

Menu Save Reset Cancel Help

Record Detail * (This section is required.)

Case #

 Type

 Status

Approved
-MNE 2/30/25

Opened Date

 Single Entry Edit-View Record Form

Application Name

 Description

Total Invoiced

 Total Paid

 Balance

Need Approved
OSDS plan. g8 1/13/25

Assigned to Department Current Department

 Assigned to Staff Current User

Address * (This section is required.)

New	Search	Delete	Set Primary													
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Primary	Street # (start)	Direction	Street Name	Street Type	City	State	Zip Code	Address Status	Street Suffix (Direction)	Unit Type	U
<input type="checkbox"/>	<input checked="" type="checkbox"/>					1701		Brickell	WAY	Marr...	MD	21104				

Parcel (This section is not required.)

Search	Delete	Get Address & Owner	Set Primary												
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Primary	Parcel #	Book	Page	Parcel	Parcel Area	Land Value	Improved Value	Exemption Value	Legal Description	Tract	
0 record(s) found.															

Owner (This section is not required.)

Search	Delete	Set Primary												
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Primary	Name	Mail Address Line1	Mail Address Line2	Mail Address Line3	Mail City	Mail State	Mail Zip Code	Phone	Country/R		
<input type="checkbox"/>	<input checked="" type="checkbox"/>			NVR HOMES	11700 Plaza American Drive	Suite 500			VA	20190	703-956-4000	US		

Applicant * (This section is required.)

Search As Owner As Lic. Prof As Contact

Single Entry Applicant Form
 Type *

 Primary

 First Name *

 Middle Name

 Last Name *

 Home Phone (xxx)xxx-xxxx

Organization Name *

Decatur Building Services

Mobile Phone ((xxx)xxx-xxxx)

(443) 309-7792

E-mail

jim@decaturbuildingservices.com

Business Phone ((xxx)xxx-xxxx)

Preferred Channel

--Select--

Applicant Address

New Look Up Deactivate Remove

<input type="checkbox"/>	Contact Address ID	Address Type	Address Line 1	City	State	Zip	Primary	Recipient	Status
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0 record(s) found.

Custom Fields

DATE TRACKING

Received Date

12/26/2024

Due Date

1/13/2025

Dates to Complete

14

(Number)

Food Review Type

--Select--

Received by Food

Equipment Specification Sheets Submitted

Equipment Specification Sheet

Received by Community Hygiene

Received by Well and Septic

12/26/2024

FACILITY INFORMATION

Name of Business (dba) *

n/a (Text)

Associated Building Permit Number

(Text)

Owner Switch Date

(Text)

Does the project include an Aquatic Facility such as a Public Pool? If Yes, forward to CH Program.

Yes No

Does the project include Private Septic? If Yes, forward to WS Program.

Yes No

Is this a Prototype Food Service Facility? If Yes, refer to State.

Yes No

Facility Fax

0 (Text)

Days of Operation

0 (Text)

Does this project have a Building Permit?

Yes No

Building Permit Issued Date

(Text)

Non-Profit

Does the project include Private Well? If Yes, forward to WS Program.

Yes No

Does the project include Food Services? If Yes, forward to FP Program.

Yes No

Facility Phone

0 (Text)

Facility Email

0 (Text)

PROPERTY INFORMATION

Water Source

--Select--

Sewage Disposal

--Select--

Design Wastewater Flow

(Number)

Permit Type

--Select--

PLAT STATS

Total Number of buildable lots to be recorded

0 (Number)

Total number of open space lots to be recorded

0 (Number)

Total number of bulk parcels to be recorded

0 (Number)

Total number of lots / parcels to be recorded

0 (Number)

New buildable lots created

0

(Number)

Date PLAT signed by Health Officer

(Text)

PLAT Type

--Select--

DEVELOPMENT PLANS

Property Type

Commercial

Plan Version

Initial

Signature Required

No

Engineer

0 (Text)

Number of paper copies

0 (Number)

Number of mylar copies

0 (Number)

Number of buildable lots created

0 (Number)

Number of non-buildable lots created

0 (Number)

Total Number of Lots

0 (Number)

Associated Plans

WELL AND SEPTIC INTERNAL

State Review Required

No

Coordinate State Review

No

Proposed Septic System Type

--Select--

FOOD ESTABLISHMENT FACILITY

Priority Assessment

--Select--

Licensed Type

--Select--

License Category

--Select--

FOOD ESTABLISHMENT INFORMATION

Hours of Operation

(Text)

Operating Seasonally Only

If Operating Seasonally. What is the start month?

(Text)

Are pets allowed in a outdoor seating area?

No

Full Bar?

No

RESTAURANT AND FOOD SERVICE

Food Service Facility Secondary Category

--Select--

Total Seating Capacity

(Number)

Number of Restrooms

(Number)

Interior Restaurant Seating Capacity

(Number)

Bar Seating Capacity

(Text)

Outdoor Seating Capacity

(Text)

Does the restaurant have outdoor seating

No

EQUIPMENT

Evaluated non NSF, ANSI, CF or other standards

No

Description of Refrigeration Units

Number of Walk-In Refrigerator Units

(Number)

Description of Walk-In Freezer Units

(Text)

Is there a bulk ice machine available

No

Space Limitation

Number of Hand Sinks Available

(Number)

Hood System

(Text)

Ventless Equipment

(Text)

PLUMBING

Size and installation of the water heater?

(Text)

Is there a grease interceptor or grease trap?

--Select--

REFUSE AND RECYCLABLES

Dumpsters Located on a impervious surface?

--Select--

Will there be a grease receptacle?

--Select--

WAREWASHING DISHWASHING

Dishwashing Method

--Select--

HACCP

Plan Review Response Letter Received

Yes No

Date HACCP Approved by the State

Date HACCP Plan Submitted

HACCP Plan Approved

HACCP Plan Review

Plan Review Letter Mailed

HACCP Plan Revision Submitted

HACCP Fee Type

--Select--

FINISHING SCHEDULE

Kitchen Floor / Bar Flooring

--Select--

Kitchen Cove Base

--Select--

Storage - Food Storage Flooring

--Select--

Storage - Food Storage Cove

--Select--

Utensil Washing Area Flooring

--Select--

Utensil Washing Area Cove

--Select--

Dressing / Locker Room Flooring

--Select--

Dressing / Locker Room Cove

--Select--

Toilet Area Flooring

--Select--

Toilet Area Cove

--Select--

Walk-in Refrigerator Flooring

--Select--

Walk-in Refrigerator Cove

--Select--

Kitchen Walls

--Select--

Utensil Washing Area Walls

--Select--

Restroom Walls

--Select--

Are Kitchen Ceilings tiles smooth non-fiberglass backing?

