

Approved  
11/21/25

Menu Save Reset Cancel Help

Record Detail \* (This section is required.)

Case #  
EH-PLANS-25-0

Type  
EnvHealth/Environmental Health/Plan Check/Application

Status  
In Review

Opened Date  
11/10/2025

Single Entry Edit-View Record Form

Application Name  
B25004813

Online BP. 8/8 11/18/25

Description  
SFD/ CREATE RETAINING WALL THAT WILL BE 8' AT THE HIGHEST POINT WITH PILLARS ON TOP AND ALSO THE CREATION OF STAIRS AND WILL BE 29' LONG\*\*GUARDRAILS ARE REQUIRED IN CONJUNCTION WITH WALKWAYS, SUBJECT TO FIELD INSPECTION\*\*

Total Invoiced  
0.00

Total Paid  
0.00

Balance  
0.00

Assigned to Department Current Department  
Well and Septic Progr

Assigned to Staff Current User  
Zack Silvast

Address \* (This section is required.)

New Search Delete Set Primary

Parcel (This section is not required.)

Search Delete Get Address & Owner Set Primary

| <input type="checkbox"/> Primary | Parcel # | Book | Page | Parcel | Parcel Area | Land Value | Improved Value | Exemption Value | Legal Description | Tract |
|----------------------------------|----------|------|------|--------|-------------|------------|----------------|-----------------|-------------------|-------|
| 0 record(s) found.               |          |      |      |        |             |            |                |                 |                   |       |

Owner (This section is not required.)

Search Delete Set Primary

Applicant \* (This section is required.)

Search As Owner As Lic. Prof As Contact

Single Entry Applicant Form

Type \*  
Applicant

Primary  
Yes

First Name \*  
Robert

Middle Name

Last Name \*  
Fricke

Home Phone ((xxx)xxx-xxxx)

Organization Name \*  
n/a

Mobile Phone ((xxx)xxx-xxxx)  
(240) 381-7210

E-mail  
rob.fricke@yahoo.com

Business Phone ((xxx)xxx-xxxx)

Preferred Channel  
--Select--

Applicant Address

New Look Up Deactivate Remove

Custom Fields

DATE TRACKING

Received Date  Due Date

Dates to Complete  Received by Food

(Number)

Food Review Type  Equipment Specification Sheets Submitted

Equipment Specification Sheet  Received by Community Hygiene

Received by Well and Septic

FACILITY INFORMATION

Name of Business (dba) \*  (Text)

Associated Building Permit Number  (Text)

Owner Switch Date

Does the project include an Aquatic Facility such as a Public Pool? If Yes, forward to CH Program.  
 Yes  No

Does the project include Private Septic? If Yes, forward to WS Program.  
 Yes  No

Is this a Prototype Food Service Facility? If Yes, refer to State.  
 Yes  No

Facility Fax  (Text)

Days of Operation  (Text)

Does this project have a Building Permit?  
 Yes  No

Building Permit Issued Date

Non-Profit

Does the project include Private Well? If Yes, forward to WS Program.  
 Yes  No

Does the project include Food Services? If Yes, forward to FP Program.  
 Yes  No

Facility Phone  (Text)

Facility Email  (Text)

PROPERTY INFORMATION

Water Source  Sewage Disposal

Design Wastewater Flow  Permit Type

(Number)

DEVELOPMENT PLANS

Property Type  Plan Version

Signature Required  Yes  No Engineer

Number of paper copies  (Text)

Number of buildable lots created  Number of mylar copies

(Number) Number of non-buildable lots created

Total Number of Lots  (Number)

Associated Plans

WELL AND SEPTIC INTERNAL

State Review Required  Yes  No Coordinate State Review  Yes  No

Proposed Septic System Type

FOOD ESTABLISHMENT FACILITY

Priority Assessment  Licensed Type

License Category

**FOOD ESTABLISHMENT INFORMATION**

Hours of Operation

(Text)

Operating Seasonally Only

If Operating Seasonally, What is the start month?

(Text)

Are pets allowed in a outdoor seating area?

Yes  No

Full Bar?

Yes  No

**RESTAURANT AND FOOD SERVICE**

Food Service Facility Secondary Category

--Select--

Total Seating Capacity

(Number)

Number of Restrooms

(Number)

Interior Restaurant Seating Capacity

(Number)

Bar Seating Capacity

(Text)

Outdoor Seating Capacity

(Text)

Does the restaurant have outdoor seating

Yes  No

**EQUIPMENT**

Evaluated non NSF, ANSI, CF or other standards

Yes  No

Description of Refrigeration Units

Number of Walk-In Refrigerator Units

(Number)

Description of Walk-In Freezer Units

(Text)

Is there a bulk ice machine available

Yes  No

Space Limitation

Number of Hand Sinks Available

(Number)

Hood System

(Text)

Ventless Equipment

(Text)

**PLUMBING**

Size and installation of the water heater?

(Text)

Is there a grease interceptor or grease trap?

--Select--

**REFUSE AND RECYCLABLES**

Dumpsters Located on a impervious surface?

--Select--

Will there be a grease receptacle?

