

Bureau of Environmental Health
 8930 Stanford Boulevard, Columbia, MD 21045
 Main: 410-313-2640 | Fax: 410-313-2648
 TDD 410-313-2323 | Toll Free 1-866-313-6300
www.hchealth.org
 Facebook: www.facebook.com/hocohealth

Maura J. Rossman, M.D., Health Officer

RECEIPT DATE: _____ **ONSITE SEWAGE DISPOSAL SYSTEM** P _____

APPROVAL DATE: 11/2/21 **PERMIT: CONSTRUCTION** A _____

PROPERTY ADDRESS: 14695 Triadelphia Road

SUBDIVISION: _____ LOT: _____ TAX ID: _____

CONTRACTOR: _____ EMAIL: _____

CONTRACTOR ADDRESS: _____ PHONE: _____

PROPERTY OWNER: Charanpreet Johal Singh EMAIL: _____

OWNER ADDRESS: 14695 Triadelphia Road, Dayton, MD 21036 PHONE: 443-844-9088

SEPTIC TANK SIZE (GALLONS): 1500 TANK MANUFACTURER: Mayer Bros

PUMP MODEL: n/a PUMP SIZE n/a PUMP TANK CAPACITY: n/a

DISTRIBUTION SYSTEM: GRAVITY PRESSURE DOSED BEDROOMS: 5 APPLICATION RATE: 0.8

TRENCHES:	LINEAR FEET REQUIRED: <u>131</u>	INLET DEPTH: <u>3</u>
	TRENCH WIDTH: <u>3</u>	MAXIMUM BOTTOM DEPTH: <u>8</u>
	MINIMUM SPACE BETWEEN TRENCHES: <u>11</u>	EFFECTIVE AREA BEGINNING DEPTH: <u>4</u>
LOCATION:	PER APPROVED SITE PLAN. SEWAGE DISPOSAL AREA AND TANK LOCATIONS MUST BE STAKED BY LICENSED SURVEYOR PRIOR TO PRE-CONSTRUCTION INSPECTION.	
NOTES:	Existing tank and drywell must be pumped/crushed/filled or removed prior to Health approval of permit	

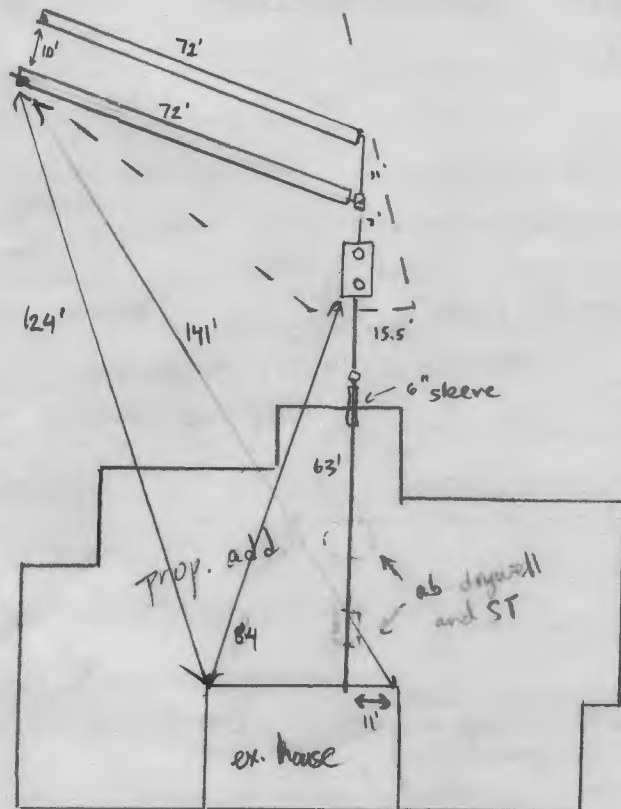
ISSUED BY: J. Williams ISSUE DATE: _____ EXPIRATION DATE: _____

- NOTE: CONTRACTOR MUST SCHEDULE A PRE-CONSTRUCTION INSPECTION PRIOR TO BEGINNING ANY INSTALLATION
- NOTE: CONTRACTOR MUST SCHEDULE AN INSPECTION AND GAIN APPROVAL OF ALL COMPONENTS PRIOR TO COVERING
- NOTE: STONE MUST BE APPROVED BY HEALTH DEPARTMENT AND GRAVEL TICKET MUST BE AVAILABLE FOR REVIEW.
- NOTE: WATERTIGHT TANKS REQUIRED
- NOTE: ALL PARTS OF SEPTIC SYSTEM SHALL BE AT LEAST 100 FEET DOWNGRADIENT FROM ANY WATER WELL
- NOTE: MANHOLE RISERS REQUIRED ON ALL SEPTIC TANKS AND PUMP CHAMBERS
- NOTE: AN ELECTRICAL PERMIT IS REQUIRED FOR INSTALLATION OF ANY ELECTRICAL COMPONENTS OF THE SYSTEM
- ELECTRICAL PERMIT ISSUED E _____
- NOTE: MDE RECOMMENDS SEPTIC TANKS, BAT, AND OTHER PRETREATMENT UNITS BE PUMPED AT A FREQUENCY ADEQUATE TO ENSURE THAT SOLIDS ARE NOT DISCHARGED TO THE DISPOSAL AREA

NEITHER THE HOWARD COUNTY COUNCIL NOR THE HEALTH DEPARTMENT IS RESPONSIBLE FOR THE SUCCESSFUL OPERATION OF ANY SYSTEM.
PERMITTEE RESPONSIBLE FOR OBTAINING FINAL APPROVAL ON THIS PERMIT.
CALL 410-313-1771 TO SCHEDULE INSPECTIONS.

14693 Triadelphia Mill

NOT TO SCALE (1" = 40')



(A) 40-75-3567

ROAD NAME
Triadelphia Mill Rd

TRENCH/DRAINFIELD DATA

WIDTH	INLET	BOTTOM
3'	3'	8'
NUMBER OF TRENCHES		2
TOTAL LENGTH		144'
ABSORPTION AREA		432 sq ft + sidewalk
DISTRIBUTION BOX LEVEL		speedy
DISTRIBUTION BOX BAFFLE		concrete
DISTRIBUTION BOX PORT		PVC

SEPTIC TANK DATA

SEPTIC TANK 1 LEVEL	yes
MANUFACTURER	Babylon
CAPACITY	1500 GAL
SEAM LOC	top
TANK LID DEPTH	2'
BAFFLES	inlet + outlet
BAFFLE FILTER	-
MANHOLE LOC	inlet + outlet
6" PORT LOC	-
WATERTIGHT TEST	-
SLOTTED	yes
DATE ON LID	10-5-21

PUMP/SEPTIC TANK LEVEL

MANUFACTURER	
CAPACITY	GAL
SEAM LOC	
TANK LID DEPTH	
BAFFLES	
BAFFLE FILTER	
MANHOLE LOC	
6" PORT LOC	
WATERTIGHT TEST	
SLOTTED	
DATE ON LID	

PRE-CONSTRUCTION:

11/5/21 Laid out 2x66' trenches on contour according to plan. Tank location and SDA staked out. Trees will be removed to make way for trenches. (ST)

INSTALLATION:

11/10/21 Old septic tank and drywell abandoned. New tank and d-box set. SK connected and sleeved under area of future foundation. Trench 2 completed. (ST) 11/21/21 Contractor sent in photos of Trench 1 construction done on 11/11/21, Veteran's Day holiday. Levelled d-box today and measured end of trenches. (ST)

FINAL INSPECTOR

Juan Thomas

DATE OF APPROVAL

11/2/21

Howard County Health Department

Bureau of Environmental Health, Columbia, MD 21045 - 410-313-1771

SEWAGE DISPOSAL PERMIT NO. A- _____ P- _____

RESIDENTIAL PERMIT

(NUMBER OF BEDROOMS: _____)

COMMERCIAL PERMIT

(DESIGN FLOW: _____ GPD)

PERMITEE:

LOCATION:

Hotfield's Equipment
4695 Tridelpia Hill Road

****POST THIS CARD WHERE IT CAN BE SEEN FROM ROAD****

STOP ALL CONSTRUCTION ON SEWAGE
DISPOSAL SYSTEM AND CONTACT HEALTH
DEPARTMENT BEFORE CONTINUING

Inspector

Date

WORK IS SATISFACTORY, OK TO
CONTINUE

Inspector

Date

COMMENTS:

FINAL INSPECTION MADE, OK TO
COVER ALL WORK

Inspector

Date

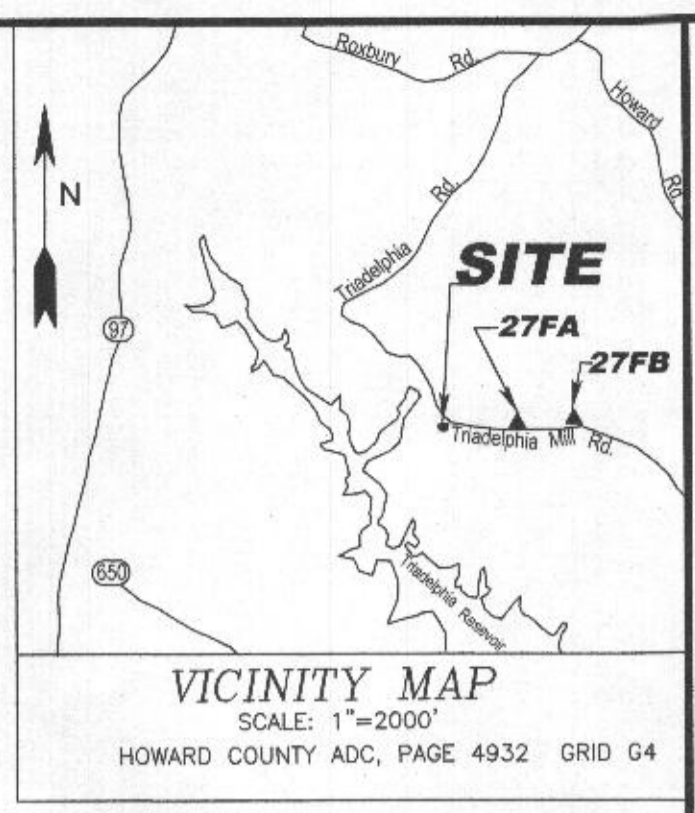
REV.	DATE	REVISIONS	POST APPROVAL

14695 TRIADELPHIA MILL ROAD
ON-SITE SEWAGE DISPOSAL DESIGN PLAN
LOT 5

PLAT NO. 5960
TAX ID. 05-385431
MAP 27
ELECTION DISTRICT 4
HOWARD COUNTY, MARYLAND

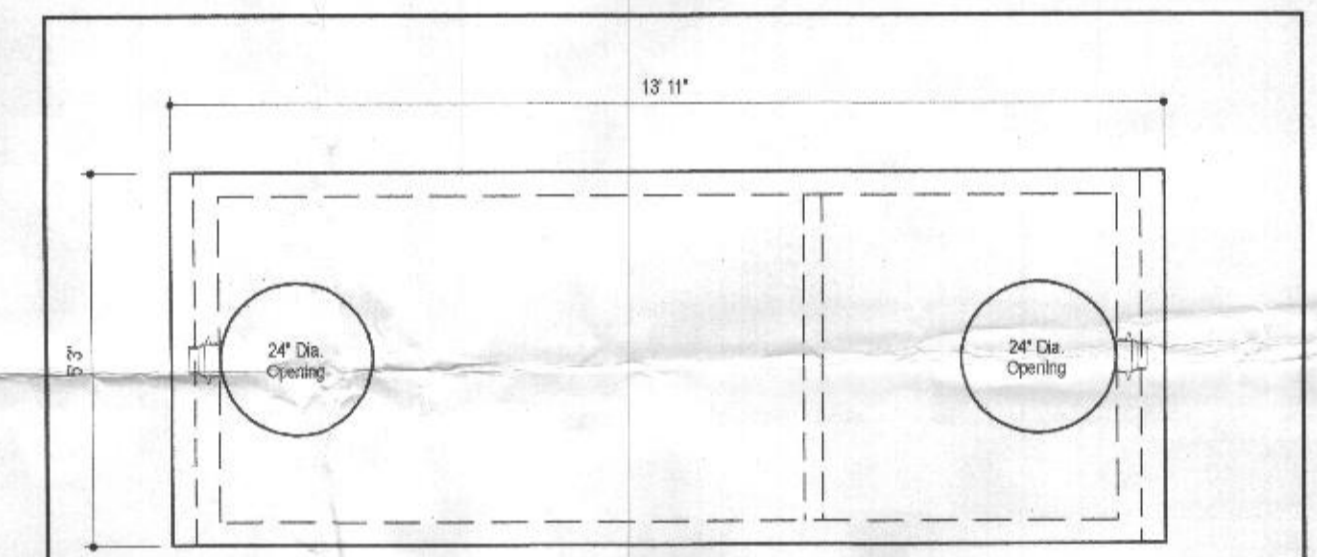


PLAN NO.:
SCALE: 1"=40'
DATE: 11/01/2021
SHEET 1 OF 1
FILE NO: 21-012

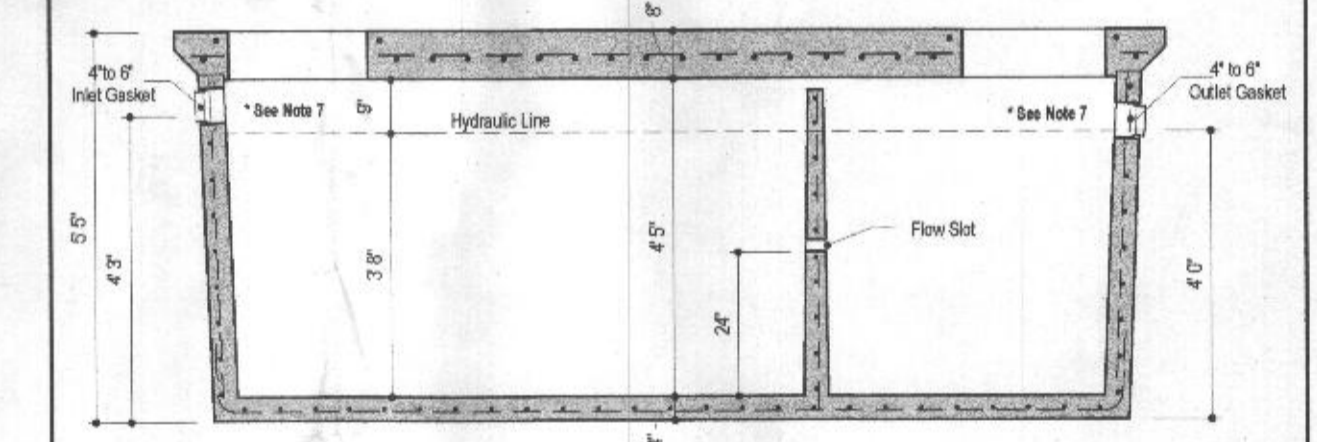


NOTES

- PROPERTY INFORMATION: SITE ADDRESS: 14695 TRIADELPHIA MILL ROAD DAYTON, MARYLAND 21036
TAX MAP 27, PARCEL 124, GRID16 LIBER 19807 FOLIO 101
- EXISTING ZONING IS RC-DEO.
- I CERTIFY THAT THE INFORMATION SHOWN HEREON IS BASED ON FIELD WORK PERFORMED UNDER MY DIRECT SUPERVISION AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.
- THE LOTS SHOWN HEREON COMPLY WITH THE MINIMUM OWNERSHIP WIDTH AND LOT AREA AS REQUIRED BY THE MARYLAND DEPARTMENT OF THE ENVIRONMENT.
- THE TOPOGRAPHY ON THIS PLAT IS TAKEN FROM HOWARD COUNTY GIS AND IS VERIFIED BY MARKS AND ASSOCIATES, TO REPRESENT THE RELATIVE CHANGES ON THE SUBJECT PROPERTY.
- ALL WELLS AND SEPTIC SYSTEMS WITHIN 100' OF THE PROPERTY BOUNDARIES AND 200' DOWN GRADIENT OF ANY WELLS AND/OR SEPTIC SYSTEMS HAVE BEEN SHOWN.
- ANY CHANGES TO THE LOCATIONS OR DEPTHS TO ANY COMPONENTS MUST BE APPROVED BY THE ENGINEER AND THE HOWARD COUNTY HEALTH DEPARTMENT PRIOR TO INSTALLATION. A REVISED SITE PLAN MAY BE REQUIRED.
- THE MAXIMUM EARTH COVER OVER THE TANK IS 3 FEET. GREATER EARTH COVER WILL REQUIRE A HEAVY LOAD BEARING TANK.
- THE WELL TAG #73-3567 HAS BEEN FIELD LOCATED AND IS ACCURATELY SHOWN.
- ALL WELLS AND SEPTIC SYSTEMS LOCATED WITHIN 100' OF THE PROPERTY BOUNDARIES AND 200' DOWN GRADIENT OF ANY WELLS AND/OR SEPTIC SYSTEMS HAVE BEEN SHOWN.



PLAN VIEW



SECTION VIEW

DESIGN DATA & GENERAL NOTES

- Concrete strength Form 200 p.s.i. @ 28 days. Density = 150 pcf.
- Concrete - Portland Type III per ASTM C 150-02.
- Reinforcement & plasticity per ASTM D 690-02 & C 404-02.
- Reinforcing per ASTM A 618, Grade 60, Concrete. Min. 1.01" cover.
- Walls, base, & top slab designed for 80-20 loading.
- Top slab coated with butyl rope mastic.
- Minimum 1" of earth cover top slab.
- Depending on use of tank, Inlet & Outlet baffles may be required by code.

Mayer Bros, Inc.
4854 River Road
Ellicott City, Maryland 21035
Tel. 410.790.5421
Fax. 410.790.1428
www.mayerbrospc.com

1500 GALLON TANK
Heavy Traffic Rated
Stock Item [Approx. Wt. - 16,000 lbs.]

Draw No. 1500TR No Scale Aug. 11, 2008

Approved Septic System Plan
Howard County Health Department
Signature: [Signature] Date: 11/1/21

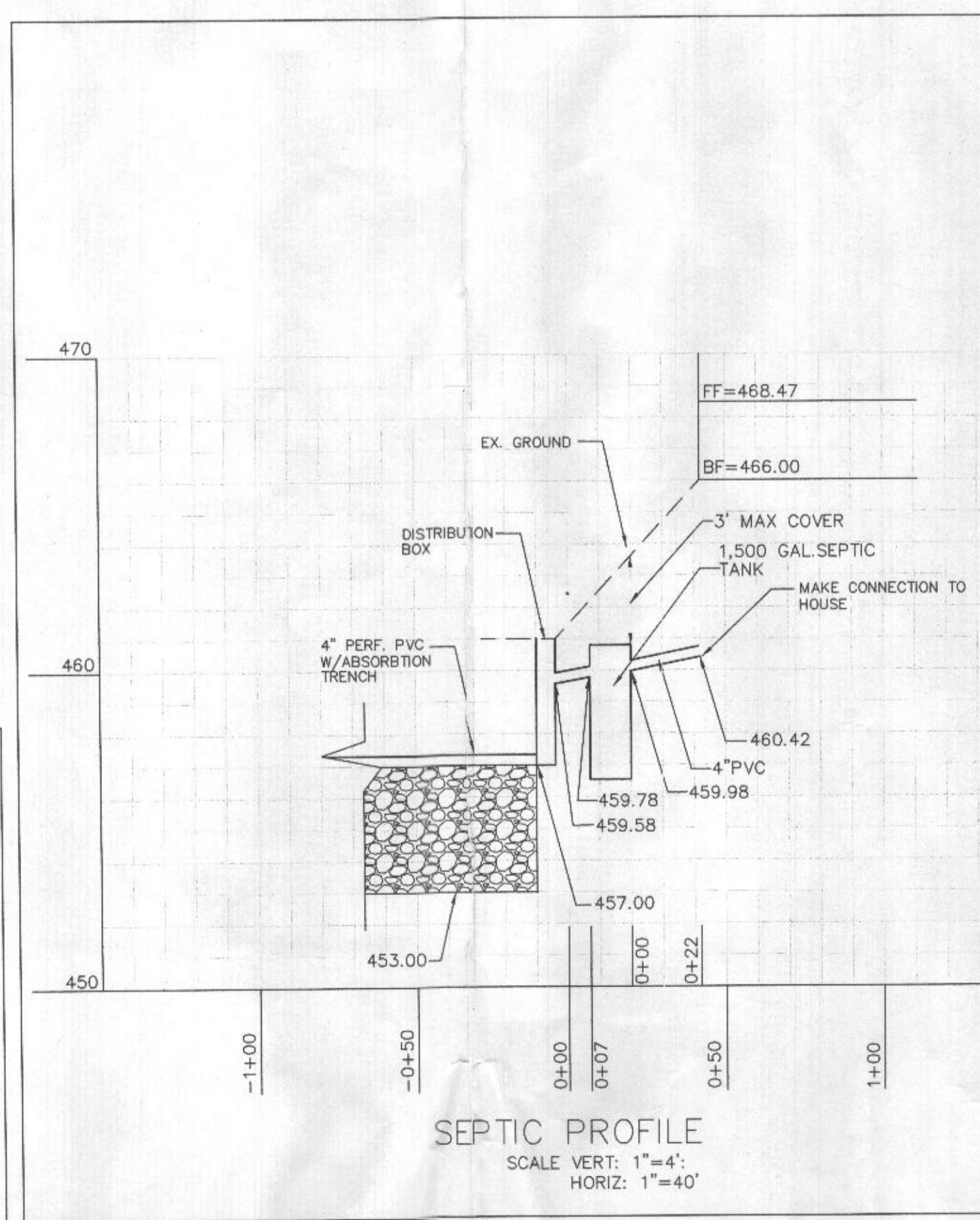
THIS AREA DESIGNATES A MINIMUM 10,000 SQUARE FOOT PRIVATE SEWAGE AREA AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF THE ENVIRONMENT FOR INDIVIDUAL SEWAGE DISPOSAL IMPROVEMENTS OF ANY NATURE IN THIS AREA ARE RESTRICTED. THIS SEWAGE DISPOSAL AREA SHALL BECOME NULL AND VOID UPON CONNECTION TO A PUBLIC SYSTEM. THE COUNTY HEALTH OFFICER SHALL HAVE THE AUTHORITY TO GRANT ADJUSTMENTS TO THE PRIVATE SEWAGE EASEMENT. RECORDATION OF A REVISED SEWAGE EASEMENT SHALL NOT BE NECESSARY.

Professional Certification
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.
Licence No.: 22538
Expiration Date: 11-24-23

I CERTIFY THAT THE INFORMATION SHOWN HEREON IS BASED ON FIELD WORK PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION, AND IS CORRECT, TO THE BEST OF MY KNOWLEDGE AND BELIEF.



