

Menu Save Reset Cancel Help

Record Detail * (This section is required.)

Case #
 EH-PLANS-24-0
 Type
 EnvHealth/Environmental Health/Plan Check/Application
 Status
 In Review
 Opened Date
 12/30/2024

Due 1/14

Online BP. 3/12/31/24

Single Entry Edit-View Record Form

Application Name
 B24004773
 Description
 SFD/ CONSTRUCT 16 X 22 DETACHED GARAGE not to be lived in or for commercial use. Height will be about 12.25', 1 STORY, Slab on Grade, 0R, 0FB, 0HB, 0FP, OTHER STRUCTURE = Detached Garage, 0BR, PORCH/DECK = N/A, ENERGY METHOD = N/A,

1/17 - Sent waiver request form to PC Reg

Total Invoiced
 0.00
 Total Paid
 0.00
 Balance
 0.00

Approved RUC 6/17/2025

Assigned to Department Current Department
 Well and Septic Progr:
 Assigned to Staff Current User
 Zack Silvast

Address * (This section is required.)

New	Search	Delete	Set Primary	Street # (start)	Direction	Street Name	Street Type	City	State	Zip Code	Address Status	Street Suffix (Direction)	Unit Type	U
<input type="checkbox"/>	<input checked="" type="radio"/>			7465		Mink Ho...	RD	High...	MD	20777				

Parcel (This section is not required.)

Search	Delete	Get Address & Owner	Set Primary	Parcel #	Book	Page	Parcel	Parcel Area	Land Value	Improved Value	Exemption Value	Legal Description	Tract
0 record(s) found.													

Owner (This section is not required.)

Search Delete Set Primary

Applicant * (This section is required.)

Search As Owner As Lic. Prof As Contact

Single Entry Applicant Form
 Type *
 Applicant
 Primary
 Yes
 First Name *
 Tom
 Middle Name
 Last Name *
 Saurey
 Home Phone ((xxx)xxx-xxxx)
 Organization Name *
 Tuff Shed, Inc.
 Mobile Phone ((xxx)xxx-xxxx)
 (303) 474-5524
 E-mail
 licenses@tuffshed.com
 Business Phone ((xxx)xxx-xxxx)
 Preferred Channel
 --Select--
 Applicant Address

Kayla Tuff Shed 804 877 0921

New Look Up Deactivate Remove

Custom Fields

DATE TRACKING

Received Date: 12/27/2024 Due Date: 1/14/2025

Dates to Complete: 14 (Number) Received by Food: []

Food Review Type: --Select-- Equipment Specification Sheets Submitted: []

Equipment Specification Sheet: [] Received by Community Hygiene: []

Received by Well and Septic: 12/27/2024

FACILITY INFORMATION

Name of Business (dba): n/a (Text)

Associated Building Permit Number: (Text)

Owner Switch Date: []

Does the project include an Aquatic Facility such as a Public Pool? If Yes, forward to CH Program. Yes No

Does the project include Private Septic? If Yes, forward to WS Program. Yes No

Is this a Prototype Food Service Facility? If Yes, refer to State. Yes No

Facility Fax: 0 (Text)

Days of Operation: 0 (Text)

Does this project have a Building Permit? Yes No

Building Permit Issued Date: []

Non-Profit

Does the project include Private Well? If Yes, forward to WS Program. Yes No

Does the project include Food Services? If Yes, forward to FP Program. Yes No

Facility Phone: 0 (Text)

Facility Email: 0 (Text)

PROPERTY INFORMATION

Water Source: --Select-- Sewage Disposal: --Select--

Design Wastewater Flow: (Number) Permit Type: --Select--

PLAT STATS

Total Number of buildable lots to be recorded: 0 (Number)

Total number of open space lots to be recorded: 0 (Number)

Total number of bulk parcels to be recorded: (Number)

Total number of lots / parcels to be recorded: (Number)

New buildable lots created: (Number)

Date PLAT signed by Health Officer: []

PLAT Type: --Select--

DEVELOPMENT PLANS

Property Type: --Select-- Plan Version: --Select--

Signature Required: Yes No Engineer: (Text)

Number of paper copies: (Number) Number of mylar copies: (Number)

Number of buildable lots created: (Number) Number of non-buildable lots created: (Number)

Total Number of Lots: 0 (Number) Associated Plans: []

WELL AND SEPTIC INTERNAL

State Review Required Coordinate State Review

Yes No Yes No

Proposed Septic System Type

--Select--

FOOD ESTABLISHMENT FACILITY

Priority Assessment

--Select--

Licensed Type

--Select--

License Category

--Select--

FOOD ESTABLISHMENT INFORMATION

Hours of Operation

(Text)

Operating Seasonally Only

If Operating Seasonally, What is the start month?

(Text)

Are pets allowed in a outdoor seating area?

Yes No

Full Bar?

Yes No

RESTAURANT AND FOOD SERVICE

Food Service Facility Secondary Category

--Select--

Total Seating Capacity

(Number)

Number of Restrooms

(Number)

Interior Restaurant Seating Capacity

(Number)

Bar Seating Capacity

(Text)

Outdoor Seating Capacity

(Text)

Does the restaurant have outdoor seating

Yes No

EQUIPMENT

Evaluated non NSF, ANSI, CF or other standards

Yes No

Description of Refrigeration Units

Number of Walk-In Refrigerator Units

(Number)

Description of Walk-In Freezer Units

(Text)

Is there a bulk ice machine available

Yes No

Space Limitation

Number of Hand Sinks Available

(Number)

Hood System

(Text)

Ventless Equipment

(Text)

PLUMBING

Size and installation of the water heater?