--Select--

**WAREWASHING DISHWASHING**

Dishwashing Method

--Select--

**HACCP**

Plan Review Response Letter Received

Yes  No

Date HACCP Approved by the State

Date HACCP Plan Submitted

HACCP Plan Approved

HACCP Plan Review

Plan Review Letter Mailed

HACCP Plan Revision Submitted

HACCP Fee Type

--Select--

**FINISHING SCHEDULE**

Kitchen Floor / Bar Flooring

--Select--

Kitchen Cove Base

--Select--

Storage - Food Storage Flooring

--Select--

Storage - Food Storage Cove

--Select--

Utensil Washing Area Flooring

--Select--

Utensil Washing Area Cove

--Select--

Dressing / Locker Room Flooring

--Select--

Dressing / Locker Room Cove

--Select--

Toilet Area Flooring

--Select--

Toilet Area Cove

--Select--

**STRUCTURAL SPECIFICATIONS AND GENERAL CONDITIONS (08/1)**

- WHERE THESE SPECIFICATIONS CONFLICT WITH OTHER PROJECT SPECIFICATIONS, THESE SPECIFICATIONS SHALL GOVERN.
- CONTRACTOR SHALL ASSUME RESPONSIBILITY AND/OR LIABILITY FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THESE PLANS, SPECIFICATIONS, AND THE DESIGN INTENT THEY COVER OR FOR PROBLEMS WHICH ARISE FROM OTHERS FAILURE TO OBTAIN AND/OR FOLLOW THE ENGINEER'S GUIDANCE.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH LOCAL APPLICABLE CODES AND REGULATIONS AND APPROPRIATE SAFETY MEASURES SATISFYING LOCAL AND OSHA REQUIREMENTS SHALL BE PROVIDED.
- PROPER TEMPORARY BRACING OF ALL CONSTRUCTION WORK IN PROGRESS IS THE CONTRACTOR'S RESPONSIBILITY.
- IF ANY DEMOLITION EXISTING CONDITIONS DO NOT AGREE WITH INFORMATION SHOWN ON THE DESIGN DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES DURING CONSTRUCTION AND THE REPAIR OF ANY DAMAGED FACILITIES.
- SECTIONS AND DETAILS SHOWN, WHILE DRAWN FOR SPECIFIC LOCATIONS, ARE INTENDED TO ESTABLISH THE GENERAL TYPES OF DETAILS TO BE USED THROUGHOUT.
- DRAWINGS SHOULD NOT BE SCALED. CONTACT THE ENGINEER FOR CLARIFICATION OF ANY DIMENSION IN QUESTION.
- ANCHOR BOLT LAYOUT SHALL BE PERFORMED UNDER THE DIRECTION OF A PROFESSIONAL LAND SURVEYOR.
- ALL DIMENSIONS SHALL BE VERIFIED BY THE CONTRACTOR. LAYOUT SHALL BE CHECKED AND COORDINATED BETWEEN ALL CONSTRUCTION DOCUMENTS AND SPECIFICATIONS PRIOR TO THE START OF WORK.
- SHOP DRAWINGS PREPARED BY THE SUBCONTRACTORS, SUPPLIERS, ETC. SHALL BE REVIEWED BY THE ENGINEER FOR CONFORMANCE WITH DESIGN CONCEPT ONLY. EACH SHOP DRAWING SUBMITTED SHALL BE STAMPED, INITIALED AND DATED AS BEING REVIEWED BY THE CONSTRUCTION MANAGER/GENERAL CONTRACTOR. WORK SHALL NOT BEGIN WITHOUT THE REVIEW BY THE ENGINEER.
- ANY ENGINEERING DESIGN PROVIDED BY OTHERS AND SUBMITTED FOR REVIEW OR RECORD SHALL BEAR THE STAMP AND SIGNATURE OF A PROFESSIONAL STRUCTURAL ENGINEER REGISTERED IN THE STATE IN WHICH THE PROJECT IS LOCATED.

**DESIGN DATA**

- BUILDING CODE = MARYLAND BUILDING CODE (2021 INTERNATIONAL BUILDING CODE)
- LIVE LOAD: 100 PSF
- LATERAL SOIL LOAD:
  - A. SOIL UNIT WEIGHT = 120 PCF
  - B. ACTIVE PRESSURE = 30 PSF/FT.

**CONSTRUCTION PROCEDURES AND SAFETY REQUIREMENTS**

- THE CONTRACT STRUCTURAL DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE. UNLESS OTHERWISE INDICATED, THEY DO NOT INDICATE THE MEANS OR METHODS OF CONSTRUCTION.
- PROVIDE ALL MEASURES NECESSARY TO PROTECT THE WORKMEN AND OTHER PERSONS DURING CONSTRUCTION. PROVIDE ALL NECESSARY BRACING TO AVOID EXCESSIVE STRESSES AND TO HOLD THE STRUCTURAL ELEMENTS IN PLACE DURING CONSTRUCTION. SUCH MEASURES SHALL INCLUDE, BUT NOT BE LIMITED TO, BRACING, SHORING FOR CONSTRUCTION EQUIPMENT, SHORING FOR EARTH BANKS, FORMS, SCAFFOLDING, PLANKING, SAFETY NETS SUPPORT AND BRACING FOR GRABES AND HOSTS, CAVING, ETC.
- ENGAGE PROPERLY QUALIFIED PERSONS TO DETERMINE WHERE AND HOW TEMPORARY PRECAUTIONARY MEASURES SHALL BE USED. OBSERVATION VISITS TO THE SITE BY STRUCTURAL ENGINEER'S FIELD REPRESENTATIVE SHALL NOT INCLUDE THE ITEMS NOTED ABOVE.
- SUPERVISE AND DIRECT THE WORK SO AS TO MAINTAIN SOLE RESPONSIBILITY FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES. RETAIN THE SERVICES OF A PROFESSIONAL STRUCTURAL ENGINEER LICENSED IN THE STATE IN WHICH THE PROJECT IS LOCATED TO DESIGN AND SUPERVISE ANY SCAFFOLDING FOR WORKMEN, AND ALL SHORING OF FORMS AND ELEMENTS OF THE CONSTRUCTION.