OWNER / BUILDER:
SINGH CHARANPREET JOHAL & DIVPREET KAUR
14695 TRIADELPHIA MILL ROAD
DAYTON, MD. 21036
(443) 844-9088



SEPTIC PROFILE
SCALE VERT: 1"=4'
HORIZ: 1"=40'

SOIL CLASSIFICATION DESCRIPTION

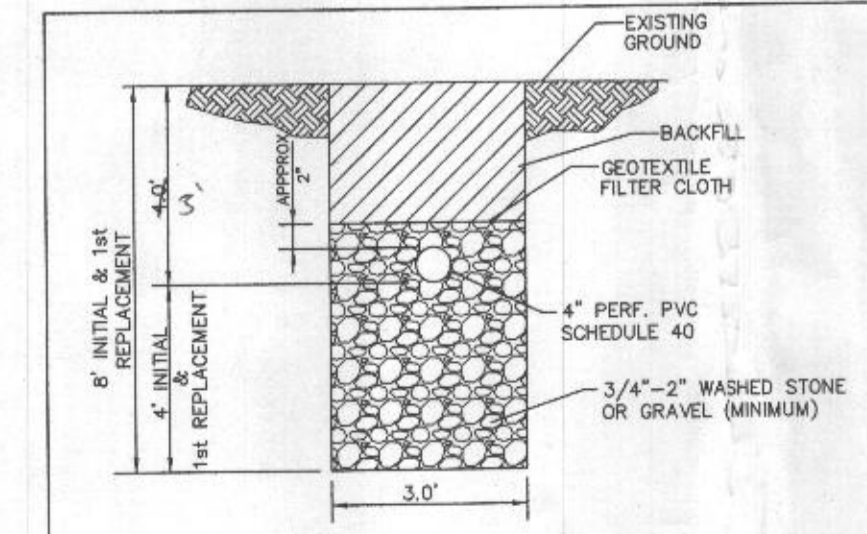
MaB	MANOR LOAM, 3 TO 8 PERCENT SLOPES WELL DRAINED
MaC	MANOR LOAM, 8 TO 15 PERCENT SLOPES WELL DRAINED

LEGEND

[Hatched Box]	REVISED SEWAGE DISPOSAL AREA 10,450 SQ. FT.
(TBA)	TO BE ABANDONED
[Dashed Line]	SOIL BOUNDARY
[Circle with dot]	PASSED PERCOLATION TEST
[Circle with cross]	FAILED PERCOLATION TEST

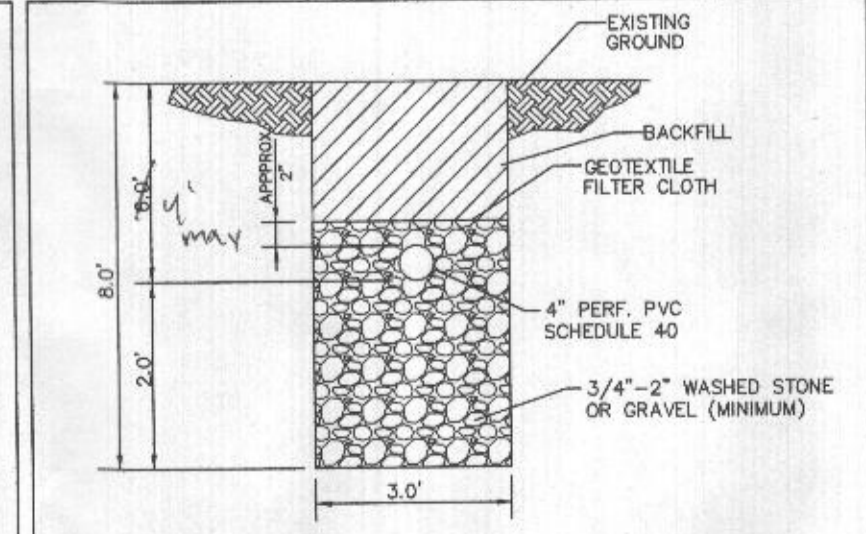
SEPTIC CALCULATIONS (INITIAL & 1st REPLACEMENT SYSTEM)
DRAIN FIELD S.F. = 750/0.8 = 938 S.F.
TRENCH WIDTH = 3 FEET
SIDEWALL REDUCTION CREDIT = $[(3+2)/(3+1+2(4))] = 0.417$
TRENCH LENGTH REQUIRED = $(938 \times 0.417)/3 = 131$ FEET
PROVIDED LENGTH (SYSTEM #1) - 2 TRENCHES @ 66 FEET EACH
PROVIDED LENGTH (SYSTEM #2) - 3 TRENCHES @ 45 FEET EACH

SEPTIC CALCULATIONS (2ND REPLACEMENT SYSTEM)
DRAIN FIELD S.F. = 750/0.8 = 938 S.F.
TRENCH WIDTH = 3 FEET
SIDEWALL REDUCTION CREDIT = $[(3+2)/(3+1+2(2))] = 0.625$
TRENCH LENGTH REQUIRED = $(938 \times 0.625)/3 = 195$ FEET
PROVIDED LENGTH (SYSTEM #3) - 3 TRENCHES @ 65 FEET EACH



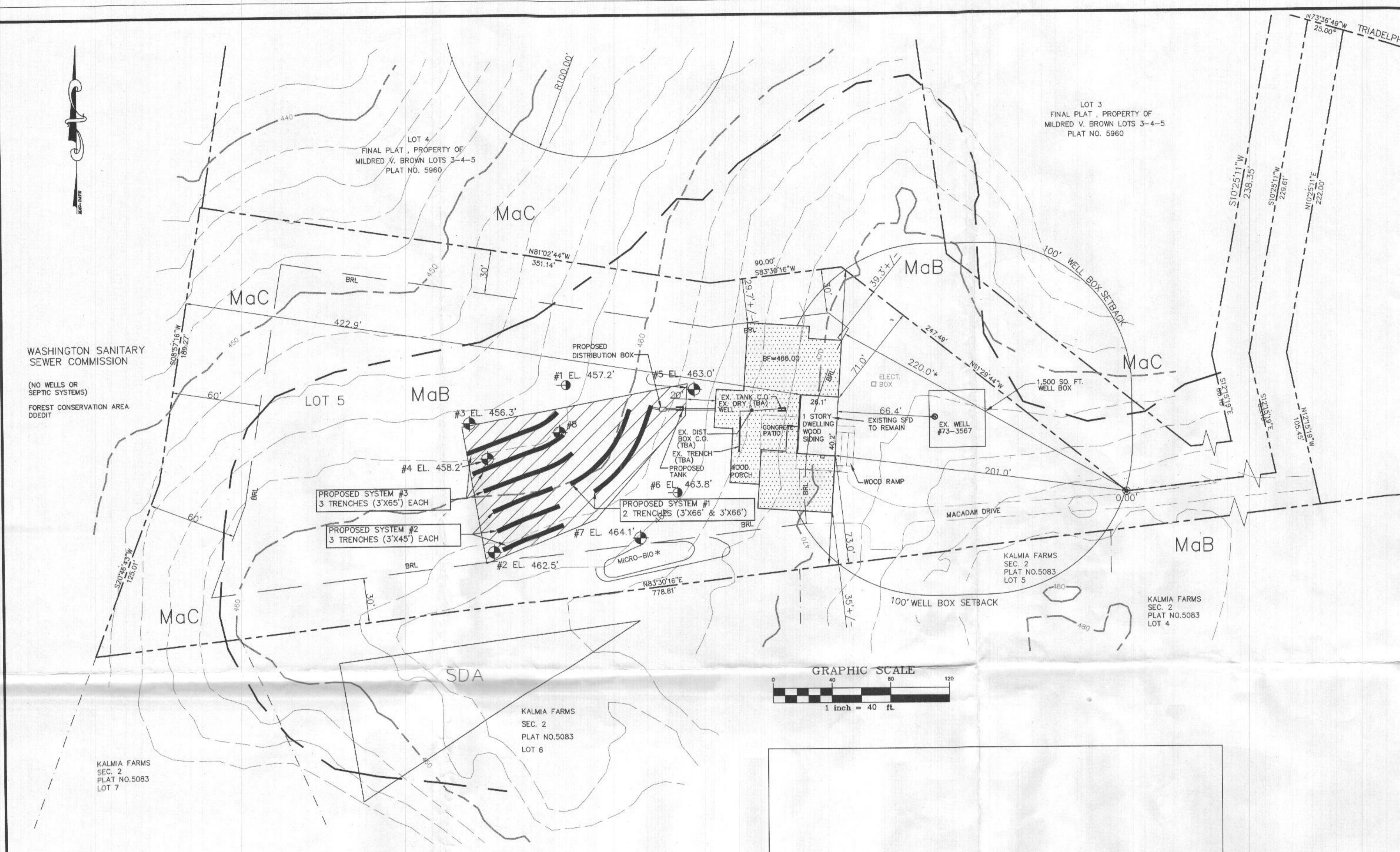
SEPTIC TRENCH DETAIL (INITIAL AND FIRST REPLACEMENT)
(NOT TO SCALE)

NOTES:
1. TRENCHES SHALL BE CONSTRUCTED 1/8" (MIN) EDGE TO EDGE
2. TRENCH BOTTOMS SHALL BE LEVEL ALONG THE LENGTH OF 4" PERFORATED DISTRIBUTION PIPE.



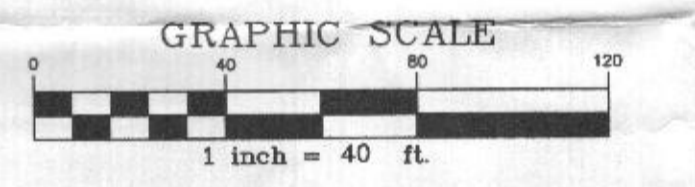
SEPTIC TRENCH DETAIL (SECOND REPLACEMENT)
(NOT TO SCALE)

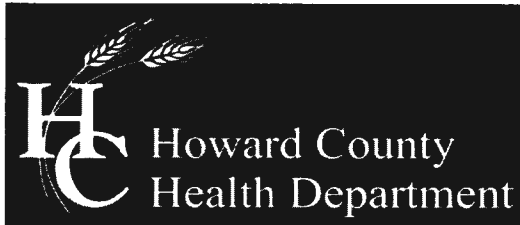
NOTES:
1. TRENCHES SHALL BE CONSTRUCTED 1/8" (MIN) EDGE TO EDGE
2. TRENCH BOTTOMS SHALL BE LEVEL ALONG THE LENGTH OF 4" PERFORATED DISTRIBUTION PIPE.



WASHINGTON SANITARY SEWER COMMISSION
(NO WELLS OR SEPTIC SYSTEMS)
FOREST CONSERVATION AREA DEDDIT

INITIAL SEPTIC SYSTEM DESIGN
5 BEDROOM HOUSE
750 gpd
1,500 GALLON TANK
GRADE @ HOUSE = 466.00
4" PVC INVERT @ HOUSE = 460.42
HOUSE TO SEPTIC TANK LATERAL = 22 IF
GRADE @ SEPTIC TANK = 463.61 (max elevation)
TOP OF TANK = 460.80
INV. IN SEPTIC TANK = 459.98
INV. OUT SEPTIC TANK = 459.78
TANK TO DISTRIBUTION BOX = 7 IF
GRADE @ FIRST ABSORPTION TRENCH = 461.00
TOP OF GRAVEL AT FIRST ABSORPTION TRENCH = 457.00
INV. 4" LATERAL @ FIRST ABSORPTION TRENCH = 457.00
BOTTOM OF GRAVEL @ FIRST ABSORPTION TRENCH = 453.00





Bureau of Environmental Health

8930 Stanford Boulevard, Columbia, MD 21045

Main: 410-313-2640 | Fax: 410-313-2648

TDD 410-313-2323 | Toll Free 1-866-313-6300

www.hchealth.org

Facebook: www.facebook.com/hocohealth

Twitter: HowardCoHealthDep

Maura J. Rossman, M.D., Health Officer

MEMORANDUM

TO: CMS Associates LLC
4925 Ellis Lane
Ellicott City, MD 21043

FROM: Robert Freemon *RIF*
Well & Septic Program

RE: **OSDS Comments**
14695 Triadelphia Mill Rd.
Dayton, MD 21036

DATE: 10/29/2021

After review of the OSDS plan here are my comments.

