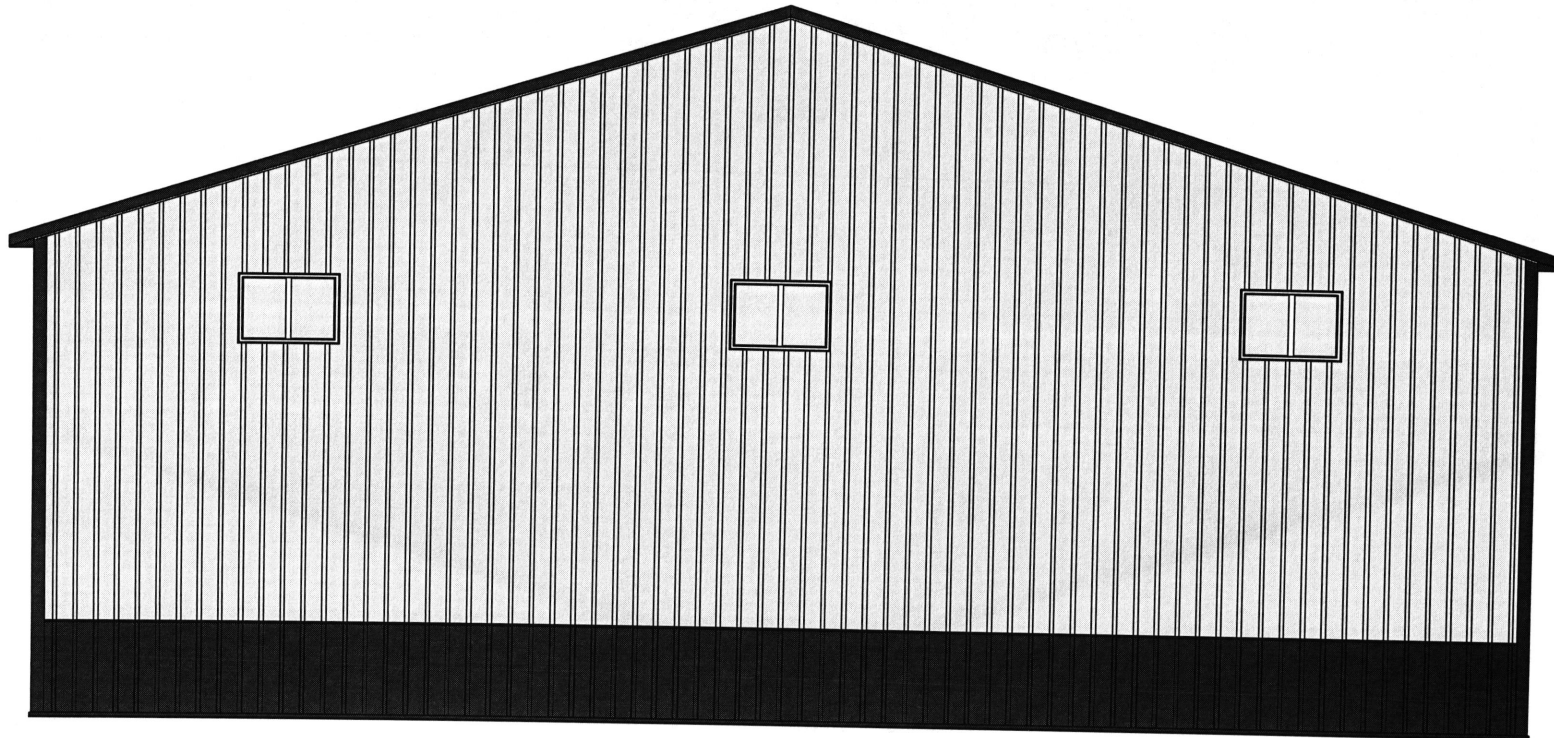
Note: The reports, elevations, diagrams, and drawings included in this estimate are not architectural blueprints. The builder is responsible for structural integrity, proper usage of materials, and adhering to local building codes. Always be sure to verify the materials and drawing packet with your local building inspector, engineer, or architect. Every effort has been made to create accurate and detailed drawings and reports. However, due to the number of combinations of materials that can be used, there exists the possibility for errors. This packet is an estimate and should be reviewed by the builder before starting the project. Symun Systems, Inc accepts no responsibility for engineering, building codes violations, or the structural integrity of the building.

"Jonathan Studdard
Estimate Number: 653
9/4/2025"