**FOUNDATION CONSTRUCTION**

- ALLOWABLE SOIL BEARING PRESSURE (NET) ASSUMED IN DESIGN IS 1,500 PSF (POUNDS PER SQUARE FOOT) BASED ON THE DEFAULT PARAMETERS PROVIDED IN BC.
- THE BOTTOM OF ALL EXTERIOR FOOTINGS SHALL EXTEND A MINIMUM OF 3" BELOW FINISHED GRADE (L.O.).
- EXCAVATE ALL FOUNDATIONS TO REASONABLE EXACT OUTLINE AND DEPTH AVOIDING OVER-EXCAVATION AND CAVING OF SURROUNDING MATERIAL. BOTTOMS OF ALL FOUNDATIONS SHALL BE DRY, SOIL PRODDEROLLED, AND ROCK SURFACES LEVELED AND CLEARED OF LOOSE DEBRIS PRIOR TO POURING.
- NEATLY LEVEL AND TRIM ALL FOUNDATION EXCAVATIONS PRIOR TO SETTING STEEL.
- PIPES EXTENDING UNDER FOOTINGS SHALL BE PLACED BEFORE FOOTING IS PLACED AND THE VOID PRODUCED IN LAYING THE PIPES SHALL BE FILLED WITH 3,000 PSI CONCRETE.
- THOROUGHLY COMPACT ALL FOUNDATION AND SLAB SURGRADE MATERIAL PRIOR TO PLACEMENT OF STONE BASES OR CONCRETE.
- PROVIDE WEATHERTIGHT COVERING FOR ALL FOUNDATIONS AFTER EXCAVATION. DO NOT EXPOSE TO RAINWATER OR FREEZING.
- WHERE FOUNDATIONS ARE FORMED, BACKFILL EDGES IMMEDIATELY AFTER FORM REMOVAL.
- NO FILL OR BACKFILL SHALL BE PLACED AGAINST RETAINING OR FOUNDATION WALLS UNTIL GROUT OR CONCRETE HAS ATTAINED DESIGN STRENGTH AND SUPPORTING MEMBERS ARE IN PLACE. UNLESS PRIOR WRITTEN APPROVAL IS OBTAINED FROM THE ENGINEER.
- ALL BACKFILL SHALL BE GRANULAR MATERIAL APPROVED BY THE ENGINEER AND DEPOSITED AND MACHINE COMPACTED IN MAXIMUM LAYERS. COMPACTION SHALL BE A MINIMUM OF 95% OF THE MAXIMUM DRY WEIGHT DENSITY AT THE OPTIMUM MOISTURE CONTENT IN ACCORDANCE WITH ASTM D1557 (MODIFIED PROCTOR) AS VERIFIED BY A TESTING LABORATORY.
- ALL BACKFILL ADJACENT TO RETAINING STRUCTURES SHALL BE COMPACTED USING HAND OPERATED EQUIPMENT. NO HEAVY EQUIPMENT SHALL BE ALLOWED WITHIN 5 FEET OF ANY WALL.

**STAIRS AND RAILINGS**

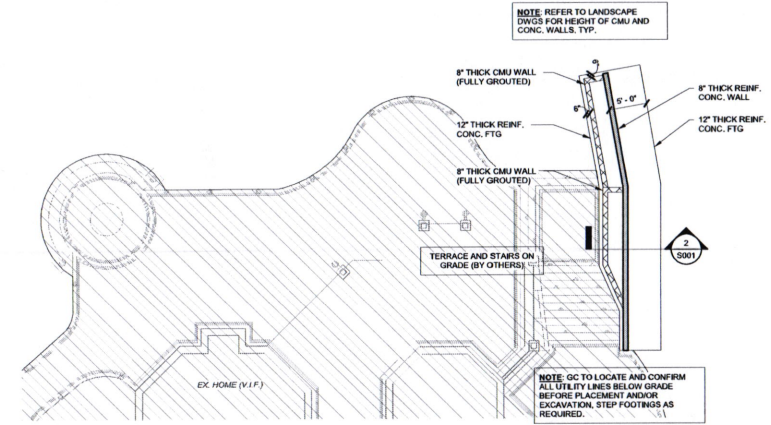
- THE STAIR SUPPLIER SHALL BE RESPONSIBLE FOR THE DESIGN OF ALL STAIRS AND LANDINGS U.N.O. SHOP DRAWINGS AND DESIGN CALCULATIONS SEALED BY A PROFESSIONAL STRUCTURAL ENGINEER LICENSED IN THE STATE IN WHICH THE PROJECT IS LOCATED SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL.
- STAIRS AND LANDINGS SHALL BE DESIGNED FOR A MINIMUM LIVE LOAD OF 100 PSF IN ADDITION TO THEIR SELF-WEIGHT.
- RAILINGS SHALL BE DESIGNED FOR A MINIMUM LIVE LOAD OF 50 PLF (POUNDS PER LINEAR FOOT) OR A 200 LB POINT LOAD APPLIED AT THE TOP OF THE RAIL IN ANY DIRECTION, IN ADDITION TO SELF-WEIGHT.