(Text)

Is there a grease interceptor or grease trap?

--Select--

REFUSE AND RECYCLABLES

Dumpsters Located on a impervious surface?

--Select--

Will there be a grease receptacle?

--Select--

WAREWASHING DISHWASHING

Dishwashing Method

--Select--

HACCP

Plan Review Response Letter Received

Yes No

Date HACCP Approved by the State

Date HACCP Plan Submitted

HACCP Plan Approved

HACCP Plan Review

Plan Review Letter Mailed

HACCP Plan Revision Submitted

HACCP Fee Type

--Select--

FINISHING SCHEDULE

Kitchen Floor / Bar Flooring --Select--	Kitchen Cove Base --Select--
Storage - Food Storage Flooring --Select--	Storage - Food Storage Cove --Select--
Utensil Washing Area Flooring --Select--	Utensil Washing Area Cove --Select--
Dressing / Locker Room Flooring --Select--	Dressing / Locker Room Cove --Select--
Toilet Area Flooring --Select--	Toilet Area Cove --Select--
Walk-in Refrigerator Flooring --Select--	Walk-in Refrigerator Cove --Select--
Kitchen Walls --Select--	Utensil Washing Area Walls --Select--
Restroom Walls --Select--	Are Kitchen Ceilings tiles smooth non-fiberglass backing? <input type="radio"/> Yes <input type="radio"/> No
Are ceiling rafters exposed ? <input type="radio"/> Yes <input type="radio"/> No	Are ceiling tiles in equipment and utensil washing areas, smooth with non-fiberglass backing? <input type="radio"/> Yes <input type="radio"/> No

SPECIAL PROCESSING

Does the facility conduct any special processing? If yes, Please describe.

Yes No

(Text)

AF OWNERS STATEMENT

Owner's Statement Provided Comments - Owner

--Select--

Empty text box for owner comments.

AF Plans and Drawings

A. Drawn to scale and prepared by a licensed engineer or architect

--Select--

B. Contour plan included

--Select--

C. Top and sectional views provided

--Select--

Comments

Empty text box for plan drawing comments.

AF BARRIER FENCING

A. Minimum 6' high barrier around the pool / spa facility

--Select--

B. Maximum vertical clearance between grade and the bottom of the barrier is 4 inches

--Select--

C. Fence pickets or barrier openings do not exceed 4 inches

--Select--

D. A barrier with horizontal members less than 45 inches apart measured top to top does not have

--Select--

1. vertical openings > 1-3/4 inches in width

--Select--

2. horizontal members on the outside of the fence

--Select--

E. The barrier main access gate:

Empty text box for barrier main access gate details.

1. is located toward the shallow end of the pool

--Select--

2. has a latch release at least 54 inches from grade level and is lockable

--Select--

3. minimum width of 4 feet and is hung to open away from the pool or spa

--Select--

4. complies with all disability regs (see COMAR 05.02.02)

--Select--

F. Minimum 5' high barrier for semipublic pool or spa

--Select--

G. A wading or infant pool is separated from a pool or spa by a barrier that is 3' or higher.

--Select--

Comments

Empty text box for barrier fencing comments.

AF INFORMATION

Plan Review Type

--Select--

Aquatic Facility Project Description

(Text)

County Building Permit Number

(Text)

Expected Completion of Construction

□

Total Aquatic Facilities at Venue

(Number)

Sewer Service

--Select--

Water Service

--Select--

County Plumbing Permit Number

(Text)

County Electrical Permit Number

(Text)

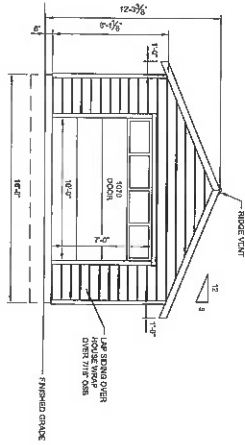
AF DECKS

A. Completely surrounds the pool with a minimum width of 4' and an average width of 6'.

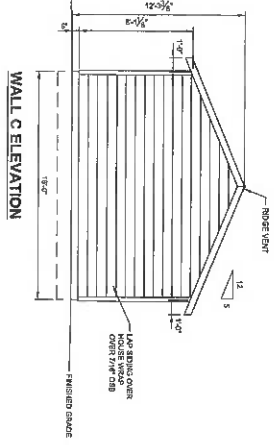
B. Is in conformance with applicable ANSI/NSPI-1 (2003) standards for decking (7.1.1 - 7.1.17)

ACCESSORY BUILDING
16' X 22' = 252 SQ FT

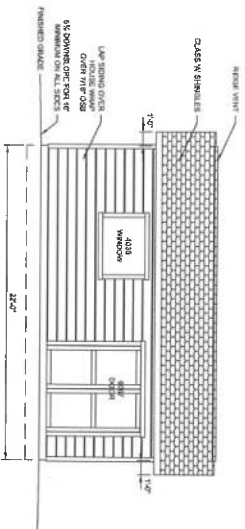
DRAWING INDEX
 S1 - FLOOR PLAN
 S2 - PLANS SHEAR WALL SCHEDULE
 S3 - SECTIONS, DETAILS