Yes No

Are ceiling rafters exposed ?

Yes No

Are ceiling tiles in equipment and utensil washing areas, smooth with non-fiberglass backing?

Yes No

SPECIAL PROCESSING

Does the facility conduct any special processing? If yes, Please describe.

Yes No

(Text)

AF OWNERS STATEMENT

Owner's Statement Provided

--Select--

Comments - Owner

AF Plans and Drawings

A. Drawn to scale and prepared by a licensed engineer or architect

--Select--

B. Contour plan included

--Select--

C. Top and sectional views provided

--Select--

Comments

AF BARRIER FENCING

A. Minimum 6' high barrier around the pool / spa facility

--Select--

B. Maximum vertical clearance between grade and the bottom of the barrier is 4 inches

--Select--

C. Fence pickets or barrier openings do not exceed 4 inches

--Select--

D. A barrier with horizontal members less than 45 inches apart measured top to top does not have

--Select--

1. vertical openings > 1-3/4 inches in width

--Select--

2. horizontal members on the outside of the fence

--Select--

E. The barrier main access gate:

1. is located toward the shallow end of the pool

--Select--

2. has a latch release at least 54 inches from grade level and is lockable

--Select--

3. minimum width of 4 feet and is hung to open away from the pool or spa

--Select--

4. complies with all disability regs (see COMAR 05.02.02)

--Select--

F. Minimum 5' high barrier for semipublic pool or spa

--Select--

G. A wading or infant pool is separated from a pool or spa by a barrier that is 3' or higher.

--Select--

Comments

Jennifer Wellen

From: Paul Cavanaugh
Sent: Friday, June 27, 2025 10:19 AM
To: Eshenbaugh, Melanie
Cc: Matthew Demmitt; Jennifer Wellen
Subject: 17040 - Brickell Property Lot 11
Attachments: Brickell Way Lot 11.pdf

Melanie,

Sorry, we should have had the purpose note – but yes the Builder wanted to make sure there was not an issue with the Foundation Plan provided with the Septic Permit.

We will also correct the trench specs to match the hand changes.

Thanks
Paul

From: Eshenbaugh, Melanie <MEshenbaugh@howardcountymd.gov>
Sent: Friday, June 27, 2025 9:25 AM
To: Paul Cavanaugh <PaulC@fcc-eng.com>
Subject: Brickell Property Lot 11

Hi Paul,

I reviewed your latest plan and noticed that the house footprint, FF & BE were the changes on this plan. On your transmittal you didn't mention any details for the resubmittal, but if I am missing something else please let me know. Also, I wanted to request that you make the changes from the previously approved submittal as I had to hand write those in (see the attached highlighting the changes). Thank you kindly.

Melanie Eshenbaugh
Bureau of Environmental Health
Howard County Health Dept.
8930 Stanford Blvd. Columbia, MD 21045
www.hchealth.org



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Record Detail * (This section is required.)

Permit Type Building/Residential/Misc/Tanks Permit Number B25004790 Opened Date 10/28/2025
 Description of Work SFD/ INSTALL (1) 1000GAL UNDERGROUND PROPANE TANK

[check spelling](#)

Address * (This section is required.)

Search Reset Clear Get Parcel & Owner

Street # 1701 Street Name BRICKELL Street Type WAY
 Unit Type --Select-- Unit # X Coordinate Y Coordinate
 City MARRIOTTSVILLE State MD Zip Code 21104 Primary Yes



Parcel * (This section is required.)

Search Reset Clear Get Address & Owner

GIS ID	Parcel	Parcel Area	Land Value	Improved Value	Exemption Value	Plan Area
11062888	274	0	0	0	0	RURAL

Legal Description

[check spelling](#)

Block	Lot	Census Tract	Council Dist	Inspection Dist	Supervisor Dist	Map #	DAP Zone
1	11	603000	5				

Plan Area State Tax Id Subdivision Name
 Section Area Tax Map
 Grid Zoning District ADC Map
 10-1 RR-DEO 4694-A6
 SDP No. Final Plan No. WP File No.
 Record Plat No. WS Contract No. FDP No. Primary Yes
 26850-2685
 Owner Occupied Year Built Historic District
 Yes No Yes No
 Historic District Registry No. Stat Area Flood Plain
 3-01 Yes No
 Building No

Owner * (This section is required.)

Search Reset Clear

Name * NVR IN
 Address Line 1 7080 SAMUEL MORSE DR #100
 Address Line 2
 Address Line 3
 Mail City COLUMBIA
 Mail State MD
 Mail Zip Code 21046
 Phone 410-733-9991
 Primary Yes
 E-mail

Cell Number Fax Number

Professionals (This section is not required.)

License # * 20100096881
 License Type * Propane Gs
 Primary Yes

Business Name THOMPSONGAS, LLC
 First Name THOMAS Middle Name BRADLEY Last Name ROHRER
 Address Line 1 6708 OLD NATIONAL PIKE
 Address Line 2

City BOONSBORO State MD ZIP Code 21713
 Phone 1 301-432-6611 Phone 2 Fax
 E-mail BROHRER@THOMPSONGAS.COM

Applicant (This section is not required.)

Search As Owner As Lic. Prof As Contact

Type * Applicant
 Relationship Applicant
 Primary No

First Name MICHELLE MI Last Name CLANCY
 Full Name MICHELLE CLANCY
 Organization Name APPLIED & APPROVED PERMITS LLC
 Street Address P.O. BOX 310
 Address Line 2

City PERRY HALL State MD Zip Code 21128
 Phone 443-340-1229 Cell Fax
 E-mail MICHELLE@APPLIEDANDAPPROVED.COM

Addtl Info

Est Construction Cost * 750
 Housing Units * 0
 Number of Buildings * 0
 Public Owned No

Construction Type 329 - Structures Other Than Buildings (Retaining Walls/Tents)

TANK INFORMATION

RESIDENTIAL TANK INFORMATION

Capital Project-No Fee * Yes No
 Capital Project Number (Text)
 Fee Exempt * Yes No
 Roadside Tree Project Permit * Yes No
 Roadside Tree Permit # (Text)