**CAST-IN-PLACE CONCRETE CONSTRUCTION**

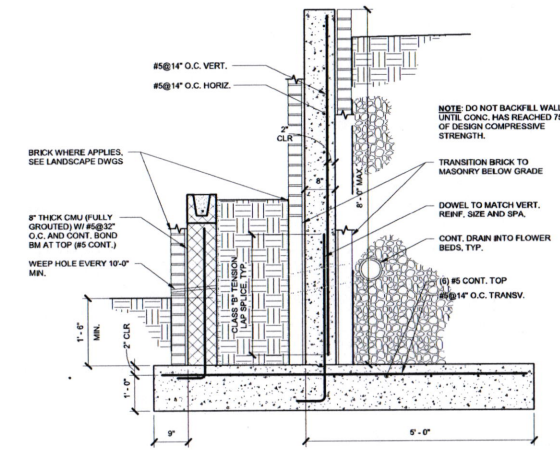
- ALL CONCRETE WORK SHALL CONFORM TO THE REQUIREMENTS OF ACI 318, BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE, LATEST EDITION, AND ACI 301, SPECIFICATIONS FOR STRUCTURAL CONCRETE, LATEST EDITION, INCLUDING ALL REVISIONS, EXCEPT AS MODIFIED HEREIN.
- CONCRETE SHALL BE SUPPLIED BY A QUALIFIED READY-MIXED CONCRETE PLANT IN ACCORDANCE WITH THE CONCRETE MIX REQUIREMENT CHART.
  - A. ENTRAINED AIR = +1 TO 7% (ALL CONCRETE PERMANENTLY EXPOSED TO WEATHER, ALL FOOTINGS AND WHERE OTHERWISE NOTED).
  - B. COARSE AGGREGATE SHALL BE AASHTO NO. 57 STONE.
  - C. MAXIMUM AGGREGATE SIZE = 1.5"
  - D. SUBMIT MIX DESIGNS TO ENGINEER FOR APPROVAL. NO ADMIXTURES PERMITTED WITHOUT ENGINEER'S APPROVAL.
  - E. CHLORIDE CONTAINING ADMIXTURES ARE NOT PERMITTED.
  - F. FINE AGGREGATE MUST BE NATURAL SAND, UNLESS APPROVED BY THE ENGINEER.
  - G. AIR-ENTRAINING ADMIXTURES ARE NOT PERMITTED ON TROWEL FINISHED SLABS, OTHER POZZOLANS MAY BE SUBSTITUTED FOR PORTLAND CEMENT UP TO 25% OF THE CEMENTITIOUS CONTENT. CONCRETE MIXES USING THESE MATERIALS MUST BE APPROVED BY THE ENGINEER.
  - H. WHEN CONCRETE ARRIVES AT THE PROJECT WITH SLUMP BELOW THAT SUITABLE FOR PLACING, AS INDICATED BY THE SPECIFICATIONS, WATER MAY BE ADDED ONLY IF NEITHER THE MAXIMUM PERMISSIBLE WATER-CEMENT RATIO NOR THE MAXIMUM SLUMP IS EXCEEDED. THE WATER SHALL BE INCORPORATED BY ADDITIONAL MIXING EQUAL TO AT LEAST HALF OF THE TOTAL MIXING REQUIRED. DISCHARGE OF THE CONCRETE SHALL BE COMPLETED WITHIN 1-1/2 HOURS, OR BEFORE THE TROU DRUM HAS REVOLVED 300 REVOLUTIONS, WHICHEVER COMES FIRST. AFTER THE INTRODUCTION OF THE MIXING WATER TO THE CEMENT AND AGGREGATES OR BEFORE THE INTRODUCTION OF THE CEMENT TO THE AGGREGATES, TRUCK BATCH SLIPS MUST INCLUDE TIME OF BATCHING, TOTAL DRUM REVOLUTIONS UPON ARRIVAL AT SITE, AND QUANTITY OF WATER (IN GALLONS) PER CUBIC YARD AVAILABLE TO BE ADDED TO ATTAIN THE MAXIMUM DESIGN WATER-CEMENT RATIO.
  - I. REINFORCING STEEL SHALL BE DEFORMED, BILLET-STEEL CONFORMING TO ASTM A615 GRADE 60, WELDING OF REINFORCING STEEL SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENT OF THE AWS CODE, D1.4, STRUCTURAL WELDING CODE - REINFORCING STEEL, LATEST EDITION, AND SHALL BE PERFORMED ONLY BY QUALIFIED WELDERS.
  - J. REINFORCING STEEL SPLICES SHALL BE ACI CLASS B SPLICES U.N.O.
  - K. PROVIDE ADEQUATE BOLTS, SPLICERS, SUPPORT BARS, ETC., TO MAINTAIN SPECIFIED CLEARANCE FOR ALL REINFORCING BARS. PROVIDE ACCESSORIES WHICH ARE PLASTIC TYPED OR GALVANIZED WITH TURNED UP ENDS FOR REINFORCEMENT AT ALL FACES OF EXPOSED CONCRETE, INTERIOR OR EXTERIOR.
  - L. SCHEDULE THE POURING OF FOUNDATIONS ON THE SAME DAY THE EXCAVATION IS COMPLETED.
  - M. CURE ALL CONCRETE IN ACCORDANCE WITH ACCEPTED ACI STANDARDS AND CONFORMANCE TO ACI 308.1, STANDARD SPECIFICATION FOR CURING CONCRETE. LATEST EDITION FOR THE WARMEST CASES WITH THE LONGEST CURING PERIOD. ALL CONCRETE CONSTRUCTION AND PROCEDURES SHALL CONFORM TO THE REQUIREMENTS OF ACI 308.1, STANDARD SPECIFICATION FOR COLD WEATHER CONCRETE AND ACI 301, SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS, LATEST EDITION.
  - N. NO ALUMINUM DRY TYPE SHALL BE ALLOWED IN THE CONCRETE WORK UNLESS COATED TO PREVENT ALUMINUM CONCRETE REACTION.
  - O. MECHANICALLY VIBRATE CONCRETE. VIBRATORS NEED ONLY TO BE VIBRATED AROUND FLOOR DUCTS AND OTHER EMBEDDED ITEMS.
  - P. DO NOT PLACE PIPES, DUCTS, REGISTERS OR CHIMNEYS IN STRUCTURAL CONCRETE OR COMPOSITE FLOOR SYSTEMS WITHOUT APPROVAL OF THE STRUCTURAL ENGINEER.
  - Q. MAXIMUM FREE DROP OF ANY CONCRETE = 6'-0"
  - R. CHAMFER ALL EXPOSED CONCRETE EDGES A MINIMUM OF 1/4" x 1/4"
  - S. PROVIDE A MINIMUM CONCRETE COVER FOR REINFORCING BARS AS FOLLOWS U.N.O.
    - A. FOOTING = 2" EARTH FACE, 2" ALL OTHERS
    - B. CONCRETE WALLS, PIERS AND BEAMS = 2" EARTH FACE, 1-1/2" ALL OTHERS
  - T. CONCRETE FINISHES, AS DEFINED IN CHAPTER 6 OF ACI 301, SHALL BE AS FOLLOWS, U.N.O.:
    - A. FORMED SURFACES NOT EXPOSED TO PUBLIC VIEW - ROUGH-FORM FINISH
    - C. WALLS AS INDICATED + RUBBED FINISH
  - U. PROVIDE VERTICAL CONTROL JOINTS IN CONCRETE WALLS AT A MAXIMUM 30'-0" O.C. SPACING. COORDINATE EXACT CONTROL JOINT LOCATIONS WITH ARCHITECT. SUBMIT A CONTROL JOINT LOCATION PLAN TO THE ENGINEER FOR APPROVAL.