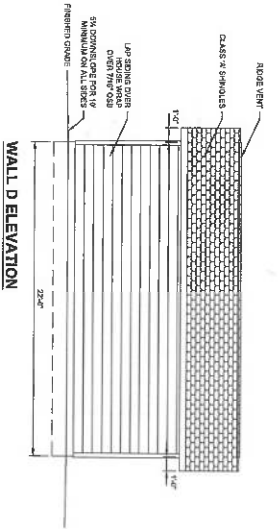
WALL A ELEVATION



WALL C ELEVATION



WALL B ELEVATION



WALL D ELEVATION

PROJECT NOTES

1. DESIGN REQUIREMENTS
 - A. GENERAL NOTES: SEE S2
 - B. OCCUPANCY GROUP: RESIDUAL
 - C. DESIGN WIND SPEED: 115 MPH
 - D. RISK CATEGORY: II
2. DESIGN SCHEDULE
 - A. BUILDING CODE: IRC
 - B. LENGTH: 22'-0"
 - C. TOTAL HEIGHT: 16'-0"
 - D. ROOF PITCH: 12/12
 - E. FINISH FLOOR: 1'-11 1/2" AFF
 - F. FINISH CEILING: 7'-9 1/2" AFF
 - G. FINISH GROUND: 0'-0" AFF
 - H. FINISH GRADE: 0'-0" AFF
 - I. FINISH SILL: 1'-0" AFF
 - J. FINISH TOP: 1'-0" AFF
 - K. FINISH FINISH: 1'-0" AFF
3. ROOFING SCHEDULE
 - A. ROOF PITCH: 12/12
 - B. ROOFING: 1/2" OSB
 - C. ROOFING: 1/2" OSB
 - D. ROOFING: 1/2" OSB
 - E. ROOFING: 1/2" OSB
 - F. ROOFING: 1/2" OSB
 - G. ROOFING: 1/2" OSB
 - H. ROOFING: 1/2" OSB
 - I. ROOFING: 1/2" OSB
 - J. ROOFING: 1/2" OSB
 - K. ROOFING: 1/2" OSB
4. WOOD FRAMING
 - A. ALL WALL FRAMING SHALL BE 2x4 STUDS ON 16" O.C.
 - B. ALL ROOF FRAMING SHALL BE 2x6 TRUSSES ON 24" O.C.
 - C. ALL FLOOR FRAMING SHALL BE 2x10 JOISTS ON 16" O.C.
 - D. ALL CEILING FRAMING SHALL BE 2x6 TRUSSES ON 24" O.C.
 - E. ALL PARTIAL WALLS SHALL BE 2x4 STUDS ON 16" O.C.
 - F. ALL PARTIAL ROOFS SHALL BE 2x6 TRUSSES ON 24" O.C.
 - G. ALL PARTIAL FLOORS SHALL BE 2x10 JOISTS ON 16" O.C.
 - H. ALL PARTIAL CEILINGS SHALL BE 2x6 TRUSSES ON 24" O.C.
 - I. ALL PARTIAL WALLS SHALL BE 2x4 STUDS ON 16" O.C.
 - J. ALL PARTIAL ROOFS SHALL BE 2x6 TRUSSES ON 24" O.C.
 - K. ALL PARTIAL FLOORS SHALL BE 2x10 JOISTS ON 16" O.C.
 - L. ALL PARTIAL CEILINGS SHALL BE 2x6 TRUSSES ON 24" O.C.
5. SOIL
 - A. ALL FOUNDATION SHALL BE 12" CONCRETE ON 4" SAND.
 - B. ALL FOUNDATION SHALL BE 12" CONCRETE ON 4" SAND.
 - C. ALL FOUNDATION SHALL BE 12" CONCRETE ON 4" SAND.
 - D. ALL FOUNDATION SHALL BE 12" CONCRETE ON 4" SAND.
 - E. ALL FOUNDATION SHALL BE 12" CONCRETE ON 4" SAND.
 - F. ALL FOUNDATION SHALL BE 12" CONCRETE ON 4" SAND.
 - G. ALL FOUNDATION SHALL BE 12" CONCRETE ON 4" SAND.
 - H. ALL FOUNDATION SHALL BE 12" CONCRETE ON 4" SAND.
 - I. ALL FOUNDATION SHALL BE 12" CONCRETE ON 4" SAND.
 - J. ALL FOUNDATION SHALL BE 12" CONCRETE ON 4" SAND.
 - K. ALL FOUNDATION SHALL BE 12" CONCRETE ON 4" SAND.
 - L. ALL FOUNDATION SHALL BE 12" CONCRETE ON 4" SAND.
6. MATERIAL EVALUATION REPORT IDENTIFICATION
 - A. MATERIAL EVALUATION REPORT IDENTIFICATION
 - B. MATERIAL EVALUATION REPORT IDENTIFICATION
 - C. MATERIAL EVALUATION REPORT IDENTIFICATION
 - D. MATERIAL EVALUATION REPORT IDENTIFICATION
 - E. MATERIAL EVALUATION REPORT IDENTIFICATION
 - F. MATERIAL EVALUATION REPORT IDENTIFICATION
 - G. MATERIAL EVALUATION REPORT IDENTIFICATION
 - H. MATERIAL EVALUATION REPORT IDENTIFICATION
 - I. MATERIAL EVALUATION REPORT IDENTIFICATION
 - J. MATERIAL EVALUATION REPORT IDENTIFICATION
 - K. MATERIAL EVALUATION REPORT IDENTIFICATION
 - L. MATERIAL EVALUATION REPORT IDENTIFICATION
7. GENERAL NOTES
 - A. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE INTERNATIONAL RESIDENTIAL CODE BOOK (IRC).
 - B. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE INTERNATIONAL BUILDING CODE (IBC).
 - C. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE INTERNATIONAL MECHANICAL CODE (IMC).
 - D. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE INTERNATIONAL PLUMBING AND MECHANICAL CODE (IPC).
 - E. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE INTERNATIONAL ELECTRICAL CODE (NEC).
 - F. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE INTERNATIONAL FIRE AND SAFETY CODE (IFSC).
 - G. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE INTERNATIONAL ENERGY CODE (IECC).
 - H. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE INTERNATIONAL SMOKE AND ALARM CODE (ISACC).
 - I. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE INTERNATIONAL GREEN BUILDING CODE (IGBC).
 - J. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE INTERNATIONAL WELL-BEING AND PRODUCTIVITY CODE (IWPC).
 - K. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE INTERNATIONAL WELL-BEING AND PRODUCTIVITY CODE (IWPC).
 - L. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE INTERNATIONAL WELL-BEING AND PRODUCTIVITY CODE (IWPC).
8. MATERIAL EVALUATION REPORT IDENTIFICATION
 - A. MATERIAL EVALUATION REPORT IDENTIFICATION
 - B. MATERIAL EVALUATION REPORT IDENTIFICATION
 - C. MATERIAL EVALUATION REPORT IDENTIFICATION
 - D. MATERIAL EVALUATION REPORT IDENTIFICATION
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 - L. MATERIAL EVALUATION REPORT IDENTIFICATION
9. MATERIAL EVALUATION REPORT IDENTIFICATION
 - A. MATERIAL EVALUATION REPORT IDENTIFICATION
 - B. MATERIAL EVALUATION REPORT IDENTIFICATION
 - C. MATERIAL EVALUATION REPORT IDENTIFICATION
 - D. MATERIAL EVALUATION REPORT IDENTIFICATION
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 - J. MATERIAL EVALUATION REPORT IDENTIFICATION
 - K. MATERIAL EVALUATION REPORT IDENTIFICATION
 - L. MATERIAL EVALUATION REPORT IDENTIFICATION
10. MATERIAL EVALUATION REPORT IDENTIFICATION
 - A. MATERIAL EVALUATION REPORT IDENTIFICATION
 - B. MATERIAL EVALUATION REPORT IDENTIFICATION
 - C. MATERIAL EVALUATION REPORT IDENTIFICATION
 - D. MATERIAL EVALUATION REPORT IDENTIFICATION
 - E. MATERIAL EVALUATION REPORT IDENTIFICATION
 - F. MATERIAL EVALUATION REPORT IDENTIFICATION
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 - J. MATERIAL EVALUATION REPORT IDENTIFICATION
 - K. MATERIAL EVALUATION REPORT IDENTIFICATION
 - L. MATERIAL EVALUATION REPORT IDENTIFICATION