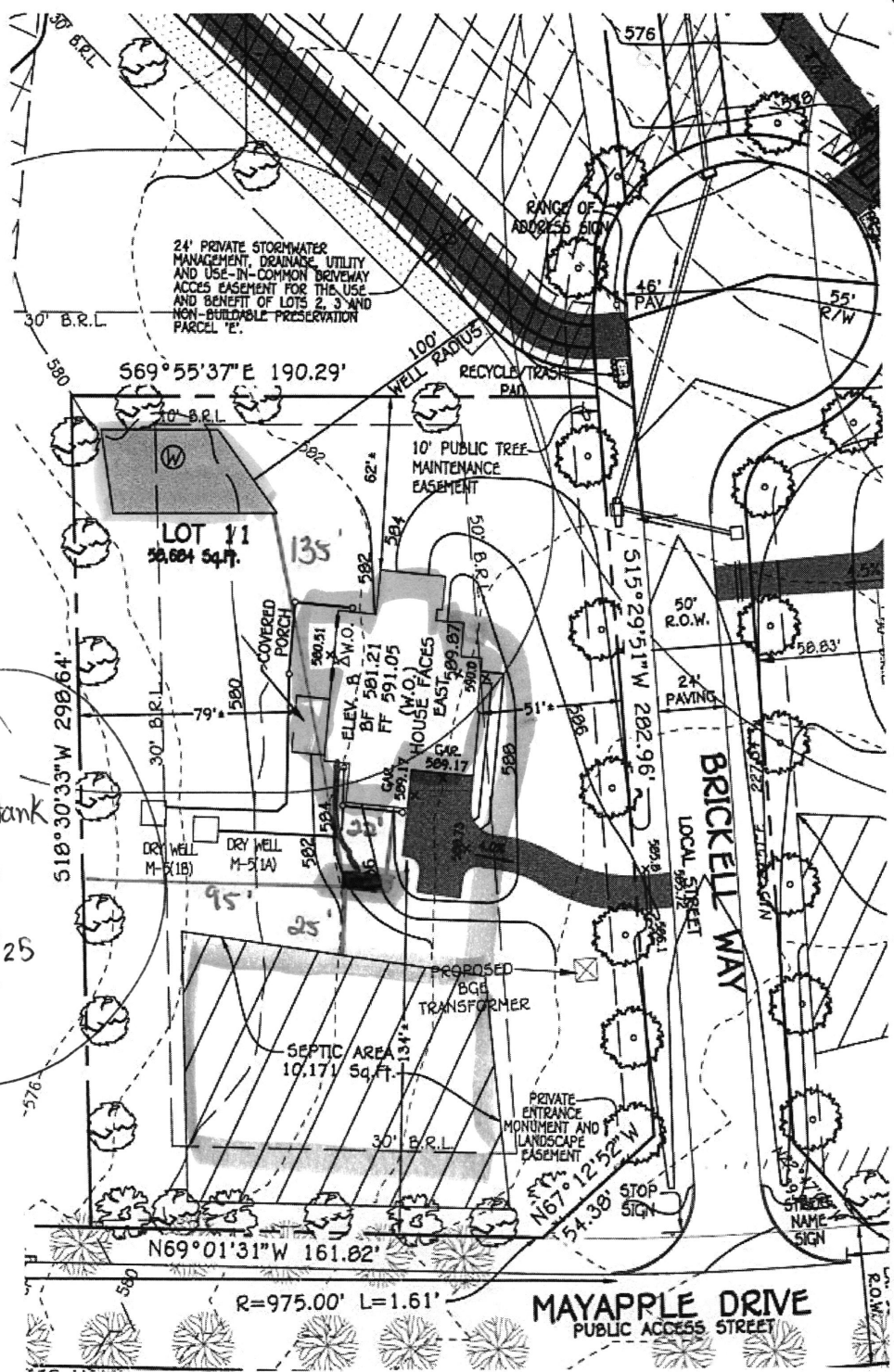
Existing Use * SFD
 Number of Tanks Installed * 1 (Number)
 Number of Tanks Removed * 0 (Number)

Water Supply Private Sewage Disposal Private
 Expiration Date 4/26/2026
 Relocate Existing Tank * 0 (Number)

Related Records

Showing 1-5 of 6

Permit Number	Record Type Alias	Status	Number	Street Name	Opened Date	Description
B24004756	Residential New Single Family Dwelling Permit	Issued	1701	BRICKELL	12/18/2024	SFD/"TORRINGTON", 2 STORY, Full Basement, B
E25002284	Residential Electrical New Home Permit	Issued	1701	BRICKELL	05/02/2025	Wire new single family swelling 400 amp service; 2/
F25000861	Residential New-Addition SFD Sprinkler Permit	Issued	1701	BRICKELL	09/10/2025	SPK/SFD INSTALL NEW NFPA 13D FIRE SPRINKL
M25000803	Residential HVAC New Permit	Issued	1701	BRICKELL	06/19/2025	install 80k furnace with 3.5-ton ac system in system
P25003213	Residential New Plumbing Permit	Issued	1701	BRICKELL	08/04/2025	SFD/ADDING NEW GAS LINES FOR SFD GAS PIF



Approved for LP tank
 B2500 4790
 10/30/25

1000 gal w/ei Proposed tank
WELL CERTIFICATION

THE EXISTING WELL TAG NO. HO-22-0109, HAS BEEN FIELD LOCATED AND IS ACCURATELY SHOWN.

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
 ELICOTT CITY, MARYLAND 21042
 (410) 461-2855