**CONCRETE MASONRY CONSTRUCTION**

- ALL CONCRETE MASONRY SHALL CONFORM TO REQUIREMENTS OF ASTM C90 (GRADE N, 1) UNLESS NOTED OTHERWISE. CONCRETE MASONRY CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF ACI 530/ASCE 5/TMS 602, BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES, LATEST EDITION, AND ACI 530.1/ASCE 5/TMS 602, SPECIFICATIONS FOR MASONRY STRUCTURES, LATEST EDITION, INCLUDING ALL SUPPLEMENTS.
- 28 DAY DESIGN COMPRESSIVE STRENGTH OF MASONRY (F<sub>m</sub>) USED IS AS FOLLOWS:
  - A. STANDARD MASONRY = 1,500 PSI
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE TEMPORARY BRACING OF ALL MASONRY CONSTRUCTION. BRACING SHALL REMAIN IN PLACE UNTIL MASONRY HAS HAD SUFFICIENT TIME TO GAIN DESIGN STRENGTH, WHERE MASONRY ATTACHES TO FLOOR AND/OR ROOF SYSTEMS. BRACING SHALL REMAIN IN PLACE UNTIL THE DIAPHRAGM HAS BEEN ANCHORED IN ITS FINAL POSITION.
- GROUT LIFTS FOR REINFORCED MASONRY WALLS SHALL NOT EXCEED 6 FEET IN HEIGHT. ALL MORTAR SHALL CONFORM TO ASTM C270. MORTAR SHALL BE TYPE S (2019 MIX RATIO OF CEMENTA MESSAND) WITH AN AVERAGE 28-DAY COMPRESSIVE STRENGTH OF 1800 PSI FOR ABOVE GRADE WALLS. MORTAR SHALL BE TYPE M (4112 MIX) WITH AN AVERAGE 28-DAY COMPRESSIVE STRENGTH OF 2500 PSI FOR WALLS BELOW GRADE OR EXPOSED TO EARTH. MORTAR SHALL BE TYPE M FOR ALL WAMY BLOCK.
- GROUT SHALL CONFORM TO THE REQUIREMENTS OF ASTM C935, FILL GROUTED CORES, BOND BEAMS, AND REINFORCED CELLS WHERE SHOWN ON PLANS WITH 3000 PSI SMALL AGGREGATE CONCRETE MIX WITH 1"-1 1/4" SLUMP.
- PROVIDE VERTICAL CONTROL JOINTS IN MASONRY WALLS SO THE DISTANCE BETWEEN JOINTS DOES NOT EXCEED THE LESSER OF 1/3 TIMES THE WALL HEIGHT, OR 25'-0". CONTROL JOINTS SHALL NOT BE PLACED GREATER THAN 8" FROM A BEARING PLATE OR JAMB OF AN OPENING. PROVIDE VERTICAL CONTROL JOINTS AT INTERSECTIONS OF REINFORCED AND UNREINFORCED WALLS, U.N.O. SUBMIT A DRAWING SHOWING CONTROL JOINT LOCATIONS TO THE ENGINEER FOR APPROVAL. COORDINATE EXACT CONTROL JOINT AND EXPANDED JOINT LOCATIONS WITH ARCHITECTURAL DRAWINGS.
- HORIZONTAL JOINT REINFORCEMENT SHALL CONSIST OF TRUSS TYPE ASTM A82 COLD DRAWN NO. 9 GAUGE GALVANIZED WIRE STRIPS GALVANIZED 18" O.C. CROSS RODS TO BE WELDED TO SIDE RODS AT 18" O.C. TO FORM A TRUSS. LAP SPLICES 6" MINIMUM. PROVIDE HORIZONTAL REINFORCING IN THE TWO COURSES ABOVE AND BELOW OPENINGS AND AT THE TOP OF WALLS OR PARTITIONS.
- MASONRY CORES SHALL BE GROUTED SOLID BELOW GRADE AND AT ALL STAIR AND ELEVATOR SHAFT WALLS.
- HEAD JOINTS SHALL BE MORTARED SOLID THE FULL DEPTH OF THE FACE SELL WEBS SHALL BE FULLY MORTARED AT GROUTED LOCATIONS.
- A MINIMUM OF ONE COURSE OF MASONRY SHALL BE GROUTED SOLID BELOW TRANSITIONS IN MASONRY THICKNESSES.
- COLD WEATHER MASONRY CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF ACI 530.1/ASCE 5/TMS602, LATEST EDITION.



**1 SITE PLAN - RETAINING WALL**  
SCALE: 1/8" = 1'-0"

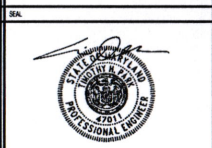


**2 SECTION THROUGH SITE RETAINING WALL**  
SCALE: 3/4" = 1'-0"



PROJECT  
**3095 SENECA CHIEF TRAIL**  
**ELLCOTT CITY, MD 21042**

FOR  
**ROBERT FRICKE**



| REVISION SCHEDULE |     |             |
|-------------------|-----|-------------|
| DATE              | NO. | DESCRIPTION |
|                   |     |             |
|                   |     |             |

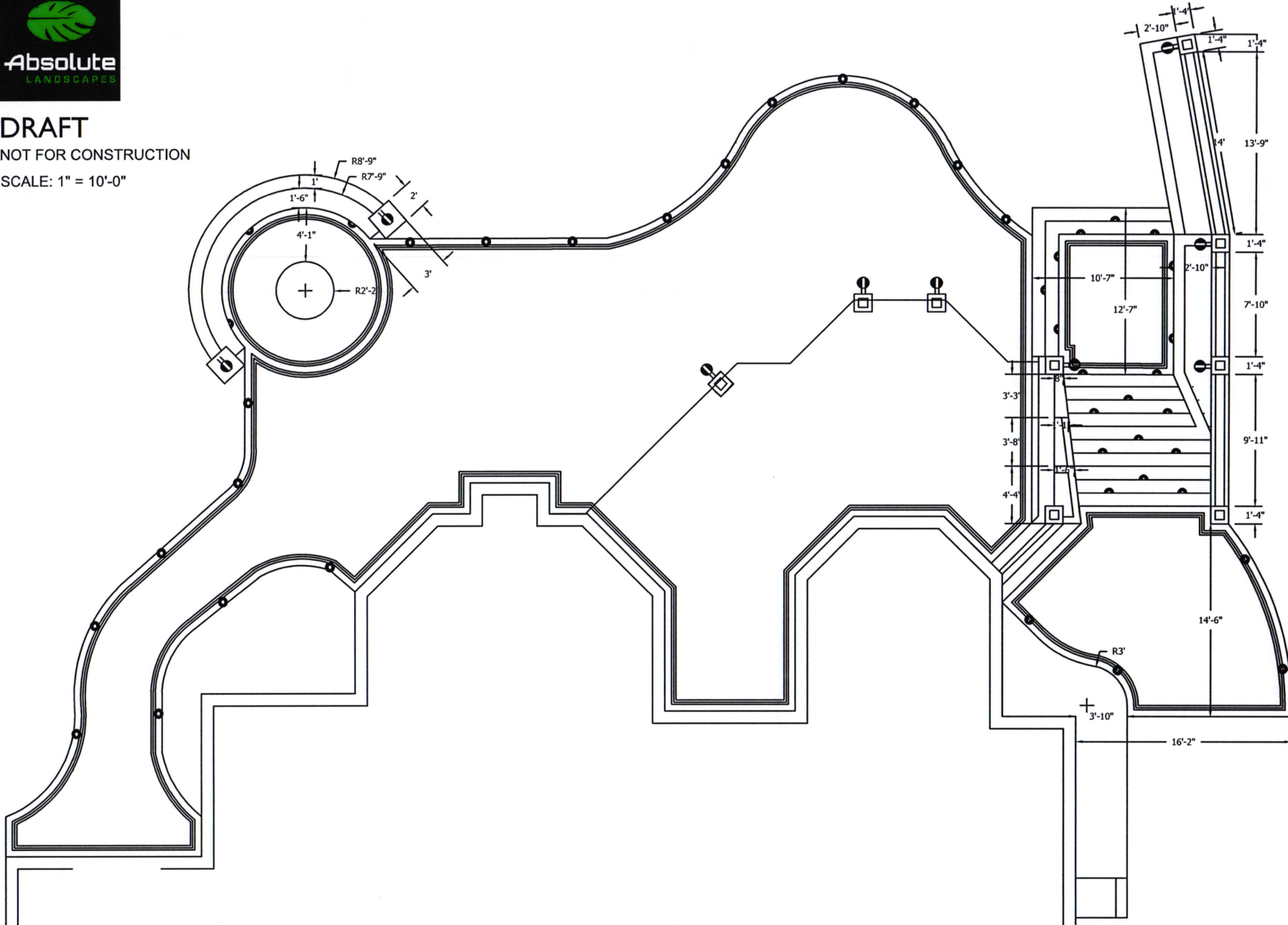
|             |   |
|-------------|---|
| JOB NUMBER  | 25999   |
| DRAWN BY    | AS  |
| DECDED BY   | TP  |
| SHEET TITLE | <b>SPECS ON SHEET, PLANS AND DETAILS, SOO1</b>                |
| SHEET NO.   | SOO1  |
| COMMENTS    | 2025 P&R CONSTRUCTION<br>© 2025 ONYX DESIGN + CONSULTING, LLC |