1. The line representing the outer perimeter of the SDA does not match the revised area on the approved PC. The section that was removed/subtracted is still shown as part of the SDA.
2. The Septic Calculations for the 3rd system are incorrect. The 3rd system has 0.8 rate and 2ft of sidewall credit (6ft-8ft). Make sure the calculations along with the site plan portion reflect correct sizing.
3. The Septic Profile still shows inconsistencies between the scale and some of the labeled elevations. Please check the scale and labeled elevations to make sure they correspond with each other and correspond with the Initial Septic System Design.
 - a. The septic tank is shown in the Septic Profile having greater than 3ft of cover over it. The septic tank cannot have greater than 3ft of cover. You will need to discuss with Jeff Williams if you cannot retain less than 3ft of cover.

4. The minimum spacing required between trenches for the 1st and 2nd system is incorrect.
5. Remove notes 8 and 10 along with the health signature block. Health will stamp the plan with approval.
6. The “Tank to Start of First Absorption Trench” in the Initial Septic System Design is labeled as 6’. I believe you meant “Tank to D-Box = 6ft”.

Williams, Jeffrey

From: Freemon, Robert
Sent: Thursday, October 28, 2021 10:53 AM
To: gciniero@cms-engineering.net; 'Charanpreet Singh'
Cc: Williams, Jeffrey
Subject: RE: 14695 Triadelphia Mill Road ECP that covers SWM Calculations

Hi,
Just to reiterate what I mentioned in my voicemail early today. Comment #5 is addressing the Septic Profile and how there needs to be elevation "intervals" (not internals) shown on the x and y axis. The scale mentioned at the bottom is not accurate to what is being shown. It mentions 1"= 4' and then proceeds to show 456' to 460' inverts separated by 0.5".



*Howard County Health Department
8930 Stanford Blvd. Columbia, MD 21045
Bureau of Environmental Health*

*Well and Septic Program
Robert "Spencer" Freemon
Phone: 410-313-6357
Email: rfreemon@howardcountymd.gov
Website: <https://www.howardcountymd.gov/health/well-septic-program>*

From: gciniero@cms-engineering.net <gciniero@cms-engineering.net>
Sent: Sunday, October 24, 2021 6:57 AM
To: 'Charanpreet Singh' <charan.s.khalsa@gmail.com>; Freemon, Robert <rfreemon@howardcountymd.gov>
Cc: Williams, Jeffrey <jewilliams@howardcountymd.gov>
Subject: RE: 14695 Triadelphia Mill Road ECP that covers SWM Calculations

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

Robert

Please see attached plan, revised per comments below. I do have one question on #5.

Thank you
Geoff

Geoffrey L. Ciniero, P.E.
President
CMS Associates LLC

4925 Ellis Lane
Ellicott City, MD. 21043
(O) (410) 988-2436
(C) (443) 812-4501
www.cms-engineering.net
gciniero@cms-engineering.net
Licensed in MD, DC, VA, PA, DE, WV, NC, NJ

From: Charanpreet Singh <charan.s.khalsa@gmail.com>
Sent: Friday, October 22, 2021 5:15 PM
To: Freeman, Robert <rffreemon@howardcountymd.gov>
Cc: Williams, Jeffrey <jeffwilliams@howardcountymd.gov>; Geoffry Ciniero <gciniero@cms-engineering.net>
Subject: Re: 14695 Triadelphia Mill Road ECP that covers SWM Calculations

Spencer,

Geoff is the civil engineer and is cc'd on this email. His number is 4438124501.

Regarding #6

It will be abandoned as part of the building process which cannot really occur until this is approved and health department check off on building permit. It's a chicken or the egg situation.

Simply put this is what the process is going to be:

1. Build new septic system
2. Attach existing house to new septic system+ drain old system tank and remove then fill hole
3. Begin grading for addition construction per building permit BP21003912
4. Construct addition per building permit BP21003912

If we put this process on the septic drawing will health department approve the building permit and the OSDS (including other changes)?

I have attached a quote from fogles to do the work exactly as listed above.

Additionally the addition does not hinder the living in the existing space and the house sewage connection as it stands is below all concrete footings for the addition. It is also physically impossible to just build over the old septic system which I think the health department is worried about.

Bob Francis, head of inspections and permits, is aware of this project and could maybe chime in here on ensuring this build process. I can ask him if that is needed.

If this is not possible we can just move out now and not live there at all but we really can't take the financial hit on more temporary living arrangements. But below would be the process if we have to do this:

1. Move out
2. Abandon septic field
3. Build addition and new septic system

Please let me know,
-Charan

On Fri, Oct 22, 2021, 4:38 PM Freemon, Robert <rffreemon@howardcountymd.gov> wrote:

Singh,

Here are my comments regarding the OSDS plan.

- ✓ 1. The plan needs to be to scale. The well arch shows 100ft but it measure 105ft. Other measurements are off as well. **I am not sure what print you had. Everything, per scale, checks out on my end, it may have been the print. I will make sure I am the one making the prints so the plan is true to scale.**

- ✗ 2. Show the sewage disposal area that was approved on the perc cert without the added label and subtracted portion. The total area that was approved on the perc is now the new revised area. No need to label the added areas or show the subtracted portions. **This has been corrected**

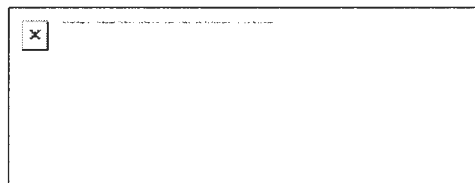
- ✓ 3. There needs to be a tank diagram on the plan. Need to see the size and measurements of the tank. This can be pulled straight from the manufactures specs as long as everything is clear and visible. Example attached. **This has been placed on the plan.**

- ✓ 4. Needs a trench profile. Example attached. **This has been placed on the plan.**

- ✗ 5. Septic profile needs to show elevation internals on the sides. **I am not sure what "elevation internals" means, can you possibly better explain what you need to see?**

6. Please keep in mind the building permit will not be approved until the old septic system is abandoned. I do not see anything in regards to how you plan to live on the property while construction is going on.

7. Please provide me with your new engineers email and direct number.



Howard County Health Department
8930 Stanford Blvd. Columbia, MD 21045
Bureau of Environmental Health

Well and Septic Program

Robert "Spencer" Freemon

Phone: 410-313-6357

Email: rfreemon@howardcountymd.gov

Website: <https://www.howardcountymd.gov/health/well-septic-program>

From: Charanpreet Singh <charan.s.khalsa@gmail.com>
Sent: Thursday, October 21, 2021 12:38 PM
To: Williams, Jeffrey <jewilliams@howardcountymd.gov>
Cc: Freemon, Robert <rfreemon@howardcountymd.gov>
Subject: Re: 14695 Triadelphia Mill Road ECP that covers SWM Calculations

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

Good afternoon,

Pinging again as I have not heard from you good folks.

Thanks!

On Wed, Oct 20, 2021 at 2:28 PM Charanpreet Singh <charan.s.khalsa@gmail.com> wrote:

Good Afternoon,

Pinging to see if there are any updates since we spoke last Thursday.

Thank you

On Thu, Oct 14, 2021 at 2:07 PM Williams, Jeffrey <jewilliams@howardcountymd.gov> wrote:

Hello. We do have the OSDS plan in review. It looks like we received it on 10/5. We should have it reviewed within the next few days and we'll let you and the engineer know if it was approved or if there are any comments for revision. Thanks

Jeff

From: Charanpreet Singh <charan.s.khalsa@gmail.com>
Sent: Thursday, October 14, 2021 12:58 PM
To: Williams, Jeffrey <jewilliams@howardcountymd.gov>
Subject: Re: 14695 Triadelphia Mill Road ECP that covers SWM Calculations

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

Jeff,

Thank you again for helping facilitate the perc cert through. As an FYI I submitted the OSDS plan alongside the full stormwater management plan (separate 24inx36in drawing) on October 4th. I also submitted the full building permit on October 6th. I gave the building permit folks the simplified floor plan that they are supposed to forward to you.

I have not heard from anyone in your department concerning the OSDS plan yet. Knowing that from history there tends to be a significant back and forth. I am getting concerned that I have not heard anything. As stated before if we do not meet the deadline I have to move and I lose \$35,000 that I have spent so far on developing plans and temporary living arrangements.

Is there anything that can be done to keep this moving? My family's future is at your teams mercy.

I have attached digital copies of the plans as well.

-Charan Singh Johal

On Mon, Sep 20, 2021 at 1:18 PM Williams, Jeffrey <jewilliams@howardcountymd.gov> wrote:

Hello. I sent the plan up for director's signature. Hopefully he doesn't not find anything in need of revision. We should know within the next few days.

From: Charanpreet Singh <charan.s.khalsa@gmail.com>
Sent: Monday, September 20, 2021 12:08 PM
To: Williams, Jeffrey <jewilliams@howardcountymd.gov>
Subject: Re: 14695 Triadelphia Mill Road ECP that covers SWM Calculations

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

Hey Jeff,

Should I prepare to get my engineer spun up for more changes? He wants me to pay off his contract but I am wary of doing so before you guys sign this off or shoot it back. Could I get some sort of time table of where I am in the queue so I can have that as a point of conversation with the engineer that prepared this and the engineer that is preparing the OSDS?

Appreciate you taking the time to read,

-Charan

On Thu, Sep 16, 2021 at 9:38 AM Charanpreet Singh <charan.s.khalsa@gmail.com> wrote:

Appreciate the response Jeff

Have a good day

On Thu, Sep 16, 2021 at 9:37 AM Williams, Jeffrey <jewilliams@howardcountymd.gov> wrote:

Hello. The perc cert plan is up for signature and in my review at this time. We will let you know when it is signed or if revisions are needed. Thanks

Jeff

From: Charanpreet Singh <charan.s.khalsa@gmail.com>
Sent: Thursday, September 16, 2021 9:35 AM
To: Freeman, Robert <rfreemon@howardcountymd.gov>
Cc: Williams, Jeffrey <jewilliams@howardcountymd.gov>; ERIK MARKS <marks.aa@comcast.net>
Subject: Re: 14695 Triadelphia Mill Road ECP that covers SWM Calculations

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

Good Morning,

Pinging this email again in hopes of a response

Regards,

-Charan Singh

On Wed, Sep 15, 2021 at 1:10 PM Charanpreet Singh <charan.s.khalsa@gmail.com> wrote:

Hello,

It has been some time since we dropped of the latest plans and you confirmed that it was recieved. Has their been movement? I need to stress this is our obstacle to move forward with the project right now with the deadline looming from the county. We need to especially know what's going on if another round of changes is needed.