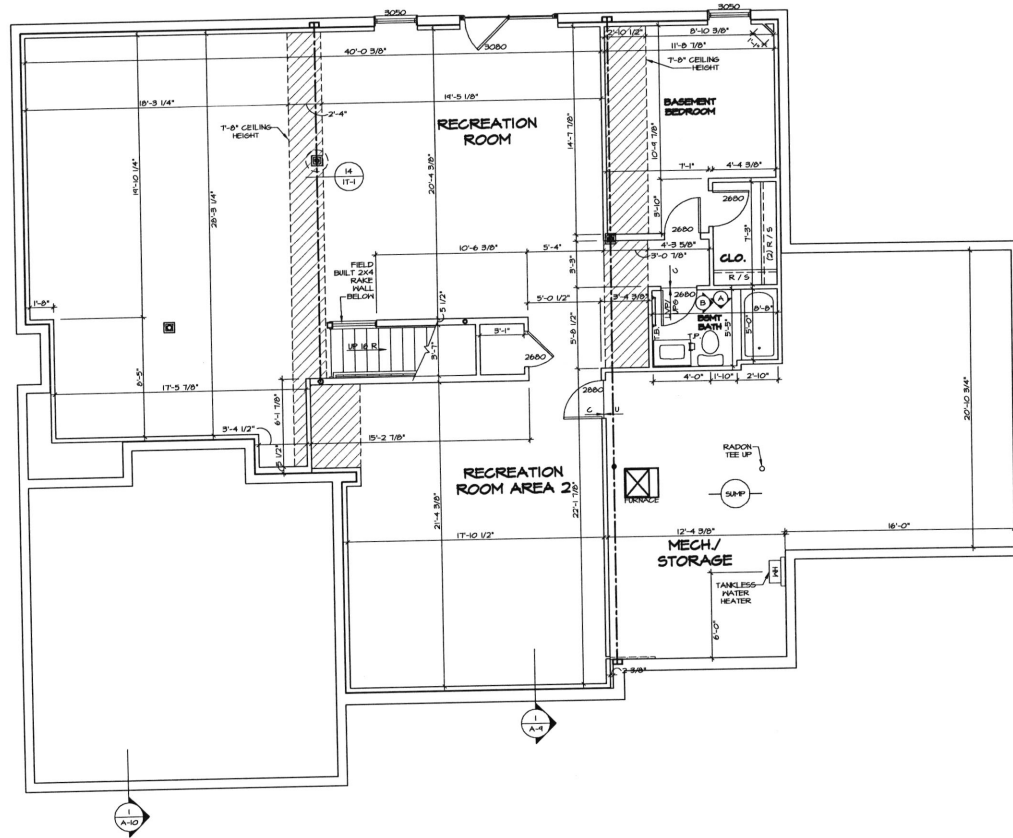
BRICKELL PROPERTY
 TAX MAP: 10, GRID: 1,
 PARCEL: 274, ZONED: RR-DEO
 3RD ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND

BUILDER
 NVR, INC.
 9720 PATUXENT WOODS DRIVE
 COLUMBIA, MO 21046
 443-832-9102

PERMIT SITE PLAN
LOT 11

SANTORINI
 ELEVATION: B

SCALE: 1"=50'
 DATE: 6/3/2025
 DRAWN BY: WAS
 CHECKED BY: FM II
 PROJECT No.: 17040



1
A-6
BASEMENT FLOOR PLAN
SCALE: 1/4" = 1'-0"

LEGEND

[Symbol]	BEARING HALL
[Symbol]	NON BEARING HALL
[Symbol]	MASONRY WALL
[Symbol]	INDICATES BEARING FROM POINT-LOAD ABOVE
[Symbol]	JACKS
[Symbol]	BEAM-HEADER
[Symbol]	FOOTING/THICKENED SLAB
[Symbol]	STEEL COLUMN
[Symbol]	TRUSS TIE DOWN
[Symbol]	PORTAL FRAME
[Symbol]	JOIST/TRUSS
[Symbol]	LVL
[Symbol]	ENGINEERING PAGE NUMBER
[Symbol]	WINDOW/DOOR TAG
[Symbol]	PRECAST LINTEL TAG
[Symbol]	SEE F.A. DETAILS FOR FIRE ASSEMBLIES
[Symbol]	SEE F.C. DETAILS FOR FRAMING MATERIAL USAGE

- FLOOR PLAN NOTES**
- ALL HEADERS ARE (D) 2x6 w/ 2x4 WALLS OR (B) 2x6 w/ 2x6 WALLS UNLESS OTHERWISE NOTED.
 - ALL HEADERS TO HAVE (J) 2x4 OR 2x6 JACK AND KING STUD EACH END UNLESS OTHERWISE NOTED.
 - MULTI-OPENING HEADERS TO HAVE (J) JACKS AT INTERMEDIATE BEARINGS UNLESS OTHERWISE NOTED. NO ADDITIONAL FLOOR SYSTEM BLOCKING OR CONTINUOUS LOAD PATH JACKS ARE REQUIRED UNLESS OTHERWISE NOTED.
 - ALL EXTERIOR WALLS TO BE 4" OR 6" AND ALL INTERIOR WALLS TO BE 3 1/2" UNLESS OTHERWISE NOTED.
 - HATCHED AREAS INDICATE DROPPED CEILING. ALL DROPPED CEILING ARE 12" UNLESS OTHERWISE NOTED. STOPPING AT BULKHEAD / CEILING PANELS.
 - SEE 'DROPPED WALL PANEL DETAIL SHEET FOR SPECIAL WALL FRAMING LOCATIONS AND HEADER SIZES, IF APPLICABLE.
 - SEE STANDARD DETAIL CATEGORY '11' SHEETS FOR INTERIOR TRIM DETAILS.
 - SEE DETAIL SHEET 'A07' FOR HOUSE SPECIFIC INTERIOR TRIM OPTION TABLE.
 - ALL HEADERS IN NON-BEARING WALLS SHALL BE A SINGLE FLAT 2x4 OR 2x6 ATTACHED TO GYPSEUM ABOVE UNLESS OTHERWISE NOTED.
 - TANKED WATER HEATER SHALL BE BASE CONDITION.
 - TANKLESS WATER HEATER IS AVAILABLE IN CUB OF TANKED WATER HEATER.
 - INTERIOR HEADER HEIGHT FOR 8" CEILING SHALL BE 6'-11", UNLESS OTHERWISE NOTED.
 - CEILING SHALL BE 7'-11" CEILING SHALL BE 5'-3", UNLESS OTHERWISE NOTED.
 - BASEMENT FINISH OPERATIONS ABOVE A 1/2" GAP ELECTRICAL AND HVAC TYPICALLY AN 8'-0" CEILING SPACE ABOVE MECHANICAL AREA.
 - PROVIDE FIRE BLOCKING AS REQUIRED AT PENETRATION OF ANY AREAS WHERE DRYWALL HAS BEEN OMITTED.
 - NON-BEARING WALLS OVER CONCRETE TO BE HELD 1/2" SHORT OF FRAMING ABOVE.

- GYPSUM NOTES:**
- AT GARAGE:
GYPSUM BOARD AT CORNER WALLS, CEILING, BEAM HEADS AND SUPPORTS PER STANDARD DETAIL FRAMING FIRE ASSEMBLIES OR AS REQUIRED BY LOCAL CODE.
- AT STAIRS:
1/2" GYPSUM BOARD AT UNDERSIDE OF STAIRS AND HALLS IN CLOSET.
- BASEMENT WITH I-JOIST FLOOR SYSTEM ABOVE:
WITH OPTION 'SCF' - DRYWALL UNFINISHED BASEMENT CEILING AREA.
- NOTES:**
- 1/2" GYPSUM WALL BOARD REQUIRED ON CEILING IN UNFINISHED AREAS WHEN NO SPRINKLER SYSTEM IS INSTALLED.
 - A MAXIMUM AREA OF 80 SQ FT MAY BE OMITTED AS NEEDED FOR INSTALLATION OF FRAMING, ELECTRICAL AND HVAC TYPICALLY AN 8'-0" CEILING SPACE ABOVE MECHANICAL AREA.
 - PROVIDE FIRE BLOCKING AS REQUIRED AT PENETRATION OF ANY AREAS WHERE DRYWALL HAS BEEN OMITTED.