**DRAFT**

NOT FOR CONSTRUCTION

SCALE: 1" = 10'-0"



*FRICKE CONCEPT DESIGN*  
3095 Seneca Chief Trail  
Ellicott City, Maryland 21042

Date: Sept 5, 2025

Drawn By: JD

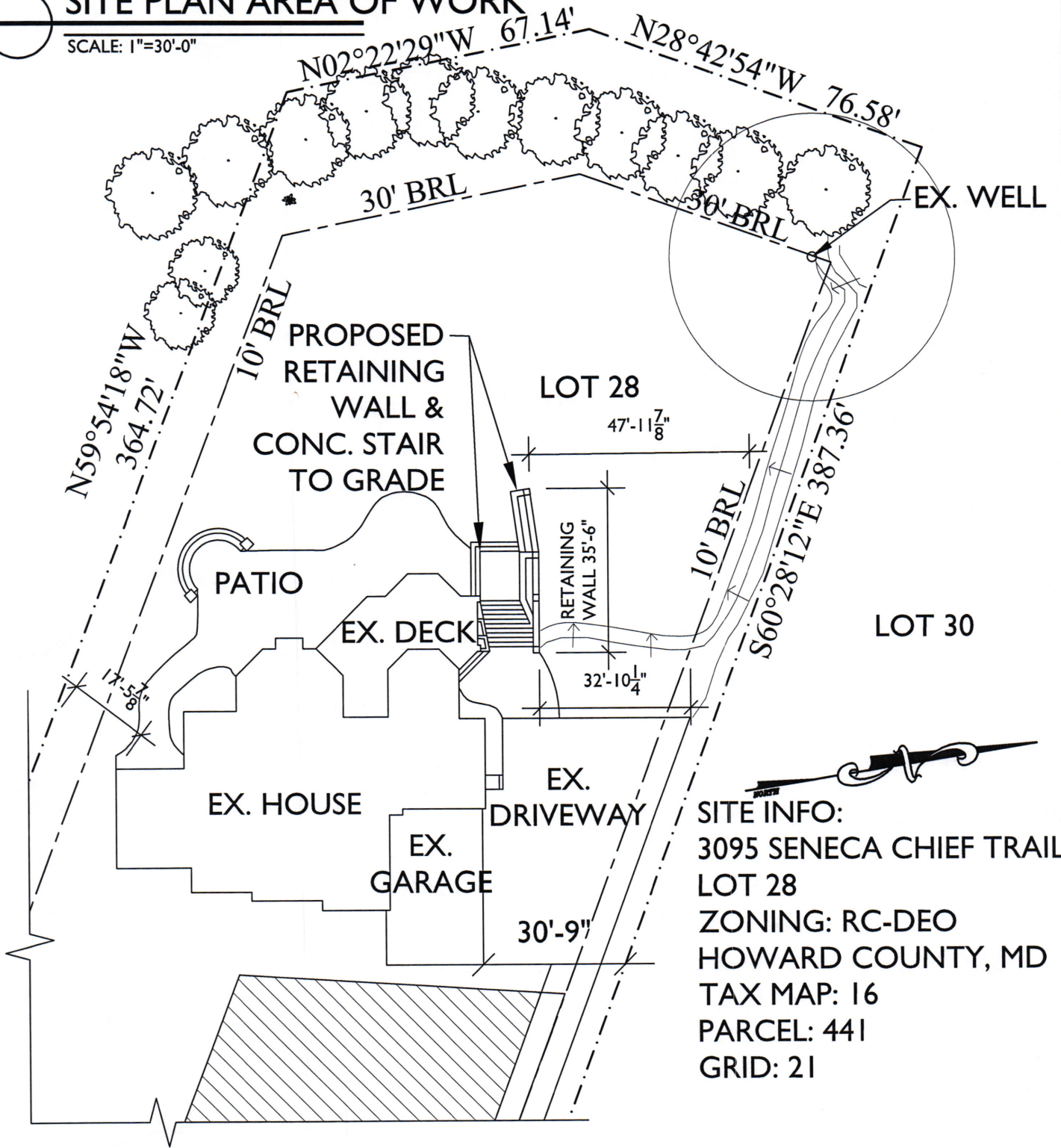
Project No.