TUFF SHED
 Storage Buildings & Garages
TUFF SHED INC.
 3861 W PATTERSON AVE, SUITE C
 BALTIMORE, MD 21224
 410-996-9999

THESE DRAWINGS AND THE DESIGN ARE THE PROPERTY OF TUFF SHED, INC. THESE DRAWINGS ARE FOR A BUILDING TO BE SUPPLIED AND BUILT BY TUFF SHED, INC. ANY OTHER USE IS FORBIDDEN BY TUFF SHED, INC.

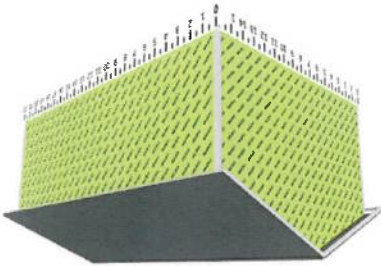
DO # 2125459 EP # 23156
 Customer: ERIC EASTMAN
 Description: ACCESSORY BUILDING
 16' X 22' = 252 SQ FT
 Site Address: 5924 HOLLOW ROAD
 HIGHLAND, MD 20777

DATE: 12/18/2024
 DRAWN BY: TJS
 CHECKED BY: TJS
 REVISIONS:
 1. 12/18/2024
 2. 12/18/2024

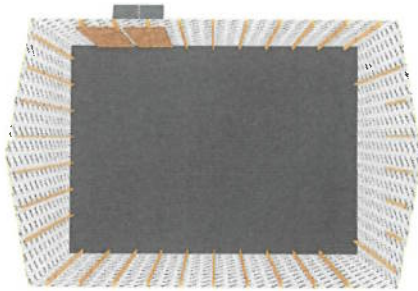
SCALE: 1/4" = 1'-0"
 SHEET: S1
 OF 3

4/27/2024

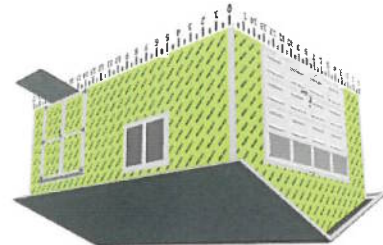
eric m eastman@gmail.com



Wall C



Wall B



Wall D

Wall A

Base Details/Permit Details

Building Size & Style
 Premier Pro Ranch Garage - 16' wide by
 22' long

Door
 Overhead Garage Door (10' x 7'), Glass
 Top Panel, Garage Door Opener

Paint Selection
 Base: Customer Supplied Color, Trim:
 Delicate White

Roof Selection
 Pewter Gray Dimensional Premium
 Shingle

Drip Edge
 White

Is a permit required for this job?
 Yes

Who is pulling the permit?
 Tuff Shed

Optional Details

Special Instructions
 Customer to supply own paint, Navajo
 White from Sherwin Williams. Let
 customer know amount of paint to
 order. TS rep to pickup and deliver to
 warehouse.