-Charan Singh

On Thu, Sep 9, 2021, 4:03 PM Freemon, Robert <rfreemon@howardcountymd.gov> wrote:

Hi Charan,

We did receive the PC plan you dropped off. I will look at it as soon as I can. Depending on the OSDS design and the proposed construction process created by you and the architect it may be possible to have the building permit approved alongside the OSDS approval/installation. This is something you will need to work out with the engineer and architect if you are planning on living in the home while construction is going on. I cannot guarantee Health will approve the proposal however we will review plans showing the details for the proposed process of construction.

Howard County Health Department

8930 Stanford Blvd. Columbia, MD 21045

Bureau of Environmental Health

Well and Septic Program

Robert "Spencer" Freemon

Phone: 410-313-6357

Email: rfreemon@howardcountymd.gov

Website: <https://www.howardcountymd.gov/health/well-septic-program>

From: Charanpreet Singh <charan.s.khalsa@gmail.com>
Sent: Thursday, September 9, 2021 2:09 PM
To: Williams, Jeffrey <jewilliams@howardcountymd.gov>
Cc: Freemon, Robert <rfreemon@howardcountymd.gov>; ERIK MARKS <marks.aa@comcast.net>
Subject: Re: 14695 Triadelphia Mill Road ECP that covers SWM Calculations

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

Good Afternoon,

I just wanted to ping to ensure that the plans made it to where they are supposed to be. I understand you guys have other duties and obligations and it may take a little before you can go through this but I wanted to ask again to expedite in case we have to do another round. With the deadline approaching from the building permit folks and you guys requiring OSDS approval and implementation before building permit is issued we are in a world of hurt at the moment.

On that note if there is a way around this, i.e having the OSDS plan approval as the prerequisite to building permit approval only and then schedule install of the OSDS system alongside issuing of building permit that would make it possible to beat the deadline.

Thank you very much for reading; please advise

-Charan Singh

On Wed, Sep 8, 2021 at 2:56 PM Charanpreet Singh <charan.s.khalsa@gmail.com> wrote:

Good Afternoon,

Erik has completed all the changes and I am on my way to drop of the plans.

Regards,

Charan Singh

On Tue, Sep 7, 2021, 2:17 PM Charanpreet Singh <charan.s.khalsa@gmail.com> wrote:

Thanks for the email Jeff,

I will touch base with Erik Marks (perc cert) and relay all your comments on SWM to CMS Associates (ECP, Plot Plan, & OSDS).

-Charan Singh

On Tue, Sep 7, 2021, 1:27 PM Williams, Jeffrey <jewilliams@howardcountymd.gov> wrote:

Hello Mr. Singh. I reviewed the latest PC with Spencer and I concur with his comments with one minor detail that speaks to your point below. Spencer wanted better detail on the stormwater devices because they way the engineer colored them and labeled them it was a bit confusing. He is using a green line for proposed grading and label lines and stormwater pipes. To your point below, he should just not show the stormwater at all and show it on the OSDS plan. He should also avoid showing the trench layout on this plan and save it for the OSDS plan. This plan is specifically to approve the disposal area changes and the replacement well area. His trench layout is not what we will look to see on the OSDS plan. The initial system trenches should be spread out on the upper contour instead of stacked on each other. That said, the ECP you sent me shows the raingarden outfall and solid pipe outfall over 25' from the SDA, but it is a poor design. There should be an effort to avoid discharging the collected front yard water directly toward the disposal area, particularly the initial system as it will be designed. The way this is designed, the soil will be unnecessarily loaded with stormwater infiltration in the area where we're trying to disperse the sewage effluent. It could cause overloading of the trenches and premature failure of the system

Additionally, the contour lines are not consistent between this plan and the ECP, particularly 462 and 464 as they relate to the upper SDA boundary. Not sure which one is accurate.

As Spencer noted, the replacement well locations should be removed and a well arc put around the whole well box. The total new disposal area square footage should be indicated. Note 11 should be removed. If the only thing were the note and maybe some labeling, we would have redlined it, but we need to clean up the other items as well. Thanks

Jeff

From: Charanpreet Singh <charan.s.khalsa@gmail.com>
Sent: Friday, September 3, 2021 10:49 AM
To: Williams, Jeffrey <jewilliams@howardcountymd.gov>
Subject: Re: 14695 Triadelphia Mill Road ECP that covers SWM Calculations

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

PS:

Not sure if this is super relevant:

There is also a declaration of covenant between us and the county on the storm water management system that has been signed and notarized. Below are images of the pertinent sections:

Section 1 iterates that the actual as-built drawing will be submitted later on; anything made for the ECP or the Perc plan is a concept and final design will be made during grading permit / building permit (i.e the plot plan) application (because that requires the inclusion of a landscape architect etc.).

On Fri, Sep 3, 2021 at 10:36 AM Charanpreet Singh <charan.s.khalsa@gmail.com> wrote:

Jeff,

Thanks again for speaking with me this morning. Attached are two documents: 1) is High Resolution ECP, 2) is scanned copy from DPZ with their approval stamp

Regards,

-Charan Singh

Freemon, Robert

From: Freemon, Robert
Sent: Friday, October 22, 2021 4:39 PM
To: Charanpreet Singh; Williams, Jeffrey
Subject: RE: 14695 Triadelphia Mill Road ECP that covers SWM Calculations
Attachments: 1000gal 2comp septic tank.pdf; Trench Profile.pdf

Singh,

Here are my comments regarding the OSDS plan.

1. The plan needs to be to scale. The well arch shows 100ft but it measure 105ft. Other measurements are off as well.
2. Show the sewage disposal area that was approved on the perc cert without the added label and subtracted portion. The total area that was approved on the perc is now the new revised area. No need to label the added areas or show the subtracted portions.
3. There needs to be a tank diagram on the plan. Need to see the size and measurements of the tank. This can be pulled straight from the manufactures specs as long as everything is clear and visible. Example attached.
4. Needs a trench profile. Example attached.
5. Septic profile needs to show elevation internals on the sides.
6. Please keep in mind the building permit will not be approved until the old septic system is abandoned. I do not see anything in regards to how you plan to live on the property while construction is going on.
7. Please provide me with your new engineers email and direct number.



*Howard County Health Department
8930 Stanford Blvd. Columbia, MD 21045
Bureau of Environmental Health*

*Well and Septic Program
Robert "Spencer" Freemon
Phone: 410-313-6357
Email: rfreemon@howardcountymd.gov
Website: <https://www.howardcountymd.gov/health/well-septic-program>*

Simply put this is what the process is going to be:

1. Build new septic system
2. Attach existing house to new septic system+ drain old system tank and remove then fill hole
3. Begin grading for addition construction per building permit BP21003912
4. Construct addition per building permit BP21003912

If we put this process on the septic drawing will health department approve the building permit and the OSDS (including other changes)?

I have attached a quote from fogles to do the work exactly as listed above.

Additionally the addition does not hinder the living in the existing space and the house sewage connection as it stands is below all concrete footings for the addition. It is also physically impossible to just build over the old septic system which I think the health department is worried about.

Bob Francis, head of inspections and permits, is aware of this project and could maybe chime in here on ensuring this build process. I can ask him if that is needed.

If this is not possible we can just move out now and not live there at all but we really can't take the financial hit on more temporary living arrangements. But below would be the process if we have to do this:

1. Move out
2. Abandon septic field
3. Build addition and new septic system

Please let me know,
-Charan

On Fri, Oct 22, 2021, 4:38 PM Freemon, Robert <rfreemon@howardcountymd.gov> wrote:

Singh,

Here are my comments regarding the OSDS plan.

1. The plan needs to be to scale. The well arch shows 100ft but it measure 105ft. Other measurements are off as well.
2. Show the sewage disposal area that was approved on the perc cert without the added label and subtracted portion. The total area that was approved on the perc is now the new revised area. No need to label the added areas or show the subtracted portions.
3. There needs to be a tank diagram on the plan. Need to see the size and measurements of the tank. This can be pulled straight from the manufactures specs as long as everything is clear and visible. Example attached.

Freemon, Robert

From: Williams, Jeffrey
Sent: Monday, October 25, 2021 8:10 AM
To: Charanpreet Singh; Freemon, Robert
Cc: Geoffrey Ciniero
Subject: RE: 14695 Triadelphia Mill Road ECP that covers SWM Calculations

Hello Mr. Singh. We are not able to approve a building permit for work that will be going over an existing sewage disposal system. Before we can approve such a permit, the system in conflict must be properly abandoned. According to your own sequence of construction below, you are intending to install the new system and abandon the old system before any work is done on the permit. We would add a line item between numbers 2 and 3 to state: Health Dept. approval of building permit application. This does not affect your proposed sequence in any way and it accomplishes what we require. Your only other alternative would be to move out as you mentioned and abandon the existing system before we sign off on the permit application, then install the new system with our approval before a final inspection and U&O.

Jeff Williams
Deputy Director
Bureau of Environmental Health
Howard County Health Dept.
410-313-4261
jewilliams@howardcountymd.gov

CONFIDENTIALITY NOTICE

This message and the accompanying documents are intended only for the use of the individual or entity to which they are addressed and may contain information that is privileged, confidential, or exempt from disclosure under applicable law. If the reader of this email is not the intended recipient, you are hereby notified that you are strictly prohibited from reading, disseminating, distributing, or copying this communication. If you have received this email in error, please notify the sender immediately and destroy the original transmission.

From: Charanpreet Singh <charan.s.khalsa@gmail.com>
Sent: Friday, October 22, 2021 5:15 PM
To: Freemon, Robert <rfreemon@howardcountymd.gov>
Cc: Williams, Jeffrey <jewilliams@howardcountymd.gov>; Geoffrey Ciniero <gciniero@cms-engineering.net>
Subject: Re: 14695 Triadelphia Mill Road ECP that covers SWM Calculations

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

Spencer,

Geoff is the civil engineer and is cc'd on this email. His number is 4438124501.

Regarding #6

It will be abandoned as part of the building process which cannot really occur until this is approved and health department check off on building permit. It's a chicken or the egg situation.

Williams, Jeffrey

From: Charanpreet Singh <charan.s.khalsa@gmail.com>
Sent: Tuesday, October 26, 2021 8:07 AM
To: Williams, Jeffrey
Cc: Freemon, Robert; Geoffry Ciniero
Subject: Re: 14695 Triadelphia Mill Road ECP that covers SWM Calculations

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

Jeff,

Per our conversation yesterday - your department would look at the digital copy Geoff (civil engineer) sent to check notes (Spencer's comments 1-4) before we print and bring down the hard copy, could this please be done sooner rather than later?

Additionally Geoff asked for clarification on #5 please reply as soon as possible, much appreciated

-Charan Singh

On Mon, Oct 25, 2021, 8:32 AM Charanpreet Singh <charan.s.khalsa@gmail.com> wrote:

Tried to call,

I have laid out more detailed two options below. The deadline for building permit grandfathering rate of fees, before it goes up 600%, is Dec. 31st we need the building permit before then so our objective is to get it as soon as humanly possible please advise.

Option 1

1. Health Department approves OSDS (1 day)
2. Install new septic system and attach home to new system and abandon Old system(undetermined weeks)
3. Health department approves building permit (1 day)
4. Start grading and building

Questions: is there an inspection after the new system is installed? How quickly could the health department come out and inspect the new system if they have to and how quickly after that could they sign the building permit?

Option 2

1. We move out (today)
2. Health Department approves OSDS (1 day)
3. Health Department signs building permit (1 day)
4. We build OSDS and connect to existing house and abandon Old system (undetermined weeks)
4. We move back in during build process

Questions: What do you need from us saying we moved out today and won't move back in until the new system is installed? Will you sign the building permit at the same time as the OSDS as long as we move out today?