Reviewed By:

SHEET: 1 OF 1

# SITE PLAN AREA OF WORK

SCALE: 1"=30'-0"



**SITE INFO:**  
 3095 SENECA CHIEF TRAIL  
 LOT 28  
 ZONING: RC-DEO  
 HOWARD COUNTY, MD  
 TAX MAP: 16  
 PARCEL: 441  
 GRID: 21

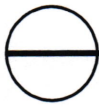


7612 Browns Bridge Rd  
 Highland, MD 20777  
 301-776-2666  
 info@TransformingArchitecture.com  
 www.TransformingArchitecture.com

## FRICKE RESIDENCE

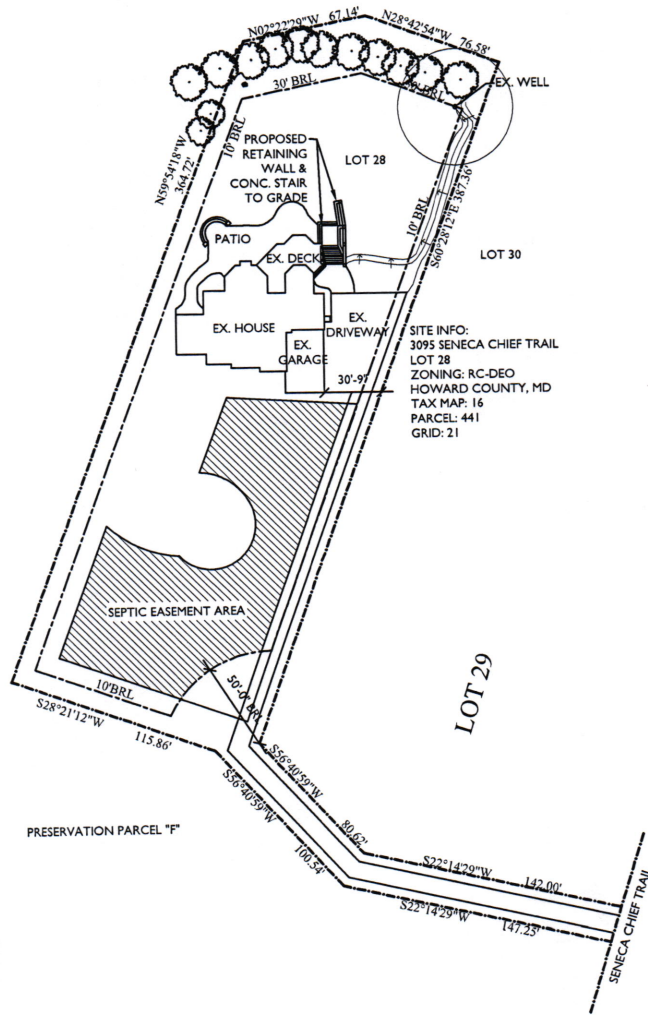
3095 SENECA CHIEF TRAIL  
 ELLICOTT CITY, MD 21042

DATE: 11-06-2025 PROJECT: 20-482



# SITE PLAN

SCALE: 1"=100'-0"



SITE INFO:  
 3095 SENECA CHIEF TRAIL  
 LOT 28  
 ZONING: RC-DEO  
 HOWARD COUNTY, MD  
 TAX MAP: 16  
 PARCEL: 441  
 GRID: 21



7612 Browns Bridge Rd  
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 301-776-2666  
 info@TransformingArchitecture.com  
 www.TransformingArchitecture.com

## FRICKE RESIDENCE

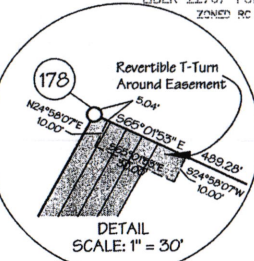
3095 SENECA CHIEF TRAIL  
 ELLICOTT CITY, MD 21042

DATE: 11-06-2025 PROJECT: 20-482

The requirements of 3-108, The Real Property Article, Annotated Code of Maryland, 1986 replacement volume, (as supplemented) as far as they relate to the making of this plan and the setting of markers have been complied with.

*D. Wayne Weller* 9/20/01  
 D. Wayne Weller, Surveyor No. 10665 Date  
*Walter Beck* 2/01/02  
 Brantwood, LLC Date

NOW OR FORMERLY  
 HOWARD COUNTY  
 RECREATION AND PARKS  
 LIBER 2270/ FOLIO 110  
 ZONED RC



| LINE | BEARING      | LENGTH |
|------|--------------|--------|
| L46  | S68°16'42" E | 20.20  |
| L47  | S28°45'18" W | 30.74  |
| L48  | N58°54'18" W | 165.54 |
| L49  | N22°27'24" W | 150.00 |
| L50  | S28°18'24" E | 69.66  |
| L51  | N52°11'28" W | 144.07 |
| L52  | N72°11'16" W | 54.42  |
| L53  | N64°37'36" W | 32.00  |
| L54  | S54°20'24" W | 22.00  |
| L55  | N72°02'32" W | 11.77  |
| L56  | S14°03'12" W | 24.80  |
| L57  | N69°02'02" E | 26.36  |
| L58  | S34°34'24" W | 81.12  |
| L59  | N67°54'18" E | 20.76  |
| L60  | N40°18'14" E | 28.00  |
| L61  | N85°56'11" E | 29.08  |
| L62  | N62°22'37" E | 12.44  |
| L63  | N69°02'02" E | 49.21  |
| L64  | S33°28'12" W | 81.01  |
| L65  | S56°33'47" W | 20.00  |
| L66  | S33°28'12" W | 75.00  |
| L67  | N67°02'32" W | 16.20  |
| L68  | S17°33'36" E | 42.81  |
| L69  | S09°49'18" W | 34.45  |
| L70  | N88°52'20" E | 137.29 |
| L71  | S58°19'12" W | 81.48  |
| L72  | S28°18'24" W | 20.00  |
| L73  | N67°05'12" W | 76.12  |
| L74  | N88°52'20" E | 150.81 |
| L75  | S41°56'18" W | 71.83  |
| L76  | N67°05'12" W | 46.18  |
| L77  | S64°29'42" W | 50.50  |
| L78  | S54°24'22" W | 43.50  |
| L79  | S64°50'24" E | 70.58  |
| L80  | S38°19'24" E | 34.74  |
| L81  | N56°42'18" W | 27.91  |
| L82  | N34°30'36" W | 28.88  |
| L82B | S66°18'12" E | 14.86  |
| L83  | S68°58'36" E | 40.34  |
| L84  | S24°16'36" W | 43.07  |
| L85  | N22°27'24" W | 132.00 |
| L86  | N58°54'18" W | 169.48 |
| L87  | N28°45'18" E | 70.27  |