Doors
 3' x 6'7" Double Shed Door (6'), Drip
 Cap, Heavy Duty Ramp Pair

Windows
 4'x3' Insulated Horizontal Sliding
 Window

Walls
 669 Sq Ft House Wrap
 669 Sq Ft Horizontal Cement Lap Sliding

Jobsite/Installer Details

Do you plan to insulate this building after
 Tuff Shed installs it?
 Yes

Is there a power outlet within 100 feet of
 installation location?
 Yes

The building location must be level to
 properly install the building. How level
 is the install location?
 Slab provided by customer will be
 within 1/8" tolerance on square, level,
 exterior dimensions to match the
 building size (per customer agreement).
 Will there be 18" of unobstructed
 workspace around the perimeter of all
 four walls?
 Yes

Can the installers park their pickup truck &
 trailer within approximately 200' of
 your installation site?
 Yes

Substrate Shed will be installed on?
 Concrete without Shed Floor



Eric Eastman
7465 Mink Hollow Road
Highland MD 20777
Q-2883020

Customer Signature: _____ Date: _____



Bureau of Environmental Health
 8930 Stanford Blvd | Columbia, MD 21045
 410.313.2640 - Voice/Relay
 410.313.2648 - Fax
 1.866.313.6300 - Toll Free

Maura J. Rossman, M.D., Health Officer

APPLICATION FOR WAIVER

To Howard Co Code Subtitle 8: Onsite Sewage Disposal Systems and Subtitle 9: Individual Potable Water Supply Systems

Date Submitted: 1/17/2025

Property Address: 7465 Mink Hollow Rd. Highland MD 20777

Country Farm Lane	15	0040	0007	0418	1405365147
Subdivision	Lot	Tax Map	Grid	Parcel	Tax Account #

Provide a brief site history including previously submitted and active plans with the Health Department or the County (subdivision plans, perc test applications, Building Permit applications):

Building permit application B24004773 proposing storage shed 16X22 (no living space or plumbing).

In the area below, list the specific section of the Howard Co Code to which a waiver is being requested and provide a brief summary of the regulation and an explanation of why the waiver is being requested (Attach a separate sheet if necessary).

Regulation Section	Summary and Explanation
1. <u>SEC. 3.805.(a)(1)(ii)</u>	<u>Property must have approved PC if proposing structure over 250sqft and is not a garage.</u>
2. _____	_____
_____	_____
_____	_____

Eric M. Eastman 1/21/25

Property Owner's Signature

Health Department Use Only

Reviewed by _____ HCHD Staff _____ Date _____

Comments/Conditions: approved for structure with no plumbing or living space in location shown on plan - AND - maintain 6' setback to existing drywell

Approved by: [Signature] 6/16/25
 BEH Deputy Director Date

Sent to Robert
Freeman at
Howard County
8/9/25

SET

PK
NAIL
SET

MACADAM
DRIVEWAY

GRAVEL D/W

N 57° 42' 00" W
548.10

ND

~ 80 ft from
New Garage to
Property line

20' Stone
Dry Wall
to New
Garage

143' ±

New
Garage
16' x 22'

65' ±

Room
Addition

Dry
Wall

Septic Tank
to well
113'

