

Record Detail \* (This section is required.)

Permit Type	Permit Number	Opened Date
Building/Residential/New/SFD	B24002768	07/25/2024

Description of Work  
 SFD/ "Strauss", 2 plus finished basement STORY, Full Basement, Basement = Partially Finished, 14R, 5FB, 1HB, OFP, 3 Car Attached, 5BR, N/A, ENERGY METHOD = Prescriptive Method, null.

*Approved RAE  
8/1/2024*

[check spelling](#)

*Online BP.  
gB 8/1/24*

Address \* (This section is required.)

Search Reset Clear Get Parcel & Owner

Street #	Street Name	Street Type
13625	HIGHLAND	RD
Unit Type	Unit #	X Coordinate
-Select-		-76.98193
		Y Coordinate
		39.20748
City	State	Zip Code
CLARKSVILLE	MD	21029
	Primary	
	Yes	

Parcel \* (This section is required.)

Search Reset Clear Get Address & Owner

GIS ID *	Parcel	Parcel Area	Land Value	Improved Value	Exemption Value	Plan Area
870237	314	2.98	271000	271000	0	RURAL
Legal Description						
LOT 3 2.976 ACRES[ ]HIGHLAND RD[ ]CLARKSVILLE						

[check spelling](#)

Block	Lot	Census Tract	Council Dist	Inspection Dist	Supervisor Dist	Map #	DAP Zone
	3	605101	5				
Plan Area	State Tax Id	Subdivision Name					
	1405360714						
Section	Area	Tax Map					
		34					
Grid	Zoning District	ADC Map					
34-8	RR-DEO	4933-C7					
SDP No.	Final Plan No.	WP File No.					
Record Plat No.	WS Contract No.	FDP No.	Primary				
			Yes				
Owner Occupied	Year Built	Historic District					
<input type="radio"/> Yes <input checked="" type="radio"/> No		<input type="radio"/> Yes <input checked="" type="radio"/> No					
Historic District Registry No.	Stat Area	Flood Plain					
	5-04A	<input type="radio"/> Yes <input checked="" type="radio"/> No					
Building No							

Owner (This section is not required.)

Search Reset Clear

Name \*  
 MERCI  
 Address Line 1  
 2475 JOSTABERRY WAY  
 Address Line 2  
  
 Address Line 3  
  
 Mail City  
 ODENTON  
 Mail State  
 MD  
 Mail Zip Code  
 21113  
 Phone  
 443-370-7858  
 Primary  
 Yes  
 E-mail



Yes  No **Guaranty Fund \***  
 Yes  No **Condominium**  (Text)  Yes  No **Existing Use**  Yes  No **Model \***  (Text)

Yes  No **No of Stories \*** 2 plus finished b (Text)  
 Yes  No **Foundation \*** Full Basement  (Text) **Basement** Partially Finished  (Text) **No of Rooms \*** 14 (Text) **Full Baths \*** 5 (Number) **Half Baths \*** 1 (Number) **Oth** 3 (Number)

**Bedrooms \*** 5 (Number) **Porch Deck** N/A  (Text) **No of Fireplaces \*** 0 (Number) **Type of Fireplace** --Select--  (Text) **Energy Code** Prescriptive Method  (Text)

**W&S Fees Paid**  Yes  No **Water Supply \*** Private  (Text) **Sewage Disposal \*** Private  (Text) **Utilities \*** Gas & Electric  (Text) **Heating System \*** Electric & Propane Gas  (Text) **Sprinkler S** NFPA #13C

**1st Floor Width** 80 FT (Number) **1st Floor Depth** 52 FT (Number) **2nd Floor Width** 64 FT (Number) **2nd Floor Depth** 52 FT (Number) **Basement Width** 90 FT (Number) **Basement Depth** 52 FT (Number) **Height** FT (Number)

**Building Construction Type** Conventional  (Text) **Footings**  (Text) **Foundation Measurement**  (Text) **Walls**  (Text)

**Location Survey Approval Date**  (Text) **Road Frontage**  (Text) **County**  (Text) **Expiration Date** 1/28/2025  (Text) **Additional Description Info**  (Text)

**U&O Issued On**  (Text) **U & O Comments**  (Text)

[check spelling](#) [check spelling](#)

**GRADING INFORMATION**

**Grading Permit No \*** G24000088 (Text) **Grading Certification Required**  Yes  No **Grading Certification Received in DILP On**  (Text) **Grading Certification**  (Text)

**Grading Certification Comments**  (Text) **Seasonal Surety Comments**  (Text)

[check spelling](#) [check spelling](#)

**Seasonal Grading Surety Depositor**  (Text) **Driveway Apron Surety Depositor**  (Text) **Stormwater Surety Depositor**  (Text)

**GREEN NEIGHBORHOOD INFORMATION**

**Check List Points Goal**  (Text) **Check List Points Achieved**  (Text) **Date of Certification**  (Text)

**PRIVATE ON LOT SWM FACILITIES**

**Green Roofs A1**  Yes  No **Permeable Pavements A2**  Yes  No **Reinforced Turf A3**  Yes  No

**Disconnection of Rooftop Runoff N1**  (Number) **Disconnection of Non Rooftop Runoff N2**  Yes  No **Sheetflow to Conservation Areas N3**  Yes  No

**Rainwater Harvesting M1**  (Number) **Submerged Gravel Wetlands M2**  (Number) **Landscape Infiltration M3**  (Number) **Infiltration Berms M4**  (Number)

**Dry Wells M5** 4 (Number) **Micro Bioretention M6** 1 (Number) **Rain Gardens M7**  (Number) **Swales M8**  (Number) **Enhanced Filters M9**  (Number)

**Related Records**

Showing 1-2 of 2

Permit Number	Record Type Alias	Status	Number	Street Name	Opened Date	Description
G24000088	Residential Grading Permit	Review In Process	13625	HIGHLAND	07/29/2024	13625 HIGHLAND RD/ GRADING & SEDIMENT CC
B24002768	Residential New Single Family Dwelling Permit	Review In Process	13625	HIGHLAND	07/25/2024	SFD/ "Strauss", 2 plus finished basement STORY, F