DRY-CONSULT, INC. **MDE-BR-0011**

PROJECT: BRIGGELL PROPERTY - C021
 STREET ADDRESS: 1701 BRIGGELL HWY
 CITY: HANCOCKVILLE STATE: MO ZIP: 21044

SET NO. 14600
 RELEASE NO. 10000
 DRAWN BY: BIM
 DATE: 10/1/2010
 OPTION

NVR
 NVR, Inc. 1000
 555 Fremont, St. Louis, MO 63103

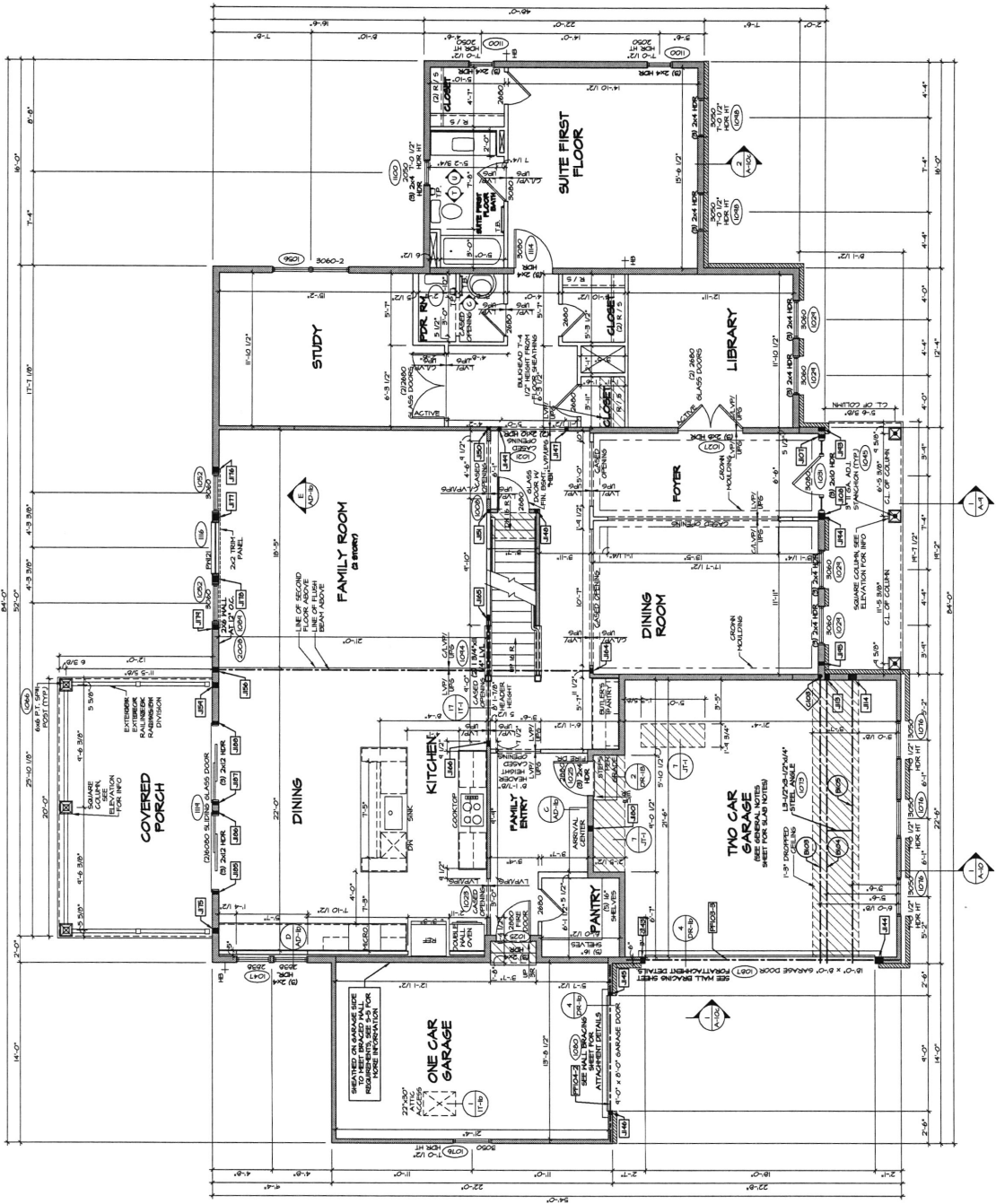
SHEET NO. **A-6**
 TOTAL SHEETS: 16
 BASEMENT FLOOR PLAN
 OPTION DESCRIPTION

16

FOR NOTES AND SCHEDULES SEE PAGE A-7D

FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"