Att.
Garage

Septic
Tank

Well

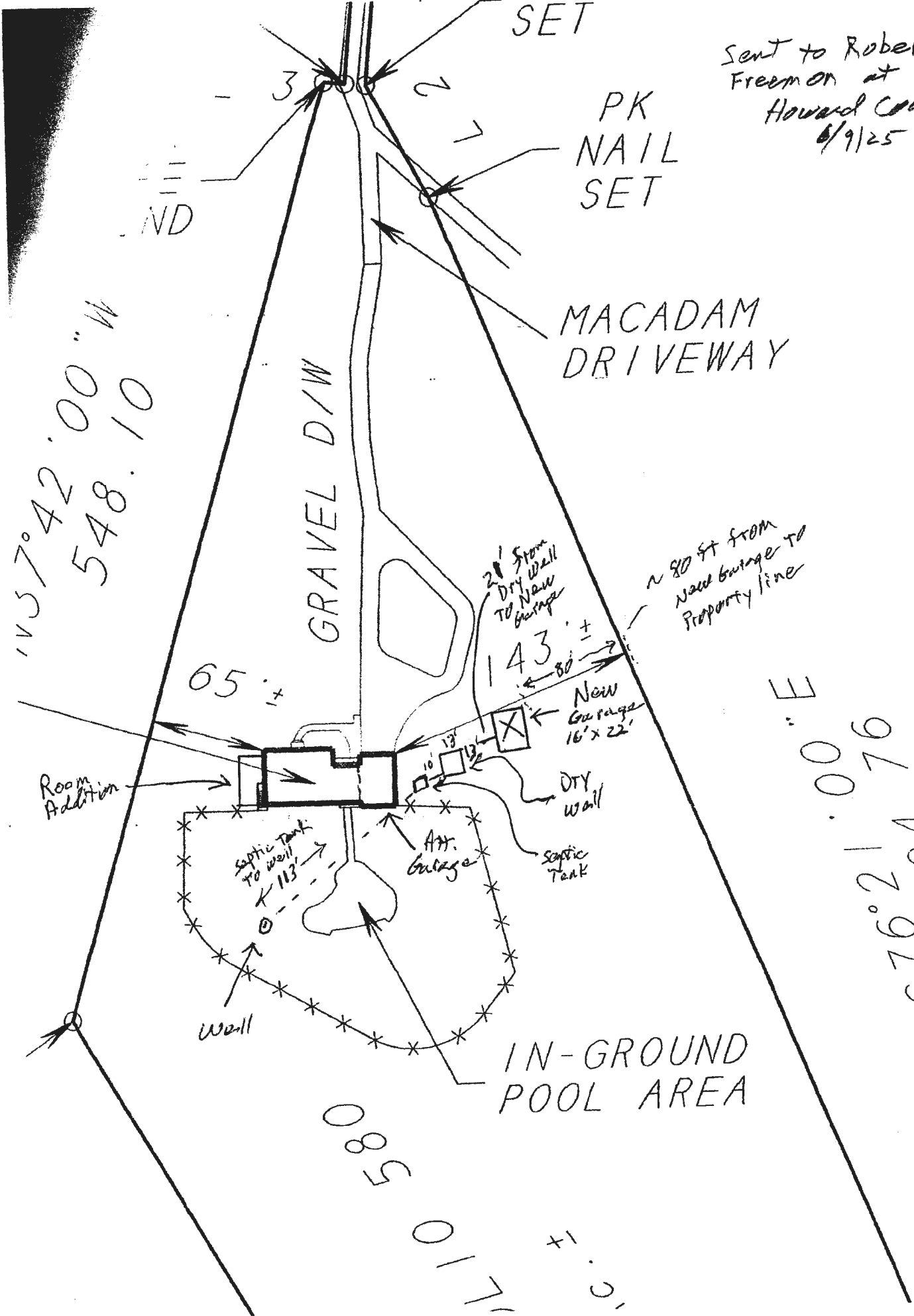
IN-GROUND
POOL AREA

S 76° 21' 00" W
576.21

580

510

±



Hatfield's Equipment and Dedication Services, Inc.

P.O. Box 519 • Annapolis Junction, MD 20701-0519
Office: 301-490-4289 / 888-490-4289 • Fax: 301-490-5794

Eric Eastman
7465 Mink Hollow Road
Highland, MD 20777

4/1/2025

Single family home

This home is serviced by septic and well.

The tank is a 1000 gallon concrete tank with a 6" clean out on the front of the tank.
3' to the top of the tank from ground surface.

There is a 4" PVC pipe to the drywell.

Drywell has a 6" cast observation port.

The drywell bottom is 8' ft. below the inlet.

Bottom of the drywell is 11.5 ft. from the top of the ground. Inlet at 3.5 ft., liquid level is 5'
down from original grade leaving 2.5 ft. of area remaining below the inlet.

Engineers:

Benchmark Engineering (410) 465-6105

John Carney jcarney@bei-civilengineering.com

3300 North Ridge Road

Suite 400

Ellicott City, MD 21042

Fisher, Collins & Carter Inc. (410) 461-2855 x 1839

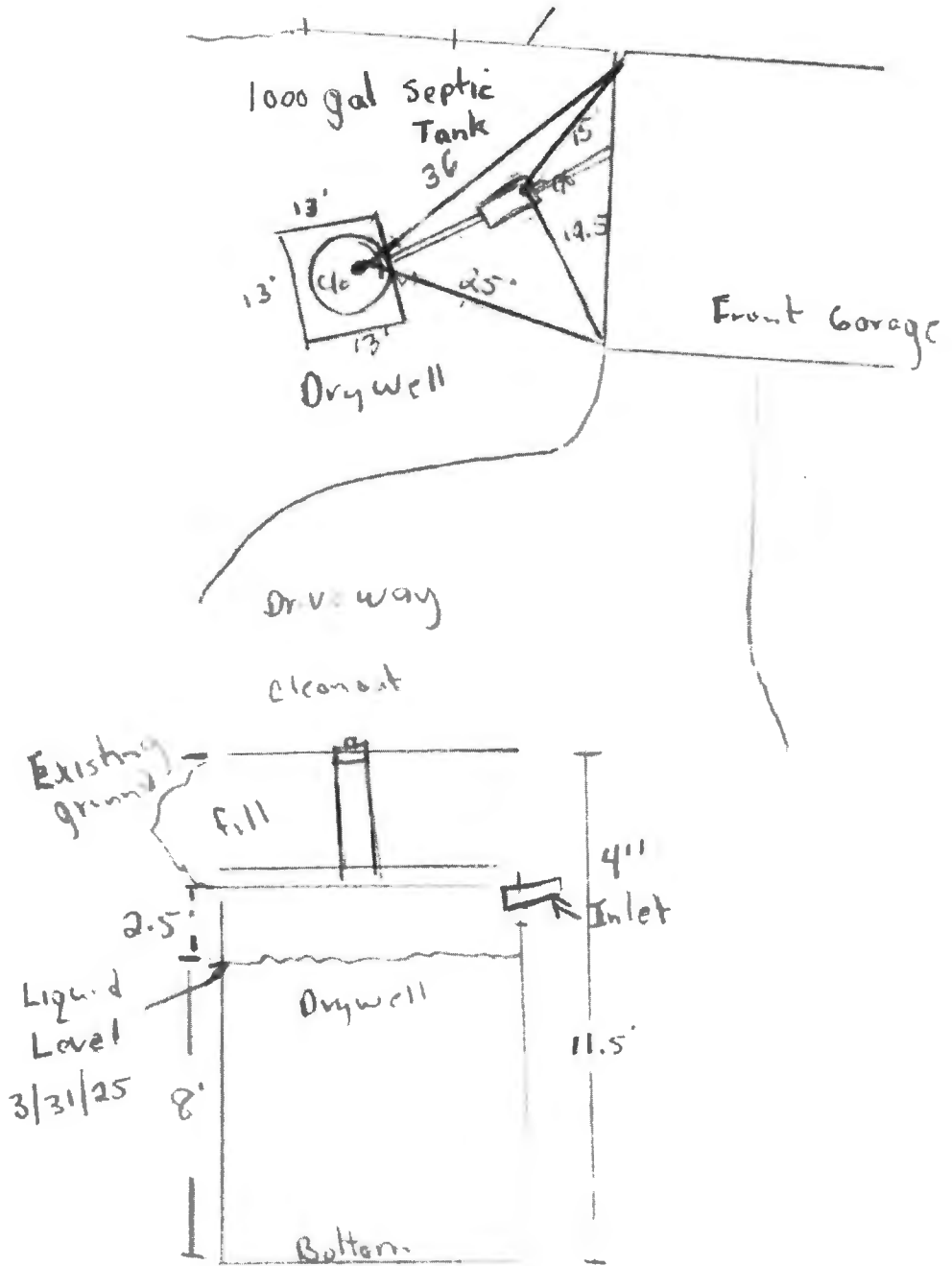
Frank Manalansan frank@fcc-eng.com

10272 Baltimore National Pike

Ellicott City, MD 21042


Ken Hatfield

Asbuilt Septic By Ken Hatfield
7465 Mink Hollow Road



SITE INSPECTION SHEET

OWNER: Eric Eastman PHONE #: _____

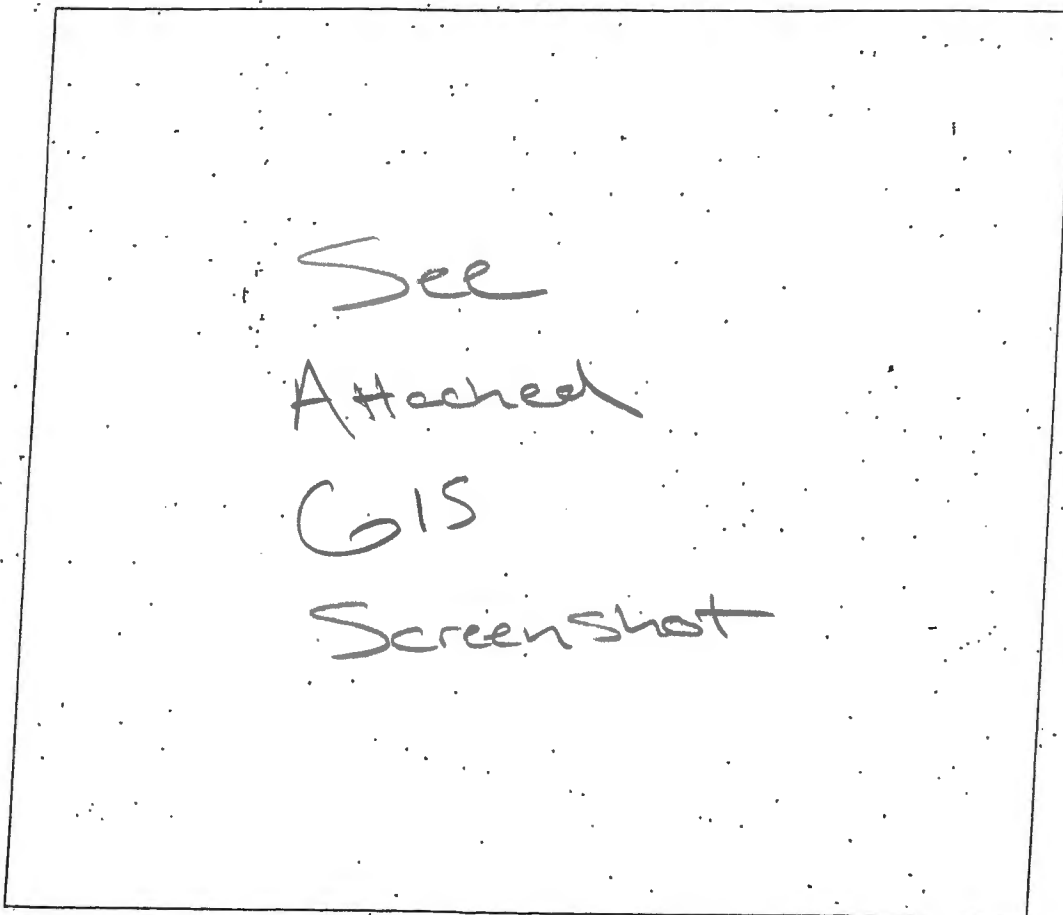
ADDRESS: 7465 Mink Hollow CONTRACTOR: _____

WELL TAG #: HO-73-1725

SUBDIVISION: Country Farm LOT: 15 COUNTY #: Howard

PROPOSAL: B24004773 proposing 16' x 22' detached garage (no living space or plumbing). Asking waiver to PL Reg.