Page 1 of 1

Submit Cancel

Approved B24002768  
 RLL 8/11/2024

- 2021 IECC CODE COMPLIANCE**
- 1101.7 (R301.1) CLIMATE ZONE 4A
- 1101.19 (R401.2) COMPLIANCE METHOD: MANDATORY AND PRESCRIPTIVE PROVISIONS
- 1102.1.1 (R402.1.1) EXTERIOR FRAME WALL CONSTRUCTION:  
 2x8 STUDS  
 R-31 XPS/ST FIBER FACED BATT INSULATION  
 7/16" O.S.B. (CONTINUOUS)  
 HOUSEWRAP
- 1102.1.3 (R402.1.3) ATTIC INSULATION  
 R-60, R-48 IF 12" ENERGY RISE IS USED (UNCOMPRESSED)
- 1102.1.3 (R402.1.3) BASEMENT WALL INSULATION  
 R-10 FOIL FACED CONTINUOUS, UNINTERRUPTED BATTS FULL HEIGHT, R-19 BATTS IN FRAME WALLS
- 1102.1.3 (R402.1.3) GRAVEL SPACE WALL INSULATION  
 R-10 FOIL FACED CONTINUOUS BATTS FULL HEIGHT EXTENDING FROM FLOOR ABOVE TO FINISH GRADE LEVEL AND THEN VERTICALLY OR HORIZONTALLY AN ADDITIONAL 4'-0"
- 1102.1.3 (R402.1.3) FLOOR INSULATION OVER UNCONDITIONED SPACES:  
 R-14 BATT INSULATION
- 1102.1.3 (R402.1.3) PENION U-VALUE / SHSG  
 30 (U-VALUE)  
 40 (SHSG)
- 1102.1.3 (R402.1.3) SLAB ON GRADE FLOORS LESS THAN 12" BELOW GRADE: R-10 RIGID FOAM BOARD UNDER SLAB EXTENDING EITHER 4'-0" HORIZONTALLY OR 4'-0" VERTICALLY
- 1102.2.1 (R402.2.1) CEILING WITH ATTIC SPACE: WHEN SECTION R402.1.1 WOULD REQUIRE R-60 IN THE CEILING, R-48 SHALL BE DEEMED TO SATISFY THE REQUIREMENT FOR R-60 WHEREVER THE FULL HEIGHT OF UNCOMPRESSED R-48 INSULATION EXTENDS OVER THE WALL TOP PLATE AT THE EAVES
- 1102.2.4 (R402.2.4) ATTIC HATCHES AND DOORS, ATTIC ACCESS SCUTTLE SHALL BE FEATHERSTRIPPED AND INSULATED R-48
- 1102.4 (R402.4) BUILDINGS THERMAL ENVELOPE (AIR LEAKAGE): THE BUILDING THERMAL ENVELOPE SHALL BE CONSTRUCTED TO LIMIT AIR LEAKAGE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS R102.4.1 THROUGH R102.4.3. EXTERIOR WALLS AND PENETRATIONS SHALL BE SEALED. THIS SECTION OF 2021 IECC WITH CALIF. ASSEMBLY BILL 1519 IS AMENDED BY AN ACCREDITED LABORATORY AND LISTED AND LABELED BY THE MANUFACTURER.
- 1102.4.1.3 (R402.4.1.3) THE BUILDING OR DWELLING UNIT SHALL BE TESTED AND VERIFIED AS HAVING AN LEAKAGE RATE NOT EXCEEDING 5 AIR CHANGES PER HOUR OR 0.28 CUBIC FEET PER MINUTE. TESTING SHALL BE CONDUCTED WITH A BLOWER DOOR AT A PRESSURE OF 0.2 INCHES P.S.I.G. (50 PASCALS).
- 1102.4.2 (R402.4.2) FIREPLACES:  
 NEW WOOD-BURNING FIREPLACES SHALL HAVE TIGHT FITTING FLUE DAMPERS AND OUTDOOR COMBUSTION AIR INTAKES.
- 1102.4.3 (R402.4.3) PENETRATION AIR LEAKAGE:  
 WINDOWS, SKYLIGHTS AND SLIDING DOORS SHALL AN AIR INFILTRATION RATE OF NO MORE THAN 0.3 CFM PER SQUARE FOOT (15 L/HR/FT<sup>2</sup>) AND SLIDING DOORS NO MORE THAN 0.3 CFM PER SQ. FOOT (2.8 L/HR/FT<sup>2</sup>) WHEN TESTED ACCORDING TO NFRC 400 OR AKA/AMCA/UL/ICC-ES 21440 BY AN ACCREDITED, INDEPENDENT LABORATORY AND LISTED AND LABELED BY THE MANUFACTURER.
- 1102.4.5 (R402.4.5) RECESSED LIGHTING:  
 RECESSED LIGHTING INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO LIMIT AIR LEAKAGE.
- 1109.1.1 (R409.1.1) THERMOSTAT:  
 ALL DWELLING UNITS SHALL HAVE AT LEAST (1) PROGRAMMABLE THERMOSTAT FOR EACH SEPARATE HEATING AND COOLING SYSTEM PER 2021 IECC SECTION R409.1.
- 1109.3.1 (R409.3.1) MECHANICAL DUCT INSULATION:  
 SUPPLY DUCTS IN ATTIC R-9 MINIMUM  
 SUPPLY DUCTS OUTSIDE OF CONDITIONED SPACES R-9 MINIMUM  
 ALL OTHER DUCTS EXCEPT THOSE LOCATED COMPLETELY INSIDE THE BUILDING THERMAL ENVELOPE R-6 MINIMUM
- 1109.3.2 (R409.3.2) DUCT SEALING:  
 ALL DUCTS, AIR HANDLERS, FILTER BOXES SHALL BE SEALED. JOINTS AND SEAMS SHALL COMPLY WITH SECTION H101.4.1.
- 1109.6 (R409.6) MECHANICAL VENTILATION:  
 OUTDOOR (MAKE-UP) AIR SHALL BE BROUGHT INTO THE HOME THRU A DUCT WITH AN AUTOMATIC OR GRAVITY DAMPER THAT CLOSE WHEN VENTILATION SYSTEM IS NOT OPERATING.
- 1109.7 (R409.7) EQUIPMENT SIZING:  
 HEATING AND COOLING EQUIPMENT SHALL BE SIZED IN ACCORDANCE WITH ACCA MANUAL S BASED ON BUILDING LOADS CALCULATED IN ACCORDANCE WITH MANUAL J OR OTHER APPROVED HEATING AND COOLING CALCULATION METHODOLOGIES.
- 1104.1 (R404.1) ALL PERMANENTLY INSTALLED LIGHTING FIXTURES, EXCLUDING KITCHEN APPLIANCE LIGHTING FIXTURES, SHALL CONTAIN ONLY HIGH EFFICACY LIGHTING SOURCES.
- WATER HEATER**  
 MINIMUM EFFICIENCY TESTING ESTABLISHED BY NAECA
- MECHANICAL TESTING**  
 ALL MECHANICAL TESTING TO BE PERFORMED BY A CERTIFIED CONTRACTOR.