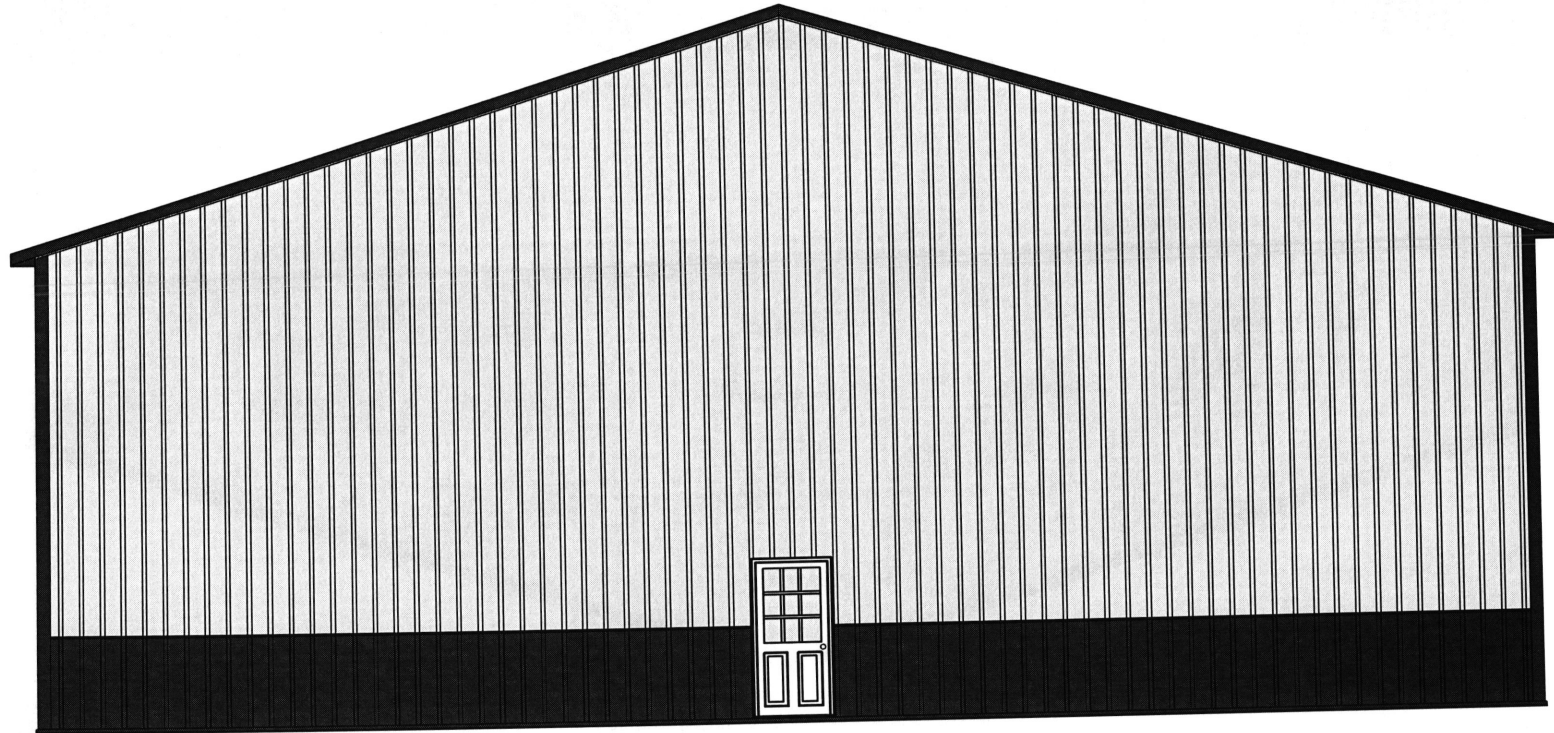


EAST SIDE-GABLE SIDE 1 ELEVATION



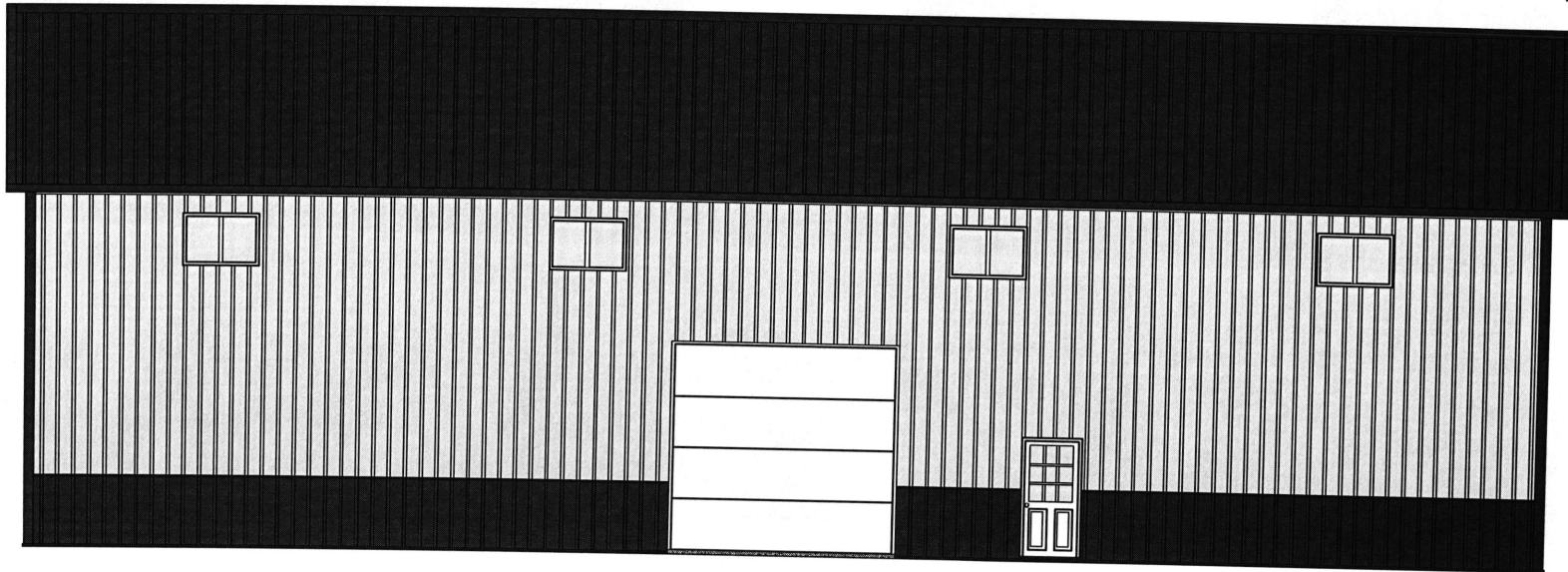


WEST SIDE-GABLE SIDE 2 ELEVATION





SOUTH SIDE-EAVE SIDE 1 ELEVATION





NORTH SIDE-EAVE SIDE 2 ELEVATION