-Charan Singh
443-844-9088

PS: The simplified floor plan was couriered to the health department from building permit people on the 20th according to the building permit status tool online please confirm

On Mon, Oct 25, 2021, 8:10 AM Williams, Jeffrey <jewilliams@howardcountymd.gov> wrote:

Hello Mr. Singh. We are not able to approve a building permit for work that will be going over an existing sewage disposal system. Before we can approve such a permit, the system in conflict must be properly abandoned. According to your own sequence of construction below, you are intending to install the new system and abandon the old system before any work is done on the permit. We would add a line item between numbers 2 and 3 to state: Health Dept. approval of building permit application. This does not affect your proposed sequence in any way and it accomplishes what we require. Your only other alternative would be to move out as you mentioned and abandon the existing system before we sign off on the permit application, then install the new system with our approval before a final inspection and U&O.

Jeff Williams

Deputy Director

Bureau of Environmental Health

Howard County Health Dept.

410-313-4261

jewilliams@howardcountymd.gov

CONFIDENTIALITY NOTICE

This message and the accompanying documents are intended only for the use of the individual or entity to which they are addressed and may contain information that is privileged, confidential, or exempt from disclosure under applicable law. If the reader of this email is not the intended recipient, you are hereby notified that you are strictly prohibited from reading, disseminating, distributing, or copying this communication. If you have received this email in error, please notify the sender immediately and destroy the original transmission.

From: Charanpreet Singh <charan.s.khalsa@gmail.com>
Sent: Friday, October 22, 2021 5:15 PM
To: Freemon, Robert <rfreemon@howardcountymd.gov>
Cc: Williams, Jeffrey <jewilliams@howardcountymd.gov>; Geoffry Ciniero <gciniero@cms-engineering.net>
Subject: Re: 14695 Triadelphia Mill Road ECP that covers SWM Calculations

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

Spencer,

Geoff is the civil engineer and is cc'd on this email. His number is 4438124501.

Regarding #6

It will be abandoned as part of the building process which cannot really occur until this is approved and health department check off on building permit. It's a chicken or the egg situation.

Simply put this is what the process is going to be:

1. Build new septic system
2. Attach existing house to new septic system+ drain old system tank and remove then fill hole
3. Begin grading for addition construction per building permit BP21003912
4. Construct addition per building permit BP21003912

If we put this process on the septic drawing will health department approve the building permit and the OSDS (including other changes)?

I have attached a quote from fogles to do the work exactly as listed above.

Additionally the addition does not hinder the living in the existing space and the house sewage connection as it stands is below all concrete footings for the addition. It is also physically impossible to just build over the old septic system which I think the health department is worried about.

Bob Francis, head of inspections and permits, is aware of this project and could maybe chime in here on ensuring this build process. I can ask him if that is needed.

If this is not possible we can just move out now and not live there at all but we really can't take the financial hit on more temporary living arrangements. But below would be the process if we have to do this:

1. Move out
2. Abandon septic field
3. Build addition and new septic system

Please let me know,

-Charan

On Fri, Oct 22, 2021, 4:38 PM Freemon, Robert <rfreemon@howardcountymd.gov> wrote:

Singh,

Here are my comments regarding the OSDS plan.

1. The plan needs to be to scale. The well arch shows 100ft but it measure 105ft. Other measurements are off as well.
2. Show the sewage disposal area that was approved on the perc cert without the added label and subtracted portion. The total area that was approved on the perc is now the new revised area. No need to label the added areas or show the subtracted portions.

3. There needs to be a tank diagram on the plan. Need to see the size and measurements of the tank. This can be pulled straight from the manufactures specs as long as everything is clear and visible. Example attached.
4. Needs a trench profile. Example attached.
5. Septic profile needs to show elevation internals on the sides.
6. Please keep in mind the building permit will not be approved until the old septic system is abandoned. I do not see anything in regards to how you plan to live on the property while construction is going on.
7. Please provide me with your new engineers email and direct number.

***Howard County Health Department
8930 Stanford Blvd. Columbia, MD 21045
Bureau of Environmental Health***

Well and Septic Program

Robert "Spencer" Freemon

Phone: 410-313-6357

Email: rfreemon@howardcountymd.gov

Website: <https://www.howardcountymd.gov/health/well-septic-program>

From: Charanpreet Singh <charan.s.khalsa@gmail.com>
Sent: Thursday, October 21, 2021 12:38 PM
To: Williams, Jeffrey <jewilliams@howardcountymd.gov>
Cc: Freemon, Robert <rfreemon@howardcountymd.gov>
Subject: Re: 14695 Triadelphia Mill Road ECP that covers SWM Calculations

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

Good afternoon,

Pinging again as I have not heard from you good folks.

Thanks!

On Wed, Oct 20, 2021 at 2:28 PM Charanpreet Singh <charan.s.khalsa@gmail.com> wrote:

Good Afternoon,

Pinging to see if there are any updates since we spoke last Thursday.

Thank you

On Thu, Oct 14, 2021 at 2:07 PM Williams, Jeffrey <jewilliams@howardcountymd.gov> wrote:

Hello. We do have the OSDS plan in review. It looks like we received it on 10/5. We should have it reviewed within the next few days and we'll let you and the engineer know if it was approved or if there are any comments for revision. Thanks

Jeff

From: Charanpreet Singh <charan.s.khalsa@gmail.com>
Sent: Thursday, October 14, 2021 12:58 PM

To: Williams, Jeffrey <jewilliams@howardcountymd.gov>

Subject: Re: 14695 Triadelphia Mill Road ECP that covers SWM Calculations

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

Jeff,

Thank you again for helping facilitate the perc cert through. As an FYI I submitted the OSDS plan alongside the full stormwater management plan (separate 24inx36in drawing) on October 4th. I also submitted the full building permit on October 6th. I gave the building permit folks the simplified floor plan that they are supposed to forward to you.

I have not heard from anyone in your department concerning the OSDS plan yet. Knowing that from history there tends to be a significant back and forth. I am getting concerned that I have not heard anything. As stated before if we do not meet the deadline I have to move and I lose \$35,000 that I have spent so far on developing plans and temporary living arrangements.

Is there anything that can be done to keep this moving? My family's future is at your teams mercy.

I have attached digital copies of the plans as well.

-Charan Singh Johal

On Mon, Sep 20, 2021 at 1:18 PM Williams, Jeffrey <jewilliams@howardcountymd.gov> wrote:

Hello. I sent the plan up for director's signature. Hopefully he doesn't not find anything in need of revision. We should know within the next few days.

From: Charanpreet Singh <charan.s.khalsa@gmail.com>
Sent: Monday, September 20, 2021 12:08 PM
To: Williams, Jeffrey <jewilliams@howardcountymd.gov>
Subject: Re: 14695 Triadelphia Mill Road ECP that covers SWM Calculations

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

Hey Jeff,

Should I prepare to get my engineer spun up for more changes? He wants me to pay off his contract but I am wary of doing so before you guys sign this off or shoot it back. Could I get some sort of time table of where I am in the queue so I can have that as a point of conversation with the engineer that prepared this and the engineer that is preparing the OSDS?

Appreciate you taking the time to read,

-Charan

On Thu, Sep 16, 2021 at 9:38 AM Charanpreet Singh <charan.s.khalsa@gmail.com> wrote:

Appreciate the response Jeff

Have a good day

On Thu, Sep 16, 2021 at 9:37 AM Williams, Jeffrey <jewilliams@howardcountymd.gov> wrote:

Hello. The perc cert plan is up for signature and in my review at this time. We will let you know when it is signed or if revisions are needed. Thanks

Jeff

From: Charanpreet Singh <charan.s.khalsa@gmail.com>
Sent: Thursday, September 16, 2021 9:35 AM
To: Freemon, Robert <rfeemon@howardcountymd.gov>
Cc: Williams, Jeffrey <jewilliams@howardcountymd.gov>; ERIK MARKS <marks.aa@comcast.net>
Subject: Re: 14695 Triadelphia Mill Road ECP that covers SWM Calculations

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

Good Morning,

Pinging this email again in hopes of a response

Regards,

-Charan Singh

On Wed, Sep 15, 2021 at 1:10 PM Charanpreet Singh <charan.s.khalsa@gmail.com> wrote:

Hello,

It has been some time since we dropped the latest plans and you confirmed that it was received. Has there been movement? I need to stress this is our obstacle to move forward with the project right now with the deadline looming from the county. We need to especially know what's going on if another round of changes is needed.

-Charan Singh

On Thu, Sep 9, 2021, 4:03 PM Freemon, Robert <rfeemon@howardcountymd.gov> wrote:

Hi Charan,

We did receive the PC plan you dropped off. I will look at it as soon as I can. Depending on the OSDS design and the proposed construction process created by you and the architect it may be possible to have the building permit approved alongside the OSDS approval/installation. This is something you will need to work

out with the engineer and architect if you are planning on living in the home while construction is going on. I cannot guarantee Health will approve the proposal however we will review plans showing the details for the proposed process of construction.

Howard County Health Department

8930 Stanford Blvd. Columbia, MD 21045

Bureau of Environmental Health

Well and Septic Program

Robert "Spencer" Freemon

Phone: 410-313-6357

Email: rfreemon@howardcountymd.gov

Website: <https://www.howardcountymd.gov/health/well-septic-program>

From: Charanpreet Singh <charan.s.khalsa@gmail.com>

Sent: Thursday, September 9, 2021 2:09 PM

To: Williams, Jeffrey <jewilliams@howardcountymd.gov>

Cc: Freemon, Robert <rfreemon@howardcountymd.gov>; ERIK MARKS <marks.aa@comcast.net>

Subject: Re: 14695 Triadelphia Mill Road ECP that covers SWM Calculations

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

Good Afternoon,

I just wanted to ping to ensure that the plans made it to where they are supposed to be. I understand you guys have other duties and obligations and it may take a little before you can go through this but I wanted to ask again to expedite in case we have to do another round. With the deadline approaching from the building

permit folks and you guys requiring OSDS approval and implementation before building permit is issued we are in a world of hurt at the moment.

On that note if there is a way around this, i.e having the OSDS plan approval as the prerequisite to building permit approval only and then schedule install of the OSDS system alongside issuing of building permit that would make it possible to beat the deadline.

Thank you very much for reading; please advise

-Charan Singh

On Wed, Sep 8, 2021 at 2:56 PM Charanpreet Singh <charan.s.khalsa@gmail.com> wrote:

Good Afternoon,

Erik has completed all the changes and I am on my way to drop of the plans.

Regards,

Charan Singh

On Tue, Sep 7, 2021, 2:17 PM Charanpreet Singh <charan.s.khalsa@gmail.com> wrote:

Thanks for the email Jeff,

I will touch base with Erik Marks (perc cert) and relay all your comments on SWM to CMS Associates (ECP, Plot Plan, & OSDS).

-Charan Singh

On Tue, Sep 7, 2021, 1:27 PM Williams, Jeffrey <jewilliams@howardcountymd.gov> wrote:

Hello Mr. Singh. I reviewed the latest PC with Spencer and I concur with his comments with one minor detail that speaks to your point below. Spencer wanted better detail on the stormwater devices because the way the engineer colored them and labeled them it was a bit confusing. He is using a green line for proposed grading and label lines and stormwater pipes. To your point below, he should just not show the stormwater at all and show it on the OSDS plan. He should also avoid showing the trench layout on this plan and save it for the OSDS plan. This plan is specifically to approve the disposal area changes and the replacement well area. His trench layout is not what we will look to see on the OSDS plan. The initial system trenches should be spread out on the upper contour instead of stacked on each other. That said, the ECP you sent me shows the raingarden outfall and solid pipe outfall over 25' from the SDA, but it is a poor design. There should be an effort to avoid discharging the collected front yard water directly toward the disposal area, particularly the initial system as it will be designed. The way this is designed, the soil will be unnecessarily loaded with stormwater infiltration in the area where we're trying to disperse the sewage effluent. It could cause overloading of the trenches and premature failure of the system

Additionally, the contour lines are not consistent between this plan and the ECP, particularly 462 and 464 as they relate to the upper SDA boundary. Not sure which one is accurate.