**NOTES**

THESE DRAWINGS DO NOT INCLUDE INDICATIONS OF NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. ALL CONSTRUCTION MUST BE DONE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT AND ALL RULES AND REGULATIONS THEREOF APPROPRIATE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY FOR COMPLIANCE HERETO.

**SECTION**

ALL WORK ON THIS PROJECT SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE BUILDING CODES, ORDINANCES, REGULATIONS AND ANY ADDITIONAL REQUIREMENTS STATED IN ANY LAW, ORDINANCE OR REGULATION PERTAINING TO CONSTRUCTION WITHIN THE JURISDICTION OF THE AUTHORITY CITY, COUNTY, STATE OR FEDERAL AGENCIES. JURISDICTION OVER THE PROJECTING ARCHITECTURAL, STRUCTURAL, MECHANICAL, PLUMBING, ELECTRICAL, ENERGY CONSERVATION, ZONING AND OTHERS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY FOR THE COMPLETION OF ALL WORKS APPLICABLE TO THIS PROJECT.

**MATERIALS, COMPONENTS, SYSTEMS AND FINISHES**

ALL MATERIALS, COMPONENTS, SYSTEMS, INTERIOR AND EXTERIOR FINISHES SHALL BE INSTALLED, ASSEMBLED, OPERATED AND/OR APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS, RECOMMENDATIONS AND/OR INSTRUCTIONS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY FOR THE PROPER INSTALLATION, APPLICATION, ASSEMBLY AND/OR OPERATION OF SAID MATERIALS, COMPONENTS, SYSTEMS AND FINISHES.

**VERIFICATION**

THE CONTRACTOR SHALL VERIFY AND FIELD CHECK ALL DIMENSIONS AND CONDITIONS PRIOR TO THE START OF ANY WORK, AND SHALL REVIEW ALL DRAWINGS AND SPECIFICATIONS FOR ANY CONDITIONS THAT MAY AFFECT HIS WORK, AND SHALL REPORT TO THE DESIGNER ANY CONDITIONS OR DISCREPANCIES OR REQUEST CLARIFICATION PRIOR TO THE START OF ANY WORK. FAILURE TO REPORT SUCH CONDITIONS OR DISCREPANCIES OR TO REQUEST CLARIFICATION PRIOR TO THE START OF ANY WORK, IS A WAIVER TO ANY CLAIM BY THE CONTRACTOR FOR ANY ADDITIONAL EXPENSES MADE NECESSARY BY REASON OF LATER INTERPRETATION OF THE DRAWINGS.

**MARKING**

MARKING DETECTORS SHALL BE LOCATED IN AREAS REQUIRED BY LOCAL CODES AND APPROVED BY THE FIRE MARSHAL. ALL DETECTORS SHALL BE INTERCONNECTED SUCH THAT THE ACTION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS IN THE INDIVIDUAL UNIT AND SHALL PROVIDE AN ALARM SIGNAL WILL BE audible in ALL sleeping areas. ALL DETECTORS SHALL BE APPROVED AND LISTED AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.

**GLAZING**

TEMPERED GLASS SHALL BE USED IN THE FOLLOWING SPECIFIC HAZARDOUS LOCATIONS:

- GLAZING IN HIBERS AND SCREENS DOORS
- GLAZING IN FIBED, BLINDS OR SHUNING PANELS OF BLINDS OR SHUNING TYPE DOORS
- GLAZING IN STORM DOORS
- GLAZING IN ALL UNFRAMED SPINNING DOORS
- GLAZING, OPERABLE OR NONOPERABLE IN SHOWERS AND BATHUBS DOORS AND ENCLOSURES WITH A HORIZONTAL EDGE LESS THAN 6 FEET 10 INCH ABOVE THE ROOM FLOOR LEVEL OR LESS THAN 10 INCHES (1038 MM) ABOVE THE GROUND FLOOR.
- GLAZING WITHIN 24 INCHES OF EITHER SIDE OF THE DOOR IN THE PLANE OF THE DOOR IN A GLOVED POSITION, WHERE THE GLAZING IS ON A WALL LESS THAN 30 INCHES FROM THE PLANE OF THE DOOR IN A GLOVED POSITION AND WITHIN 24 INCHES ON THE INSIDE SIDE OF AN IN-SWINGING DOOR.
- GLAZING IN FINED PANELS HAVING A GLAZED AREA IN EXCESS OF 9 SQUARE FEET (929 M<sup>2</sup>) WITH THE LOWEST EDGE LESS THAN 18 INCHES (457 MM) ABOVE THE FLOOR LEVEL OR FINISH SURFACE (OR 36 INCHES (914 MM) ABOVE THE FLOOR) IN THE CASE OF SAFETY GLAZING. SUCH GLAZED PANELS THAT BE PROTECTED BY A HOLEY-WEATHER RESISTANT GLASS SHALL HAVE A HORIZONTAL EDGE LOCATED BETWEEN 24 INCHES (610 MM) AND 30 INCHES (762 MM) ABOVE THE FINISH SURFACE.
- ALL GLAZING IN WALLS REGARDLESS OF AREA OR HEIGHT ABOVE A FINISH SURFACE, INCLUDING ARE STRUCTURAL, ENVELOPE PANELS AND NONSTRUCTURAL FULL PANELS.