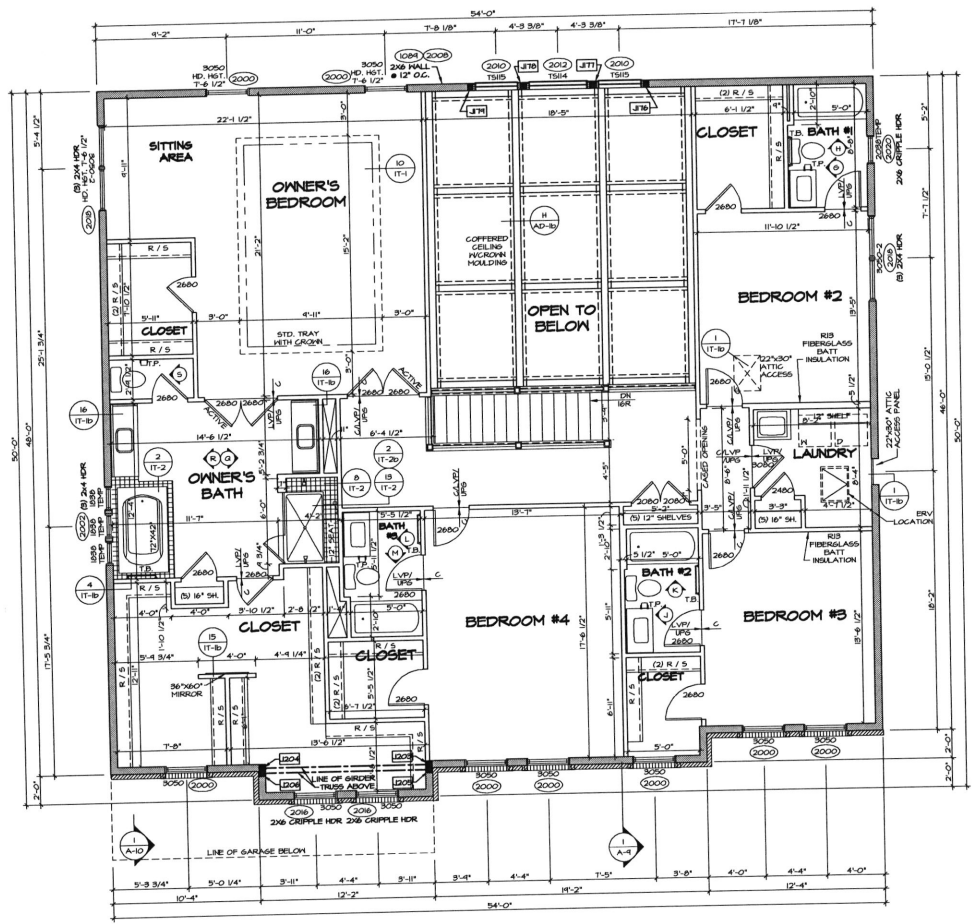
SHEET NO. 1	MODEL SANTORINI	OPTION DESCRIPTION	DATE	REVISION NO.	SET NO. 14600
		DATE	REVISION NO.	SET NO. 14600	SET NO. 14600
DRAWING TITLE FIRST FLOOR PLAN		PROJECT NO.	DATE	REVISION NO.	SET NO. 14600
OWNER MDE-BR-0011		PROJECT NO.	DATE	REVISION NO.	SET NO. 14600
PROJECT ADDRESS 170 BRUCKELL WAY		PROJECT NO.	DATE	REVISION NO.	SET NO. 14600
CITY MARLBOROUGH		PROJECT NO.	DATE	REVISION NO.	SET NO. 14600
STATE MA		PROJECT NO.	DATE	REVISION NO.	SET NO. 14600
ZIP 01544		PROJECT NO.	DATE	REVISION NO.	SET NO. 14600



5255 Washington Blvd, Suite 100
Framingham, MA 01703
TEL: 508-885-1100
WWW.NVR.COM

DATE: 08/17/23
PROJECT: MDE-BR-0011
SHEET: 14600-01
SCALE: 1/4" = 1'-0"

CONTRACT NO. 14600-01
PROJECT NO. MDE-BR-0011
SHEET NO. 14600-01
DATE: 08/17/23
SCALE: 1/4" = 1'-0"



1 SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

LEGEND

- BEARING HALL
- NON BEARING HALL
- MASONRY HALL
- INDICATES BEARING FROM POINT-LOAD ABOVE
- JACKS
- BEAM/HEADER
- FOOTING/THICKENED SLAB
- STEEL COLUMN
- TRUSS TIE DOWN
- PORTAL FRAME
- JOIST/TRUSS
- LVL
- ENGINEERING PAGE NUMBER
- INDOOR TAG

PRECAST CONCRETE WALLS TO BE CAST WITH 1/2" REBAR AND 1/2" REBAR AT 12" O.C.
SEE FC DETAILS FOR FRAMING CONNECTORS AND MATERIAL USAGE

SECOND FLOOR JACK SCHEDULE

IDENTIFIER	DESCRIPTION	OPTIONS	ENG. NBR.	REMARKS
JTB	JACK - (B) 2x6 SFF #2		2014	FULL HEIGHT STUDS
JTT	JACK - (A) 2x6 SFF #2		2015	FULL HEIGHT STUDS
JTB	JACK - (A) 2x6 SFF #2		2015	FULL HEIGHT STUDS
JTB	JACK - (B) 2x6 SFF #2		2014	FULL HEIGHT STUDS
J200	JACK - (B) 2x6 SFF STUD GRADE		2008	
J204	JACK - (B) 2x6 SFF STUD GRADE		2009	
J205	JACK - (A) 2x6 SFF STUD GRADE		2001	
J206	JACK - (A) 2x6 SFF STUD GRADE		2001	

GYPSUM NOTES:

AT GARAGE:
GYPSUM BOARD AT GYPSUM HALLS, CEILINGS, BEAM HEADS AND SUPPORTS PER STANDARD DETAIL PA-100 FIRE ASSEMBLY OR AS REQUIRED BY LOCAL CODE.

AT STAIRS:
1/2" GYPSUM BOARD AT UNDERSIDE OF STAIRS AND HALLS IN CLOSET

BASEMENT WITH I-JOIST FLOOR SYSTEM ABOVE:
WITH OPTION 1501 - DRYHALL UNFINISHED BASEMENT CEILING AREA.

NOTES:

- 1/2" GYPSUM HALL BOARD REQUIRED ON CEILING IN UNFINISHED AREAS WHEN NO SPRINKLER SYSTEM IS INSTALLED.
- A MAXIMUM AREA OF 80 SQ FT MAY BE OMITTED AS NEEDED FOR INSTALLATION OF PLUMBING, ELECTRICAL, AND/OR HVAC (TYPICALLY AN 8'-0"X8'-0" CEILING SPACE ABOVE MECHANICAL AREA).
- PROVIDE FIRE BLOCKING AS REQUIRED AT PERIMETER OF ANY AREAS WHERE DRYHALL HAS BEEN OMITTED.

FLOOR PLAN NOTES:

- ALL HEADERS ARE (2) 2x6 W/ 2x4 HALLS OR (2) 2x6 W/ 2x4 HALLS UNLESS OTHERWISE NOTED.
- ALL HEADERS TO HAVE (1) 2x4 OR 2x6 JACK AND KING STUD EACH END UNLESS OTHERWISE NOTED.
- MULTI-OPENING HEADERS TO HAVE (2) JACKS AT INTERMEDIATE BEARING UNLESS OTHERWISE NOTED. NO ADDITIONAL FLOOR SYSTEM BLOCKING OR CONTINUOUS LOAD PATH JACKS ARE REQUIRED UNLESS OTHERWISE NOTED.
- ALL EXTERIOR WALLS TO BE 4" OR 6" AND ALL INTERIOR WALLS TO BE 8" UNLESS OTHERWISE NOTED.
- HATCHED AREAS INDICATE PROPOSED CEILING. ALL DROPPED CEILING ARE 12" UNLESS OTHERWISE NOTED. SEE ARCHITECTURAL DETAIL, INT-10 FOR 3/4" FIRE STOPPING AT BREAKS / CEILING PANELS.
- SEE BRACED WALL PANEL DETAIL SHEET FOR SPECIAL HALL FRAMING LOCATIONS AND HEADER SIZES, IF APPLICABLE.
- SEE STANDARD DETAIL, CATEGORY "T" SHEETS FOR INTERIOR TRIM DETAILS.
- SEE DETAIL SHEET "AD" FOR HOUSE SPECIFIC INTERIOR TRIM OPTION TABLE.
- ALL HEADERS IN NON-BEARING HALLS SHALL BE A SINGLE FLAT 2x4 OR 2x6 ATTACHED TO CRIPPLES ABOVE UNLESS OTHERWISE NOTED.
- TANKED WATER HEATER SHOWN AS BASE CONDITION. OPTIONAL, TANKLESS WATER HEATER IS AVAILABLE IN LIEU OF TANKED WATER HEATER.
- INTERIOR HEADER HEIGHT FOR 8" CEILING WILL BE 6'-11", 4" CEILING WILL BE 7'-11", 10" CEILING WILL BE 8'-9", UNLESS OTHERWISE NOTED.
- BASEMENT FINISH DIMENSIONS ASSUME A 1/2" GAP BETWEEN FRAME HALL AND CONCRETE WALL.
- ALL INTERIOR BEARING HALLS SHALL HAVE GYPSUM APPLIED TO AT LEAST ONE SIDE OR HAVE HIGH-HEIGHT BLOCKING INSTALLED.
- NON-BEARING HALLS OVER CONCRETE TO BE HELD 1/2" SHORT OF FRAMING ABOVE.

DRY-COM-LOT-UNIT

NDR-BR-0011

CONTRACT: BRIGHELL PROPERTY - 0011

CITY: BRUCEVILLE, TX

STATE: TX

ZIP: 78004

SET NO. 14000

VERSION 01

DATE: 11/11/2011

PROJECT: 1100 BRUCEVILLE

OPTION

SHEET NO. **A-8**

DATE: 11/11/2011

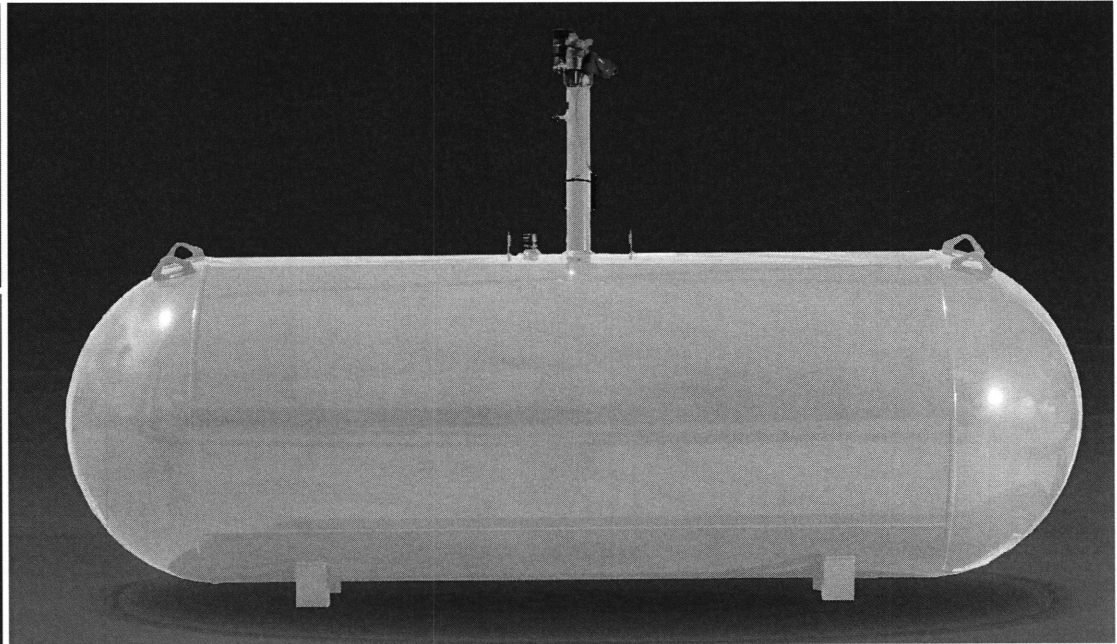
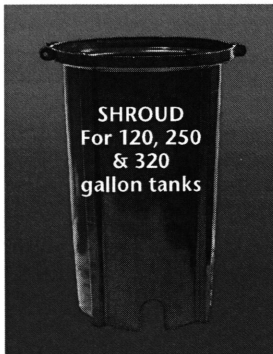
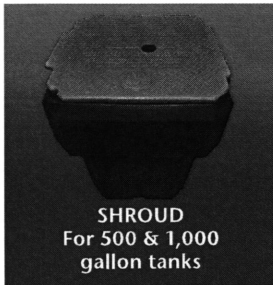
PROJECT: 1100 BRUCEVILLE

OPTION

10



UNDERGROUND PROPANE STORAGE TANKS 120 - 1000 Gallons



PRESSURE VESSEL CODES & REGISTRATION

- Designed and constructed in accordance with the ASME Section VIII, Division 1 Code
- Registered with the National Board of Boiler & Pressure Vessels Inspectors
- Complies with NFPA 58
- Conforms to specifications set forth by the Railroad Commission of Texas

PAINT SPECIFICATIONS

- Epoxy powder paint for maximum rust protection
- Tanks painted gray
- Ready to bury durable epoxy powder coating†

SHROUD FEATURES (500 & 1,000 gallon)

- Durable construction
- Large opening for easy filling and maintenance
- Recessed markers to indicate proper burial depth
- Permanent hole for mounting location flag
- Access on sides for flexible riser connection
- New shroud available for 500 gallon and 1,000 gallon UG tanks, shroud dimensions:
 - * Shroud for long riser 32 3/16" X 26 5/16"
 - * Shroud for short riser 19 3/8" X 26 5/16"

VESSEL FEATURES

- Tanks fully fitted with RegO valves and Rochester liquid level gauges
- Container pressure rated at 250 PSI @ 400°F
- Vacuum purged
- Duplicate data plate is zip tied on the riser pipe below the anode bolt connection for convenience
- Product is offered with 14" short or 28" tall risers
- Anode bolt connection located under the dome
- Short or tall plastic shroud assemblies (w/lid) supplied accordingly
- #54 liquid level outage valve orifice

PROCESS CONTROL

All welded products are x-rayed and pressure tested @ 325 PSI per ASME Sec VIII, Div 1 requirements, followed by rigorous leak test inspections, both pre and post valving

STORAGE & DISTRIBUTION

Contact Propane Education & Research Council for additional resources and information at propane.com

Made With Pride



Made In the U.S.A.