As Spencer noted, the replacement well locations should be removed and a well arc put around the whole well box. The total new disposal area square footage should be indicated. Note 11 should be removed. If the only thing were the note and maybe some labeling, we would have redlined it, but we need to clean up the other items as well. Thanks

Jeff

From: Charanpreet Singh <charan.s.khalsa@gmail.com>

Sent: Friday, September 3, 2021 10:49 AM

To: Williams, Jeffrey <jewilliams@howardcountymd.gov>

Subject: Re: 14695 Triadelphia Mill Road ECP that covers SWM Calculations

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

PS:

Not sure if this is super relevant:

There is also a declaration of covenant between us and the county on the storm water management system that has been signed and notarized. Below are images of the pertinent sections:

Section 1 iterates that the actual as-built drawing will be submitted later on; anything made for the ECP or the Perc plan is a concept and final design will be made during grading permit / building permit (i.e the plot plan) application (because that requires the inclusion of a landscape architect etc.).

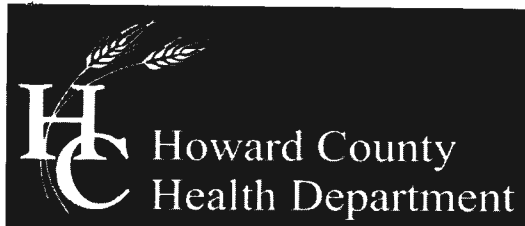
On Fri, Sep 3, 2021 at 10:36 AM Charanpreet Singh <charan.s.khalsa@gmail.com> wrote:

Jeff,

Thanks again for speaking with me this morning. Attached are two documents: 1) is High Resolution ECP, 2) is scanned copy from DPZ with their approval stamp

Regards,

-Charan Singh



Bureau of Environmental Health

8930 Stanford Boulevard, Columbia, MD 21045

Main: 410-313-2640 | Fax: 410-313-2648

TDD 410-313-2323 | Toll Free 1-866-313-6300

www.hchealth.org

Facebook: www.facebook.com/hocohealth

Twitter: HowardCoHealthDep

Maura J. Rossman, M.D., Health Officer

MEMORANDUM

TO: Marks & Associates, LLC
4531 College Avenue
Ellicott City, MD 21043

FROM: Robert Freemon *RF*
Well & Septic Program

RE: 14695 Triadelphia Mill Rd.
Dayton, MD 21036
"Percolation Certification Comments"

DATE: 7/22/2021

After review of the Percolation Certification Plan (PC/Perc Cert) here are my comments.

1. Show all stormwater management (SWM) devices being proposed. Make sure all setbacks to the wells and sewage disposal area (SDA) are being met. If there is an issue with space between the SWM drywells and alternate well sites you may condense the alternate well sites to a 1,500sqft well box. Make sure the symbol used to show this well box is represented and labeled in the legend. A 100ft arch around the well box will still need to be shown. Alternate wells are treated the same as existing wells.
2. Remove all the proposed on-site sewage disposal system (OSDS) information from the PC plan. The PC should only show the details surrounding the SDA. The OSDS plan will show the details surrounding the septic system to be installed.
3. All proposed additions must be shown and labeled on the plan. Proposed livable space additions can be covered with a single symbol in the legend. If non livable space additions are being proposed (pools, decks, garages...etc), they must be shown individually and labeled.
4. Label the existing house as "Existing SFD, To Remain" or have a symbol in the legend outlining the existing house to remain.
5. Revise the purpose statement to say, "The purpose of this Percolation Certification Plan is to modify the existing SDA to accommodate future additions to the existing house."

6. Add a note stating, "The existing septic system must be properly abandoned with documentation sent to the Health Dept. prior to building permit approval."
7. Add a note stating, "An OSDS plan must be created and installed with Health Dept. approval prior to building permit approval."
8. Add a note stating, "An advanced pre-treatment system, which utilizes best available technology to perform nitrogen reduction, must be installed on the on-site sewage disposal system. An on-site sewage disposal system plan with all the necessary details for installation must be approved by the Health Dept. prior to the release of the septic permit. In addition, an operation and maintenance contract agreement must be filed with Howard County Land Records and a receipt of the recordation must be submitted to the Health Dept."
9. Add to the labels identifying the existing septic system, "To Be Abandoned" or "TBA".
10. Add elevations to the perc hole locations.
11. Revise the legend description for the proposed SDA to say, "Revised Sewage Disposal Area 10,450sqft."
12. The "Added SDA* 3,362sqft" in the legend must be shown on the site plan portion of the PC.
13. Add the symbol used to identify the existing SDA, to the legend. Make sure to include the sqft in its label.
14. Add to Note 6 who field verified the topography.
15. Remove Note 4.
16. Revise Note 9 to say, "The existing SDA has been modified to remove 228sqft and adding 3,362 sqft for a total of 10,450."
17. Add a note identifying the west adjacent property as Forest Conservation (no wells or septic systems).

Williams, Jeffrey

From: Charanpreet Singh <charan.s.khalsa@gmail.com>
Sent: Thursday, September 2, 2021 10:41 AM
To: Williams, Jeffrey
Cc: Freemon, Robert; ERIK MARKS
Subject: Re: Follow up to Phone call 14695 Triadelphia Mill Road

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

Jeff,

Makes complete sense. Thanks for the reply.

-Charan

On Thu, Sep 2, 2021, 9:48 AM Williams, Jeffrey <jewilliams@howardcountymd.gov> wrote:

Hello Mr. Singh. You will need a septic contractor to pull a septic permit to install the new system once the OSDS plan has been approved. Please note that the proposed addition is located on top of the existing septic tank and trench, so we will need to see the old system properly abandoned prior to building permit approval. Please also note that we will need to review all details of how you plan to design the new system to both serve the old house and the new house if that is your proposal. This will include details of the sewer house connection leaving the old house that will then be covered by the new foundation.

Jeff Williams

Deputy Director

Bureau of Environmental Health

Howard County Health Dept.

410-313-4261

jewilliams@howardcountymd.gov

CONFIDENTIALITY NOTICE

This message and the accompanying documents are intended only for the use of the individual or entity to which they are addressed and may contain information that is privileged, confidential, or exempt from disclosure under applicable law. If the reader of this email is not the intended recipient, you are hereby notified that you are strictly prohibited from reading, disseminating, distributing, or copying this communication. If you have received this email in error, please notify the sender immediately and destroy the original transmission.

From: Charanpreet Singh <charan.s.khalsa@gmail.com>
Sent: Wednesday, September 1, 2021 4:31 PM
To: Freemon, Robert <rfreemon@howardcountymd.gov>
Cc: Bricker, Robert <RBricker@howardcountymd.gov>; Williams, Jeffrey <jewilliams@howardcountymd.gov>; ERIK MARKS <marks.aa@comcast.net>
Subject: Re: Follow up to Phone call 14695 Triadelphia Mill Road

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

Robert,

Thanks for the update. Appreciate the clarity greatly. We plan on living here during construction. I will forward the comment to the architect. Do we need a separate permit to build the new OSDS or can we get to work as soon as the OSDS plan is approved?

On Wed, Sep 1, 2021, 4:08 PM Freemon, Robert <rfreemon@howardcountymd.gov> wrote:

Hi Charan,

My apologizes for the unexpected delay and for my misinterpretation of MDE's regulation regarding the BAT unit. You are **not** required to install a BAT unit according to Sec. 26.04.02 (K). I have gone over this with my supervisor Jeff Williams (CC'd) and attached the regulation in this email. We have received the Percolation Certification Plan you submitted and I will review it tomorrow. If everything looks ok I will ask Erick if he is ok with me redlining out the notes regarding the BAT unit. If other edits are needed I will send out comments.

Prior to the building permit being approved Health will need an approved OSDS plan and the existing septic system will need to be abandoned. It may be a possible to have the approved OSDS installed at the same time the building permit is approved. The installed OSDS would need final approval prior to Use and Occupancy. If you plan on living in the existing portion of the house while construction is going on you will be required to install the system first and have an alternative sewer house connection to it in the meantime. You would need to figure out how and when the new system would be connected to the proposed house with your architect. If you have any further questions let me know.

*Howard County Health Department
8930 Stanford Blvd. Columbia, MD 21045*

Bureau of Environmental Health

Well and Septic Program

Robert "Spencer" Freemon

Phone: 410-313-6357

Email: rfreemon@howardcountymd.gov

Website: <https://www.howardcountymd.gov/health/well-septic-program>

From: Charanpreet Singh <charan.s.khalsa@gmail.com>
Sent: Tuesday, August 31, 2021 4:24 PM
To: Bricker, Robert <RBricker@howardcountymd.gov>
Cc: Freemon, Robert <rfreemon@howardcountymd.gov>
Subject: Re: Follow up to Phone call 14695 Triadelphia Mill Road

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

Understood,

I just called the office and they said they put it in Spencer's basket not yours. I am very concerned this will sit longer because Spencer's time of return is unknown and because he probably has a lot of items in his basket to look through. Could you ask your supervisor about this when you are in the office or can I make a request to him after explaining the situation?

-Charan

On Tue, Aug 31, 2021, 4:10 PM Bricker, Robert <RBricker@howardcountymd.gov> wrote:

If I find the documents in my review basket, I will give them to Spencer and/or check with our supervisor about Spencer's status.

Robert Bricker, REHS/RS, L.E.H.S.

From: Charanpreet Singh <charan.s.khalsa@gmail.com>
Sent: Tuesday, August 31, 2021 3:46 PM
To: Bricker, Robert <RBricker@howardcountymd.gov>
Cc: Freemon, Robert <rfreemon@howardcountymd.gov>
Subject: Re: Follow up to Phone call 14695 Triadelphia Mill Road

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

Hello,

Juanita may have given all the copies to Robert Bricker; I am not sure if Spencer is back. I am hoping the plan finds itself in the right place. Please advise.

I have also attached the last set of comments from Spencer to this email which is what was addressed in the latest plan

Hope to hear from you soon,

-Charan

On Mon, Aug 30, 2021 at 3:16 PM Charanpreet Singh <charan.s.khalsa@gmail.com> wrote:

Just dropped off the copies to the front desk; Juanita I believe.

Regards,

-Charan

On Mon, Aug 30, 2021, 2:33 PM Charanpreet Singh <charan.s.khalsa@gmail.com> wrote:

Will do

On Mon, Aug 30, 2021, 2:32 PM Bricker, Robert <RBricker@howardcountymd.gov> wrote:

Be sure that it is copied at the stated scale, 1 inch equal to 50 feet.

From: Charanpreet Singh <charan.s.khalsa@gmail.com>
Sent: Monday, August 30, 2021 2:27 PM
To: Bricker, Robert <RBricker@howardcountymd.gov>
Cc: Freemon, Robert <rfreemon@howardcountymd.gov>
Subject: Re: Follow up to Phone call 14695 Triadelphia Mill Road

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

Robert & Spencer,

Just got the updated perc plan from my engineer. I am running to kinkos to print it and drop it off right now. I have attached it here as well.

-Charan

On Mon, Aug 30, 2021 at 9:51 AM Bricker, Robert <RBricker@howardcountymd.gov> wrote:

Thank you for the follow-up. I am copying Spencer on this so he will be up-to-date on your project when he returns to work.