**FRAMING**

CONTRACTOR TO VERIFY BEARING LENGTHS REQUIRED FOR ALL BEAMS. CONTRACTOR TO VERIFY ALL POST-TENSION CONNECTIONS ARE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.

FOOTINGS ARE USED FOR GRADED SOIL BEARING CAPACITY OF 2000 P.S.F. IF ACTUAL SOIL BEARING CAPACITY IS FOUND TO BE LESS, THE FOOTINGS ARE TO BE REDESIGNED ACCORDINGLY. CONCRETE SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3,000 P.S.I.

Drawing List	
Sheet Number	Sheet Name
A 1	CoverSheet
A 2	Front & Rear Elevations
A 3	Left & Right Side Elevations
A 4	Foundation Plan
A 5	First Floor Plan
A 6	Second Floor & Roof Plans
A 7	Roof Plan
A 8	3-d Views
A 9	Optional Finished Basement Plan
A 11	Section 1
A 12	Section 2



Professional Certification: I hereby certify that these drawings were prepared or supervised by me, and that I am a duly licensed professional engineer under the laws of the State of South Carolina. License No. 14665, Expiration Date 08/31/2025.

Certification is for structural framing only.



1 - 3D View

**DeGonia Designs LLC**

346 Topside West  
 Hardeeville, SC 29927  
 410-518-6736

EMAIL:  
 Scott@DeGoniaDesigns.com

**Strauss Custom**

On Your Lot Homes

No.	Description	Date



**CoverSheet**

Project number	2023-85
Date	12-12-23
Drawn by	s.d.
Checked by	s.d.

**A 1**

Scale



Professional Seal of Scott DeGonia, Registered Professional Engineer, License No. 35827, State of South Carolina. This seal is valid only when used in conjunction with the professional seal of the State of South Carolina. Certification is for structural engineering only.

**DeGonia Designs LLC**

346 Tomlin Hill  
 Henderson, SC 29827  
 410-518-6736

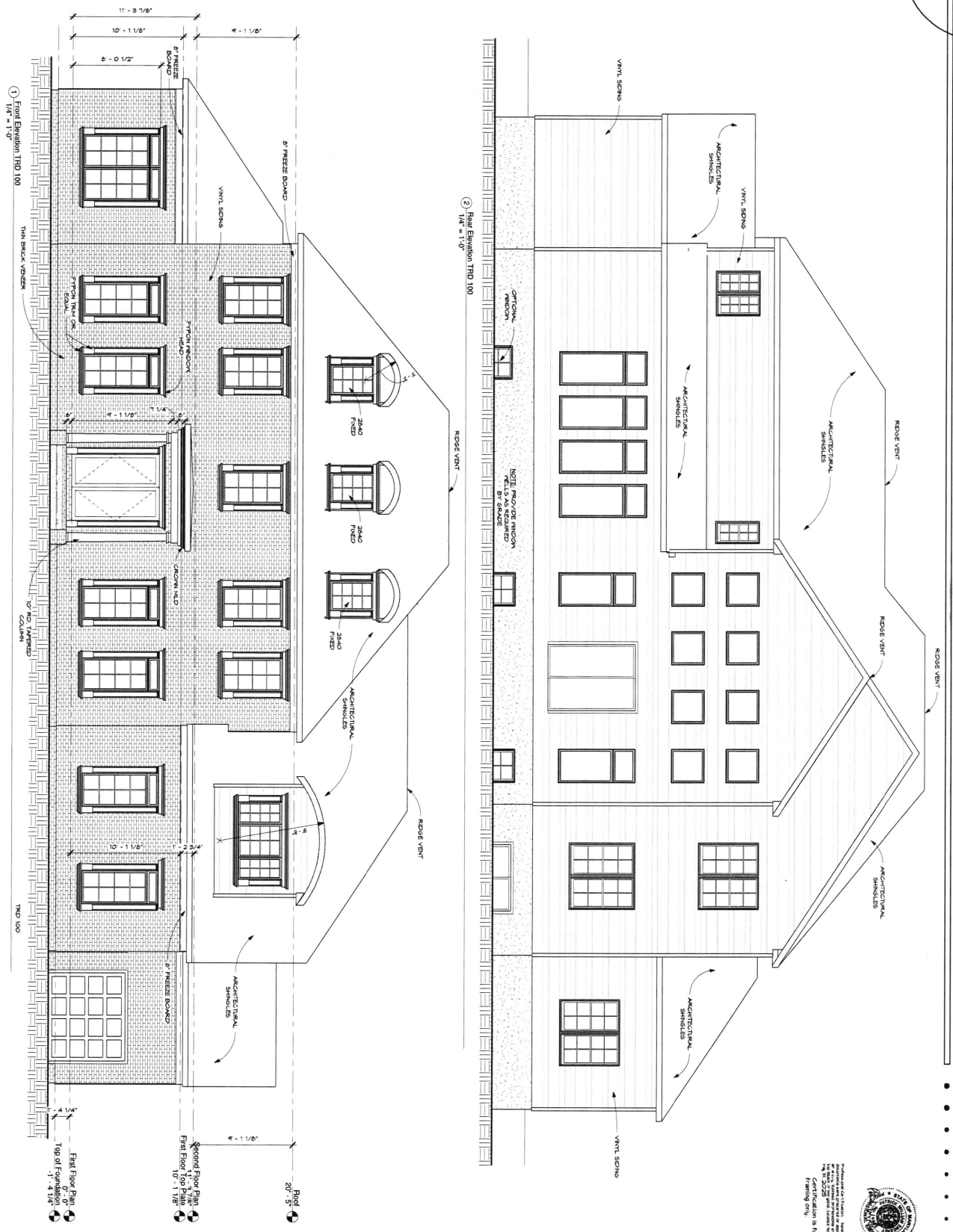
EMAIL: [Scott@pedonaldesigns.com](mailto:Scott@pedonaldesigns.com)