LOCATION DIAGRAM



COMMENTS: Drilled well appears in good condition w/ secure two piece cap, tag # and above grade. No signs of failure with existing septic system. Uncovered st. cap and appears septic tank was pumped out recently. Edward informed me its pumped out every year. Proposed garage

DATE: 1/17/2024 INSPECTOR: RJE

appears to be over 20' from existing septic tank. Drywell however may be located in proposed garage location

Info Legend About

7465 MINK HOLLOW RD

Detailed Search

Add Layer

Howard County Base Map

BASE MAP LAYERS

HEALTH SPECIAL LAYERS

UTILITY LAYERS

GEOGRAPHY

N. 01P - 2011

BAL. TROPOL. GNESS

6 GNESS BUFFER 1000 FT

FLOODPLAIN - DFIRM

GRID CGV

LIVABLE SOILS

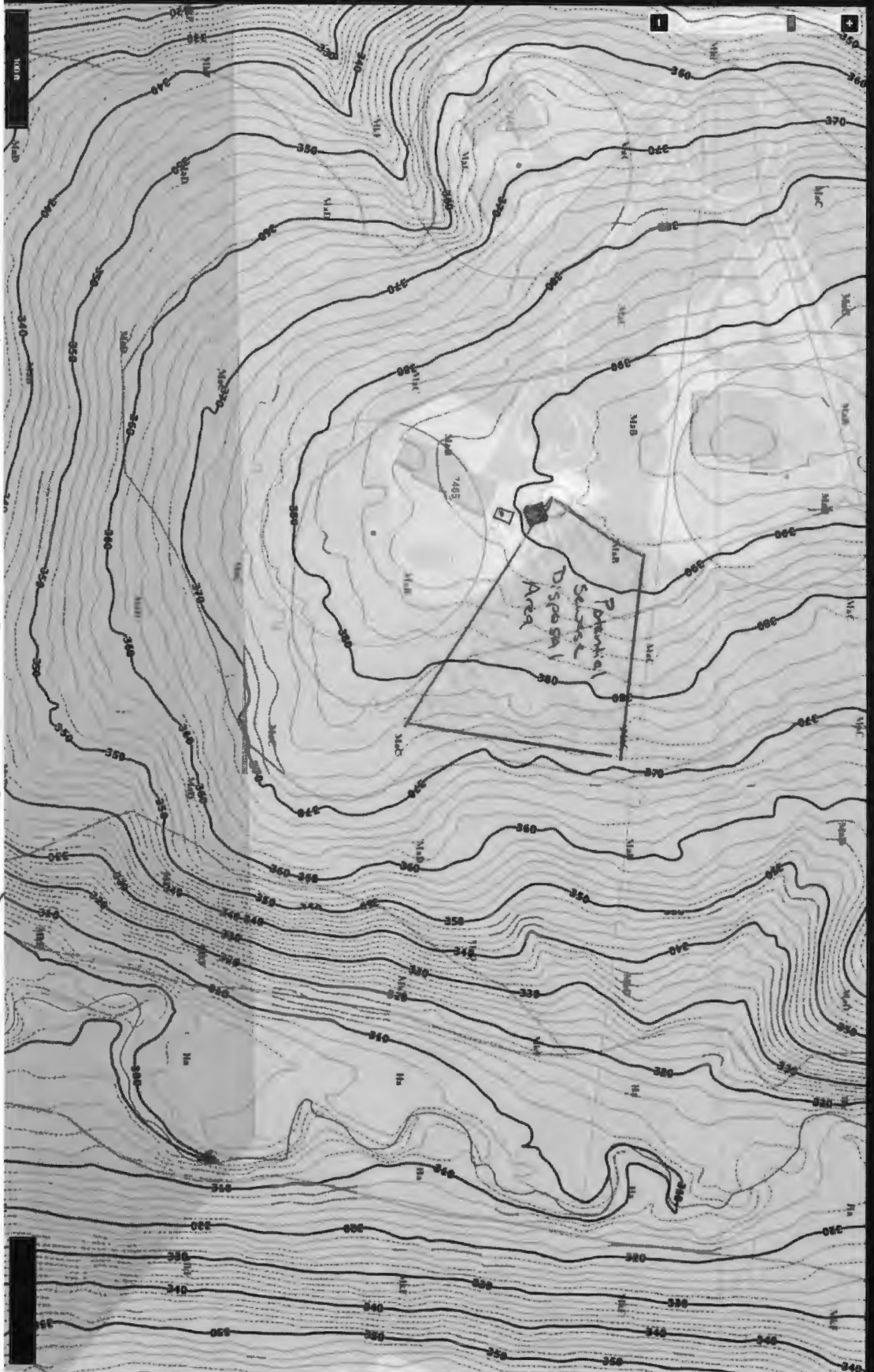
SOILS

STREAMS

SHORELAND BUFF 75 FT

WETLANDS

PLANNING



(Property Records on Public File Search)

Ex. ST
Ex. Drywall (Approx)