**Reservation of Public Utility and Forest Conservation Easements**  
 Developer reserves unto itself, its successors and assigns all easements shown on this plan for the public utilities, public stormwater management facilities, floodplains, preservation parcels and forest conservation (designated as "Forest Conservation Area") located in, on, over and through Lots 28-30, Preservation Parcel "F" & "G". Any and all conveyances of the aforesaid lots shall be subjected to the easements herein reserved, whether or not expressly stated in the deed(s) conveying said lot(s). Developer shall execute and deliver deeds and/or declaration of covenants, as appropriate, for the easements herein reserved to Howard County with a metes and bounds description of the forest conservation area. Upon completion of the public utilities and their acceptance by Howard County, and in case of the forest conservation easement(s), upon completion of the developer's obligations under the forest conservation installation and maintenance agreement executed by the developer and the County, and the release of the developer's surety posted with said agreement. The deed(s) of easement and declaration of covenants shall be recorded in the Land Records of Howard County following recordation of the plat in accordance with the requirements of the Department of Planning and Zoning and Department of Public Works.

**AREA TABULATIONS (This Sheet)**

- Total number of lots and/or parcels to be recorded: 9
  - Buildable: 7
  - Non-Buildable: 0
  - Open Space: 0
  - Non-Buildable Preservation Parcels: 2
- Total area of lots to be recorded: 18,507.2 A.c.s
  - Buildable: 8,149.8 A.c.s
  - Non-Buildable: 0
  - Open Space: 0
  - Non-Buildable Preservation Parcels: 10,357.4
- Total area of road right-of-way to be recorded: 0 A.c.s
- Total area of subdivision to be recorded: 18,507.2 A.c.s

APPROVED: For Private Water and Private Sewerage Systems Howard County Health Department.  
*Ray Bunn* 12/31/01  
 Howard County Health Officer Date

APPROVED: Howard County Department of Planning and Zoning.  
*Walter Beck* 2/5/02  
 Director Date  
*Walter Beck* 1/17/02  
 Chief, Development Engineering Division Date

**CURVE DATA TABLE**

| Curve | Length  | Radius  | Chord Bearing | Chord Distance | Delta     | Tangent |
|-------|---------|---------|---------------|----------------|-----------|---------|
| C-8   | 315.44' | 800.00' | S76°19'38" E  | 313.40'        | 22°35'30" | 159.80' |

**SURVEYOR'S CERTIFICATE**  
 I hereby certify that the final plat shown hereon is correct; that it is a subdivision of all of the lands conveyed by Richard D. Talton, Trustee, to Brantwood, LLC, a Maryland limited liability company, by deed dated Jan. 10, 2002 and recorded among the Land Records of Howard County, Maryland in Liber 5947 Folio 422; and that all monuments are in place or will be in place prior to the acceptance of the streets in the subdivision by Howard County as shown, in accordance with the Annotated Code of Maryland, as amended.

*D. Wayne Weller* 9/20/01  
 D. Wayne Weller Professional Land Surveyor MD Reg. No. 10665 Date

Note: The Wetlands, Wetland Buffers, Stream Buffers and Floodplain, Environmental/Easement Legend information data shown hereon is for informational purposes only. Refer to Brantwood 31 (FOI-67) Plat No. 14871 - 14881.

**OWNER'S CERTIFICATE**  
 I, Brantwood, LLC, owner of the property shown and described hereon, hereby adopt this plan of subdivision, and in consideration of the approval of this final plat by the Department of Planning and Zoning, establish the minimum building restriction lines and grant unto Howard County, Maryland, its successors and assigns:  
 (1) The right to lay, construct and maintain sewers, drains, water pipes and other municipal utilities and services, in and under all roads and street right-of-ways and the specific easement areas shown hereon;  
 (2) The right to require dedication for public use the beds of the streets and/or roads and floodplains and open space where applicable, and for good and other valuable consideration, hereby grant the right and option to Howard County to acquire the fee simple title to the beds of the streets and/or roads and floodplains, storm drainage facilities and open space where applicable;  
 (3) The right to require dedication of waterways and drainage easements for the specific purpose of their construction, repair, and maintenance; and  
 (4) That no building or similar structure of any kind shall be erected on or over the said easements and rights-of-ways.  
 Witness by my hand this 1<sup>st</sup> day of February, 2002.

*Walter Beck* Brantwood, LLC  
*Kristyn Wagner* Witness

RECORDED AS PLAT NUMBER 15252  
 ON 2-14-02 AMONG THE  
 LAND RECORDS OF HOWARD COUNTY, MD.

**BRANTWOOD**  
 Section Three - Area Three  
 Lots 28-30 & Preservation Parcels "F" & "G"  
 A Re-subdivision of Brantwood - Section 3 Area 1  
 Non-Buildable Bulk Parcel "C"  
 Tax Map No. 16 - Grid No. 2 - Parcel 205  
 3rd Election District - Howard County, Maryland  
 Scale: As Shown. Date: September 2001 Sheet 2 of 3  
 Previous Submittals: WFSO-98, FSO-128, WFSO-55, FSO-08, WFSO-55 FSO-08 F01-67, F01-73

LDE, INC.  
 9250 Rumsey Road, Suite 106  
 Columbia, Maryland 21045  
 Phone (410) 715-1070

**Environmental/Easement Legend**  
 Centerline Stream  
 Non-Tidal Wetlands  
 25' Wetlands Buffer  
 75' Stream Buffer  
 100 Yr. Floodplain Ease.

**LEGEND**  
 Iron Pipe/Rebar Found  
 Stone/Concrete Monument Found  
 Rebar w/ Identification Cap Set  
 Concrete Monument Set

BRANTWOOD  
 SECTION THREE AREA ONE  
 F01-67  
 Plat No. 14871 - 14881

BRANTWOOD  
 SECTION TWO AREA ONE  
 PRESERVATION PARCEL "F"  
 F99-140  
 Plat #14135

**OWNER:**  
 BRANTWOOD, LLC.  
 8835 P - Columbia 100 Parkway  
 Columbia, Md. 21046

**DEVELOPER:**  
 BRANTWOOD, LLC.  
 8835 P - Columbia 100 Parkway  
 Columbia, Md. 21045