**Strauss Custom**  
 On Your Lot Homes

No.	Description	Date

ON YOUR LOT HOMES

Project Number: 2023-85  
 Title: 12.13.23  
 Drawn by: S.D.  
 Checked by: S.D.  
**A 2**  
 Scale: 1/4" = 1'-0"



① Front Elevation TRD 100  
 1/4" = 1'-0"

② Rear Elevation TRD 100  
 1/4" = 1'-0"





Professional Seal Foston hereby certifies that these drawings were prepared or supervised by him, are true and correct, and that he is a duly Licensed Professional Engineer under the laws of the State of South Carolina. License No. 35023. Expiration Date 12/31/25  
 Certification is for structural framing only.

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**Strauss Custom**

On Your Lot Homes

No.	Description	Date



**Second Floor & Roof Plans**

Project number	2023-85
Date	12-12-23
Drawn by	S.D.
Checked by	S.D.

**A 6**

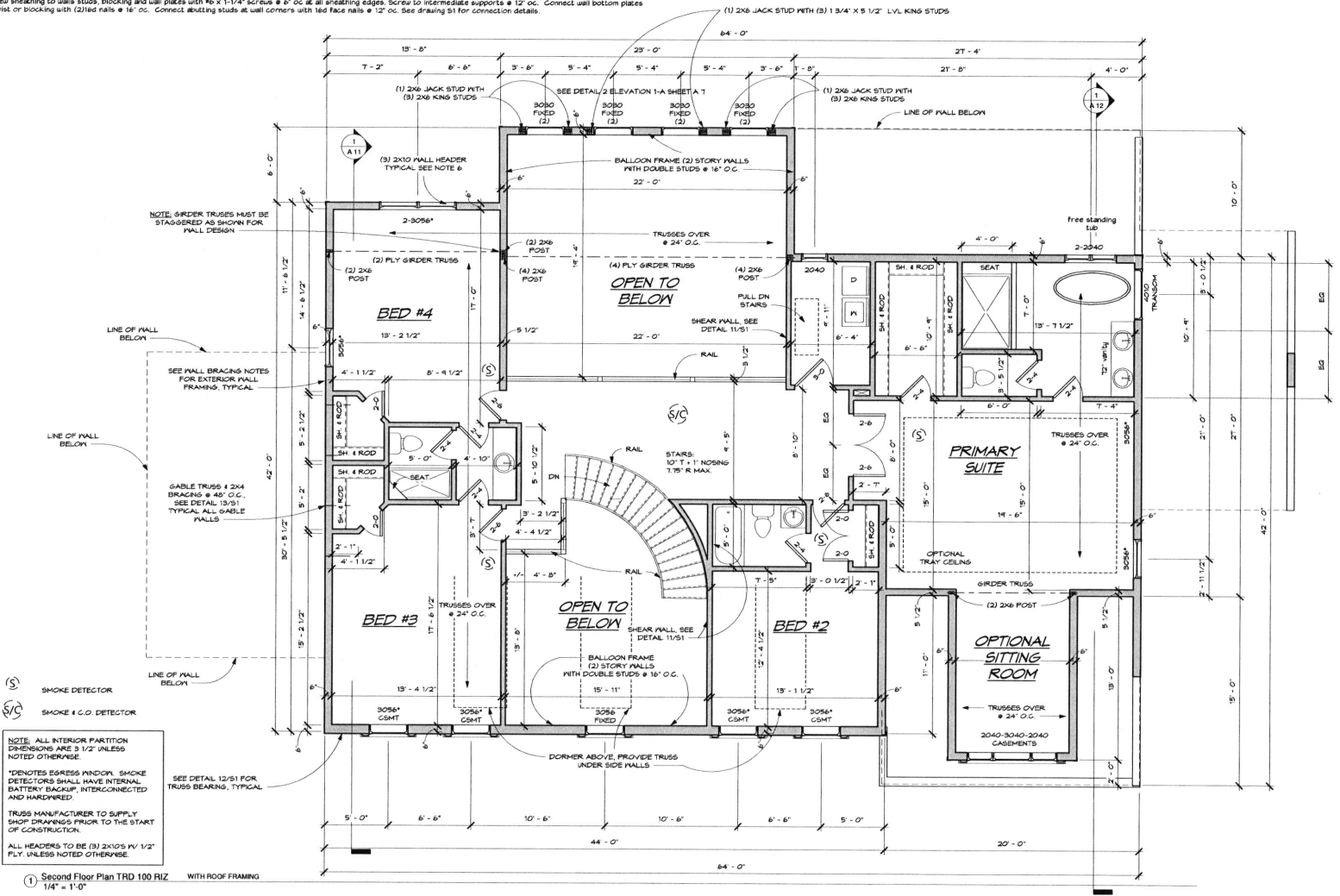
Scale 1/4" = 1'-0"