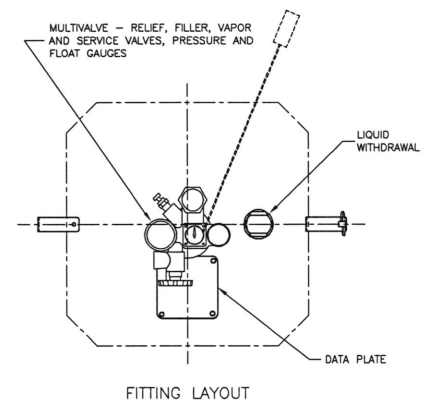
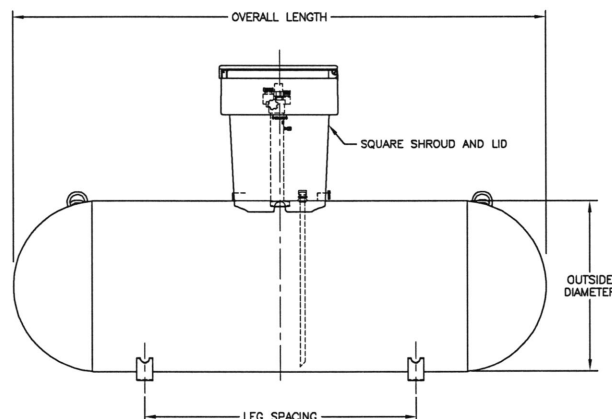
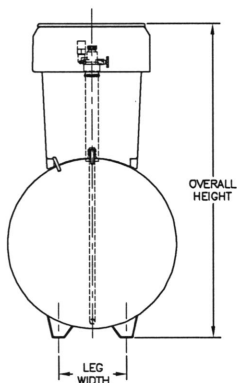
UNDERGROUND PROPANE STORAGE TANKS 120 - 1000 Gallons

UNDERGROUND VESSEL DIMENSIONS & SPECIFICATIONS

(All Vessel Dimensions are Approximate)

Part Number	Description	Water Capacity Gal/l	Outside Diameter In/mm	Head Type	Overall Length In/mm	Overall Riser Height In/mm		Leg Width In/mm	Leg Spacing In/mm	Weight Lbs/kg	Quantity	
						18" Riser	28" Riser				Full Load	Per Stack
68289	120 Gallon Underground LR Storage Tank	120 454.2	24" 609.6	Ellip	5' 8" 1727.2	- -	4' 7 13/16" 1417.6	10 1/8" 257.2	3' 0" 914.4	342 155.4	63	9
68269	120 Gallon Underground SR Storage Tank	120 454.2	24" 609.6	Ellip	5' 8" 1727.2	3' 9 1/4" 1149.4	- -	10 1/8" 257.2	3' 6" 914.4	329 149.2	72	9
68288	250 Gallon Underground LR Storage Tank	250 946.3	30" 762	Hemi	7' 10" 2387.6	- -	5' 1 9/16" 1563.7	12 3/4" 323.9	3' 6" 1066.8	494 224.1	42	7
68271	250 Gallon Underground SR Storage Tank	250 946.3	30" 762	Hemi	7' 10" 2387.6	4' 3" 1295.4	- -	12 3/4" 323.9	3' 6" 1066.8	480 217.7	42	7
68273	320 Gallon Underground LR Storage Tank	320 1211.3	30" 762	Hemi	9' 7" 2921	- -	5' 1 9/16" 1563.7	12 3/4" 323.9	4' 0 1/4" 1225.6	597 270.8	35	7
68285	320 Gallon Underground SR Storage Tank	320 1211.3	30" 762	Hemi	9' 7" 2921	4' 3" 1295.4	- -	12 3/4" 323.9	4' 0 1/4" 1225.6	593 269	35	7
68275	500 Gallon Underground LR Storage Tank	500 1892.7	37.5" 952.5	Hemi	9' 10" 2997.2	- -	5' 9 3/8" 1762.1	15" 381	5' 0" 1524	953 432.3	25	5
68286	500 Gallon Underground SR Storage Tank	500 1892.7	37.5" 952.5	Hemi	9' 10" 2997.2	4' 8 1/2" 1435.1	- -	15" 381	5' 0" 1524	949 430.5	25	5
68277	1000 Gallon Underground LR Storage Tank	1000 3785.4	41" 1041.4	Hemi	15' 11" 4851.4	- -	6' 3/16" 1849.4	16 1/4" 412.8	9' 0" 2743.2	1812 821.9	12	4
68287	1000 Gallon Underground SR Storage Tank	1000 3785.4	41" 1041.4	Hemi	15' 11" 4851.4	5' 0" 1524	- -	16 1/4" 412.8	9' 0" 2743.2	1793 813.3	12	4

† Federal, state or local regulations may contain specific applicable requirements for protective coatings and cathodic protection. The purchaser and installer are responsible for compliance with such federal, state, local and NFPA industry regulations, including, but not limited to, proper purging prior to putting into service. Cathodic protection is required. Coating(s) must be continuous, uninterrupted and must comply with local, state or national codes or regulations.



Maura J. Rossman, M.D., Health Officer

December 17th, 2024

TO: Fisher, Collins, & Carter, INC.
Jennifer Wellen (jwellen@fcc-inc.com)

RE: 1701 Brickell Way (Lot 11) [Off Mayapple Drive]

To Whom It May Concern,

1. It is recommended that the OSDS plan be sized for 7 BDRs.
 - a. Based on a 6 BDR building permit, with only a partial basement finish.
2. We have updated the spec sheet, see 2nd page. This will alter the calculations and trench details.
 - a. We will normally cap the amount of sidewall credit given at 4 feet.
3. Label well box square footage.
4. Note #3 not applicable on this project.
5. Missing bearings and distances on property lines.
6. Perc holes and associated elevations should be less invasive on this plan.
 - a. Legible but smaller font.
 - b. Elevation detail smaller than perc number.
7. Add note, "Main septic line from tank to dbox under driveway must be sleeved, see plot plan for details."
8. There was an ECP for this project where a bioretention device was shown in the front yard for this property. If it is still intended to be used, it should be shown on the plans and meet minimum setback distances from well and septic components.

Thank you for your time and consideration. We look forward to expediting the next submittal.

- *Zack Silvast*

Zack Silvast (LEHS)

Plan Review Supervisor - Water & Sewer Division
410-313-1777

Environmental Health Bureau
Howard County Health Department