**Framing notes**

- All beams are to be dropped below floor or roof framing unless noted flush, beams are to bear the full depth of posts.
- Provide double wall stud post under all beams, headers, trimmers, multiple joists and girder trusses bearing on stud walls unless noted otherwise. Block solid between floor joists at floor levels and provide same post in stud walls below under all posts to provide solid support to foundation. See general structural notes for jamb studs at bearing wall openings.
- Connect all double LVLs together with 3/12" long FlatLock screws @ 12" staggered. Connect all triple LVLs with 3/12" long FlatLock screws @ 8" staggered.
- Connect all multiple ply stud posts with TimberLOK screws @ 12" oc staggered. Use 4" long screws at (2) ply studs and 6" long screws at (3) and (4) ply studs.
- Provide metal hangers at all flush connections. Unless noted otherwise, connect single LVLs with Simpson UL1 hanger, connect double LVLs with Simpson HUB10 hanger, connect triple LVLs with Simpson HUB55 S/O/O. Connect all LVLs to posts with (2) Simpson LCE4 post caps and connect all roof trusses and rafters to supporting walls and beams with Simpson HUB5 hurricane tie.
- Provide (3)2x10 wall header at all exterior stud wall openings unless noted.
- Roof trusses and floor joists are to be designed by the supplier. Submit design drawings to the engineer to review prior to fabrication.
- Provide 1/2" gypsum board continuous sheathing on bottom chord of roof trusses. Provide framing members or blocking at all sheathing edges and screw sheathing to trusses, blocking and rafters with #6 x 1-1/4" screws @ 6" oc at all sheathing edges and intermediate supports.

**Wall Bracing notes**

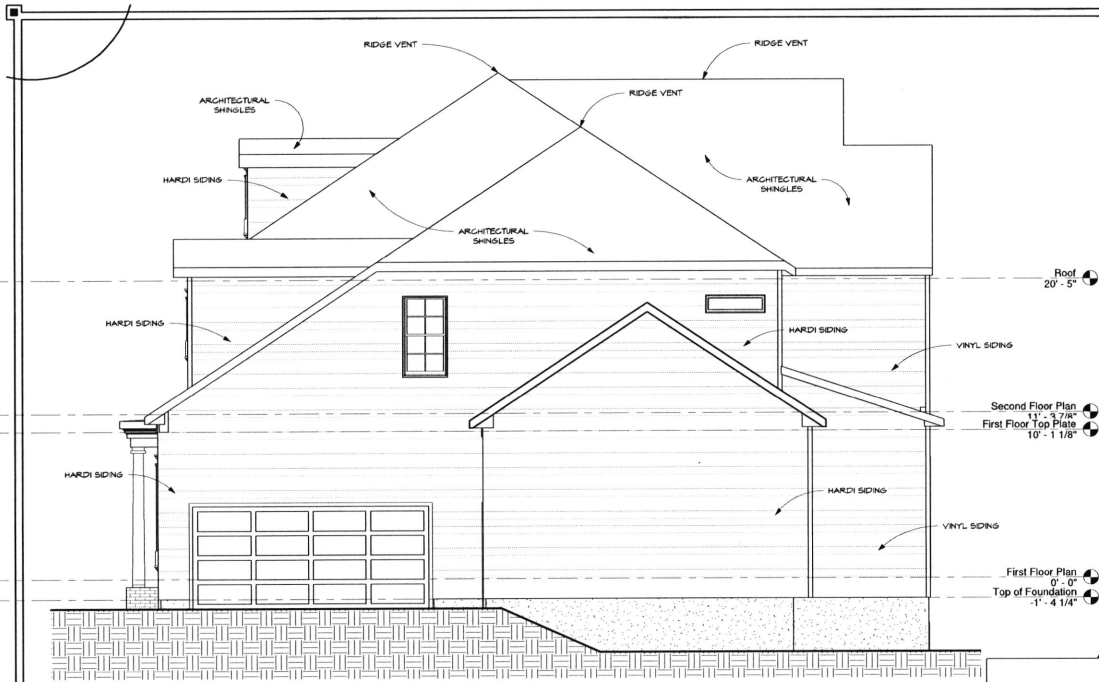
- This house was designed in accordance with Section R301.13 of the IRC code which allows engineered design in lieu of the prescriptive design method. Engineered exterior and interior shear walls were used instead of the prescriptive wall bracing specified in Section R602.10. Walls to be constructed as follows:
- All exterior stud walls are shear walls and shall have studs spaced at 16" oc with 7/16" OSB continuous sheathing on the outside face. Provide framing members or blocking at all sheathing edges and nail sheathing to walls studs, blocking and wall plates with 8d nails @ 6" oc at all sheathing edges. Nail to intermediate supports @ 12" oc. Connect wall bottom plates to joist, rim joist or blocking with (2)6d nails @ 16" oc. Connect sheathing studs to wall corners with led face nails @ 12" oc. Provide 1/2" gypsum board sheathing on the inside face of all exterior walls and connect sheathing to studs with #6x1-1/4" screws @ 12" oc. See drawing S1 for connection details.
  - All interior walls noted as shear walls shall have studs spaced at 16" oc with 1/2" (min) gypsum board continuous sheathing on each face. Provide framing members or blocking at all sheathing edges and screw sheathing to walls studs, blocking and wall plates with #6 x 1-1/4" screws @ 6" oc at all sheathing edges. Screw to intermediate supports @ 12" oc. Connect wall bottom plates to joist, rim joist or blocking with (2)led nails @ 16" oc. Connect sheathing studs at wall corners with led face nails @ 12" oc. See drawing S1 for connection details.



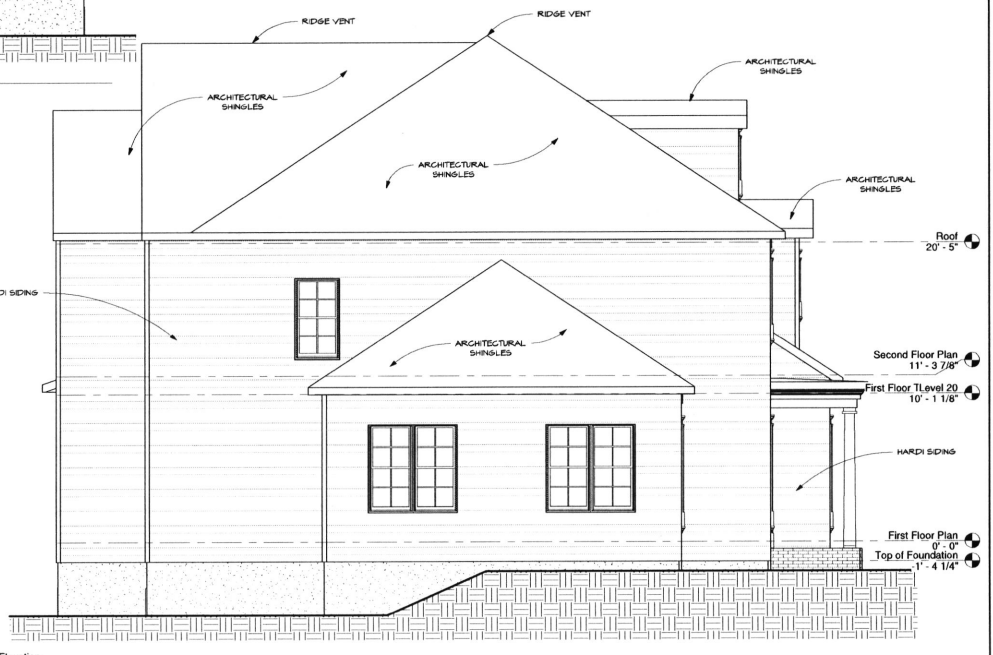
- (S) SMOKE DETECTOR
- (S/C) SMOKE & CO. DETECTOR

NOTE: ALL INTERIOR PARTITION DIMENSIONS ARE 3/12" UNLESS NOTED OTHERWISE.  
 \*INDICATES EGRESS PANIC BAR. SMOKE DETECTORS SHALL HAVE INTERNAL BATTERY BACKUP, INTERCONNECTED AND HARDWIRED.  
 TRUSS MANUFACTURER TO SUPPLY SHOP DRAWINGS PRIOR TO THE START OF CONSTRUCTION.  
 ALL HEADERS TO BE (3) 2X10S 1V 1/2" PLY UNLESS NOTED OTHERWISE.

1) Second Floor Plan TRD 100 RIZ WITH ROOF FRAMING  
 1/4" = 1'-0"



② Right Side Elevation TRD 100  
1/4" = 1'-0"



① Left Side Elevation  
1/4" = 1'-0"



Professional certification is hereby certifying that these documents were prepared or approved by me and that I am a duly Licensed professional engineer under the laws of the State of South Carolina. Licensed No. 3025. Expiration Date: 06/30/25  
Certification is for structural framing only.

**DeGonia  
Designs  
LLC**

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Hardeeville, SC 29927  
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Scott@DeGoniaDesigns.com

**Strauss Custom**

On Your Lot Homes

No.	Description	Date

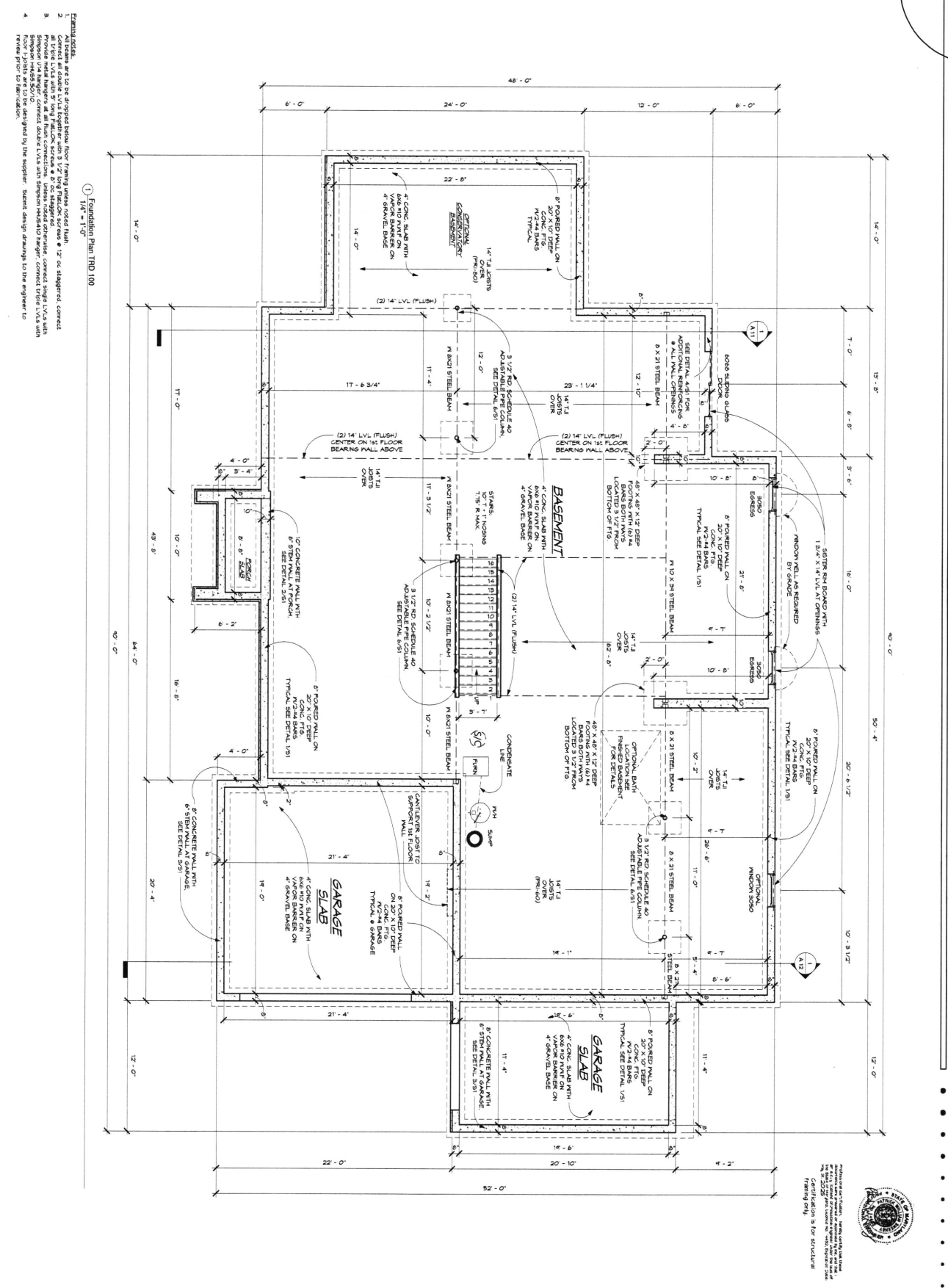


**Left & Right  
Side Elevations**

Project number	2023-85
Date	12-12-23
Drawn by	s.d.
Checked by	s.d.

**A 3**

Scale 1/4" = 1'-0"



- Foundation Plan TMD 100**  
14'-0" x 14'-0"
1. All beams are to be dropped below floor framing unless noted.
  2. All concrete is to be cast in place.
  3. All concrete is to be cast in place.
  4. All concrete is to be cast in place.



Scott D. Gannon  
Professional Engineer  
State of South Carolina  
License No. 35927  
Certification is for structural  
framing only.

**DeGonia Designs LLC**  
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410-518-6736  
EMAIL: Scott@DeGoniaDesign.com

**Strauss Custom**  
On Your Lot Homes

No.	Description	Date

IN YOUR LOT HOMES  
**Foundation Plan**

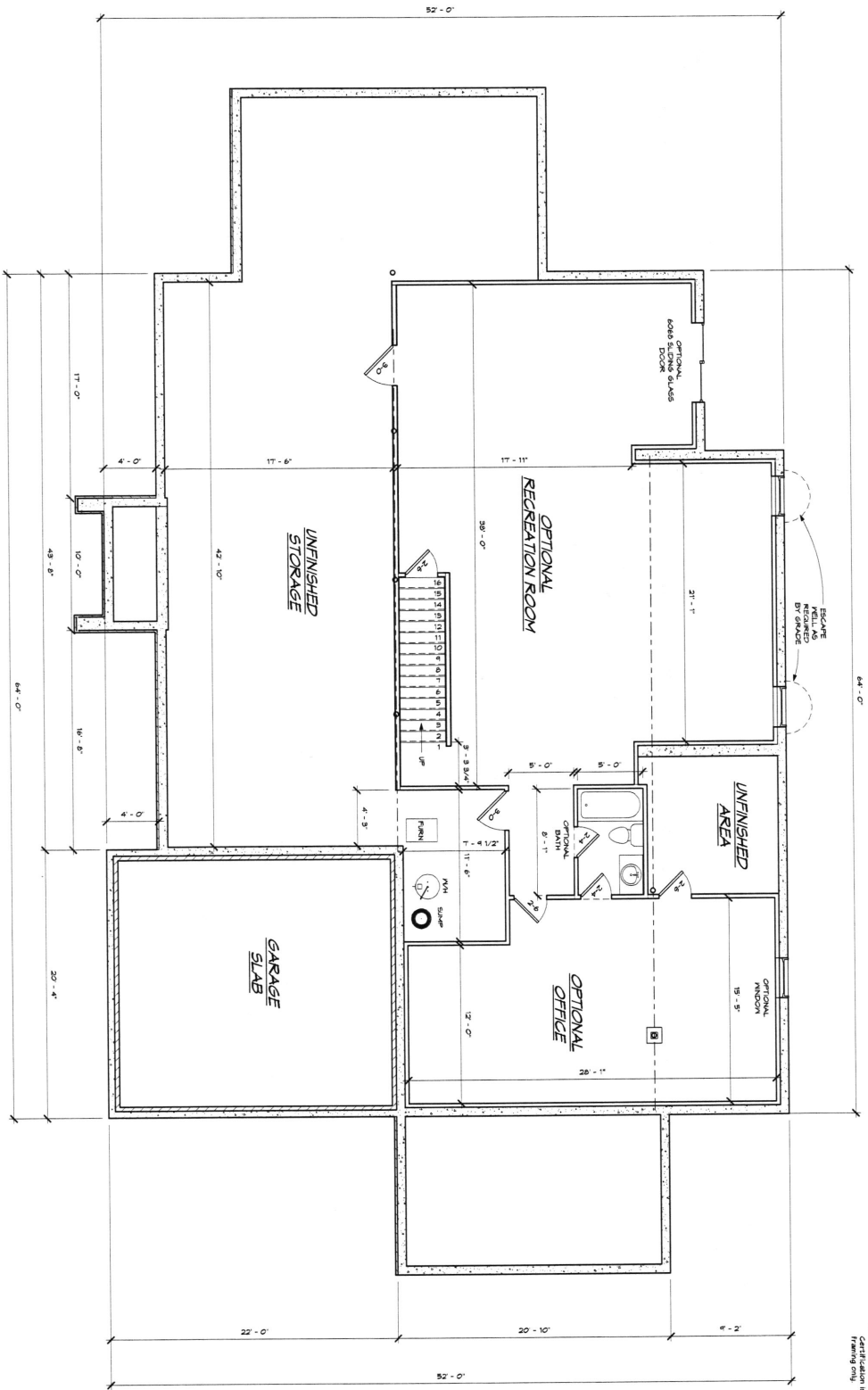
Project number	2023-85
Date	12-12-23
Drawn by	S.D.
Checked by	S.D.
Scale	<b>A 4</b> 1/4" = 1'-0"







Professional Engineer  
 DeGonia Designs LLC  
 346 Tropicale West  
 Hendersonville, SC 29057  
 410-518-6738  
 Certification is for structural  
 framing only.



① Foundation Plan Finished Basement  
 1/4" = 1'-0"

**DeGonia  
 Designs  
 LLC**

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 410-518-6738

EMAIL:  
 Scott@DeGoniaDesigns.com

**Strauss Custom**

On Your Lot Homes

**Optional  
 Finished  
 Basement Plan**

Project number: 2023-95  
 Date: 12-12-23  
 Drawn by: AUBURN  
 Checked by: CHANDLER

**A 9**

Scale: 1/4" = 1'-0"