Robert Bricker, REHS/RS, L.E.H.S.

From: Charanpreet Singh <charan.s.khalsa@gmail.com>
Sent: Monday, August 30, 2021 9:35 AM
To: Bricker, Robert <RBricker@howardcountymd.gov>
Subject: Re: Follow up to Phone call 14695 Triadelphia Mill Road

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

Hello Robert,

I want to first thank you for your thoroughness and expedience in answering questions and escalating.

That being said my engineer does not share the same attributes. After my last talk with him he was supposedly supposed to finish everything by Friday morning so I could submit it to you guys but apparently he is going to work on it today. So he told me to say that I won't be able to bring it by at least until tomorrow morning.

I apologize for this and thank you for your patience in dealing with this project.

-Charan

On Thu, Aug 26, 2021, 3:49 PM Charanpreet Singh <charan.s.khalsa@gmail.com> wrote:

Makes sense thanks

On Thu, Aug 26, 2021 at 3:43 PM Bricker, Robert <RBricker@howardcountymd.gov> wrote:

The issue of the sewer house connection:

The SHC will be at some depth as it passes through the plane where the foundation wall will be constructed. If it is below the elevation of the footer, hopefully it will be deep enough that settling of the foundation will not pinch the pipe.

If the elevation of the SHC is above the footer, there will be need to coordinate cutting the SHC, installing the foundation, then re-connecting the SHC through the foundation wall. If the septic system is in use there will be need to have a chemical toilet on site for family usage for a few days. A permit for OSDS Minor Repair will have to be pulled at the Health Department and an inspection scheduled when the SHC is re-connected and routed through the foundation wall.

Robert Bricker, REHS/RS, L.E.H.S.

From: Charanpreet Singh <charan.s.khalsa@gmail.com>
Sent: Thursday, August 26, 2021 2:49 PM
To: Bricker, Robert <RBricker@howardcountymd.gov>
Subject: Re: Follow up to Phone call 14695 Triadelphia Mill Road

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

Robert,

Thanks for the reply.

"I don't understand why an engineer would state that they are not qualified to create a plan for a BAT system. Installers have to be certified, but not engineers. It's a matter of a label, a detail of the BAT (available from the manufacturer and maybe the distributor) and a few notes." Understood.

"I have spoken with our Supervisor. The BAT issue will not affect the review and approval of the percolation certification plan. We will resolve the issue of whether a BAT is needed next week. I expressed your request for expedited review. If the Perc Cert isn't going to be complete and submitted until tomorrow afternoon or Monday, Spencer may be back in time to review it." Thanks for looking into this and look forward to hearing about the BAT decision. I will print the drawing and come down with the most recent revision as soon as humanly possible after Erik completes the work.

The replacement septic system will have to be installed prior to our release of building permit because the area proposed for the addition (and/or setback to addition) overlays the locations of the existing septic tank, the existing dry well, and the existing trench off of the dry well. This makes 100% sense and I was expecting

this. The only question I have is we will connect the current house as it stands to the new septic system but what if we need to modify the connection between the house and septic system during construction and after construction is complete? Do our plumbers and septic system installation folk have free liberty to alter the connection? We have no plan at the moment as it is too far ahead.

Thanks

On Thu, Aug 26, 2021 at 2:28 PM Bricker, Robert <RBricker@howardcountymd.gov> wrote:

Hello Charan,

I don't understand why an engineer would state that they are not qualified to create a plan for a BAT system. Installers have to be certified, but not engineers. It's a matter of a label, a detail of the BAT (available from the manufacturer and maybe the distributor) and a few notes.

I have spoken with our Supervisor. The BAT issue will not affect the review and approval of the percolation certification plan. We will resolve the issue of whether a BAT is needed next week. I expressed your request for expedited review. If the Perc Cert isn't going to be complete and submitted until tomorrow afternoon or Monday, Spencer may be back in time to review it.

The replacement septic system will have to be installed prior to our release of building permit because the area proposed for the addition (and/or setback to addition) overlays the locations of the existing septic tank, the existing dry well , and the existing trench off of the dry well.

Robert Bricker, REHS/RS, L.E.H.S.

From: Charanpreet Singh <charan.s.khalsa@gmail.com>
Sent: Thursday, August 26, 2021 12:49 PM
To: Bricker, Robert <RBricker@howardcountymd.gov>
Subject: Re: Follow up to Phone call 14695 Triadelphia Mill Road

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

Hey Rob,

I just recently left you a message. I forgot to add that part of the main issue why Erik C Marks (my engineer / surveyor / perc cert maker) says he cannot do the OSDS is because Spencer had mentioned a BAT system was required. Erik said he was not qualified for that so he cannot do the OSDS. I am having a real hard time finding any civil engineer willing to take the job of designing the septic system for two reasons: 1) because they did not do the perc cert and 2) a lot of these companies want to charge another \$2500-\$3000 to do this but over a 5-6 week waiting period...where is Erik who already did most of the work and if it was not a BAT system he could knock out the OSDS easily quickly as a quick hourly rate. This is a pickle I am in.

Please also add this to your conversation with your supervisor

-Charan

On Thu, Aug 26, 2021 at 11:47 AM Charanpreet Singh <charan.s.khalsa@gmail.com> wrote:

Robert,

Thank you for calling. As discussed attached are the following:

- ECP showing stormwater management (this ECP is just about to be approved via Heather Akers 410-313-4375)
- Spencer's comments on last Perc Cert sent 7/22/2021
- The last iteration of the Perc Cert Spencer commented on 7/22
- The Perc Results (4 Images)

The Engineer preparing the Cert is Erik Marks. He has time to work on this tomorrow. After that I do not know when he can work on this again as it is hard to schedule with him.

Hope to hear from you soon

443-844-9088

Freemon, Robert

From: Freemon, Robert
Sent: Wednesday, September 1, 2021 4:09 PM
To: Charanpreet Singh
Cc: Bricker, Robert; Williams, Jeffrey; ERIK MARKS
Subject: RE: Follow up to Phone call 14695 Triadelphia Mill Road
Attachments: Sec. 26.04.02 (K).pdf

Hi Charan,

My apologies for the unexpected delay and for my misinterpretation of MDE's regulation regarding the BAT unit. You are **not** required to install a BAT unit according to Sec. 26.04.02 (K). I have gone over this with my supervisor Jeff Williams (CC'd) and attached the regulation in this email. We have received the Percolation Certification Plan you submitted and I will review it tomorrow. If everything looks ok I will ask Erick if he is ok with me redlining out the notes regarding the BAT unit. If other edits are needed I will send out comments.

Prior to the building permit being approved Health will need an approved OSDS plan and the existing septic system will need to be abandoned. It may be possible to have the approved OSDS installed at the same time the building permit is approved. The installed OSDS would need final approval prior to Use and Occupancy. If you plan on living in the existing portion of the house while construction is going on you will be required to install the system first and have an alternative sewer house connection to it in the meantime. You would need to figure out how and when the new system would be connected to the proposed house with your architect. If you have any further questions let me know.



*Howard County Health Department
8930 Stanford Blvd. Columbia, MD 21045
Bureau of Environmental Health*

*Well and Septic Program
Robert "Spencer" Freemon
Phone: 410-313-6357*

Email: rfreemon@howardcountymd.gov

Website: <https://www.howardcountymd.gov/health/well-septic-program>

From: Charanpreet Singh <charan.s.khalsa@gmail.com>
Sent: Tuesday, August 31, 2021 4:24 PM
To: Bricker, Robert <RBricker@howardcountymd.gov>
Cc: Freemon, Robert <rfreemon@howardcountymd.gov>
Subject: Re: Follow up to Phone call 14695 Triadelphia Mill Road

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

Understood,

I just called the office and they said they put it in Spencer's basket not yours. I am very concerned this will sit longer because Spencer's time of return is unknown and because he probably has a lot of items in his basket to look through. Could you ask your supervisor about this when you are in the office or can I make a request to him after explaining the situation?

-Charan

On Tue, Aug 31, 2021, 4:10 PM Bricker, Robert <RBricker@howardcountymd.gov> wrote:

If I find the documents in my review basket, I will give them to Spencer and/or check with our supervisor about Spencer's status.

Robert Bricker, REHS/RS, L.E.H.S.

From: Charanpreet Singh <charan.s.khalsa@gmail.com>

Sent: Tuesday, August 31, 2021 3:46 PM

To: Bricker, Robert <RBricker@howardcountymd.gov>

Cc: Freemon, Robert <rfreemon@howardcountymd.gov>

Subject: Re: Follow up to Phone call 14695 Triadelphia Mill Road

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

Hello,

Juanita may have given all the copies to Robert Bricker; I am not sure if Spencer is back. I am hoping the plan finds itself in the right place. Please advise.

I have also attached the last set of comments from Spencer to this email which is what was addressed in the latest plan

Hope to hear from you soon,

-Charan

On Mon, Aug 30, 2021 at 3:16 PM Charanpreet Singh <charan.s.khalsa@gmail.com> wrote:

Just dropped off the copies to the front desk; Juanita I believe.

Regards,

-Charan

On Mon, Aug 30, 2021, 2:33 PM Charanpreet Singh <charan.s.khalsa@gmail.com> wrote:

Will do

On Mon, Aug 30, 2021, 2:32 PM Bricker, Robert <RBricker@howardcountymd.gov> wrote:

Be sure that it is copied at the stated scale, 1 inch equal to 50 feet.

From: Charanpreet Singh <charan.s.khalsa@gmail.com>
Sent: Monday, August 30, 2021 2:27 PM
To: Bricker, Robert <RBricker@howardcountymd.gov>
Cc: Freemon, Robert <rfreemon@howardcountymd.gov>
Subject: Re: Follow up to Phone call 14695 Triadelphia Mill Road

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

Robert & Spencer,

Just got the updated perc plan from my engineer. I am running to kinkos to print it and drop it off right now. I have attached it here as well.

-Charan

On Mon, Aug 30, 2021 at 9:51 AM Bricker, Robert <RBricker@howardcountymd.gov> wrote:

Thank you for the follow-up. I am copying Spencer on this so he will be up-to-date on your project when he returns to work.

Robert Bricker, REHS/RS, L.E.H.S.

From: Charanpreet Singh <charan.s.khalsa@gmail.com>
Sent: Monday, August 30, 2021 9:35 AM
To: Bricker, Robert <RBricker@howardcountymd.gov>
Subject: Re: Follow up to Phone call 14695 Triadelphia Mill Road

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

Hello Robert,

I want to first thank you for your thoroughness and expedience in answering questions and escalating.

That being said my engineer does not share the same attributes. After my last talk with him he was supposedly supposed to finish everything by Friday morning so I could submit it to you guys but apparently he is going to work on it today. So he told me to say that I won't be able to bring it by at least until tomorrow morning.

I apologize for this and thank you for your patience in dealing with this project.

-Charan

On Thu, Aug 26, 2021, 3:49 PM Charanpreet Singh <charan.s.khalsa@gmail.com> wrote:

Makes sense thanks

On Thu, Aug 26, 2021 at 3:43 PM Bricker, Robert <RBricker@howardcountymd.gov> wrote:

The issue of the sewer house connection:

The SHC will be at some depth as it passes through the plane where the foundation wall will be constructed. If it is below the elevation of the footer, hopefully it will be deep enough that settling of the foundation will not pinch the pipe.

If the elevation of the SHC is above the footer, there will be need to coordinate cutting the SHC, installing the foundation, then re-connecting the SHC through the foundation wall. If the septic system is in use there will be need to have a chemical toilet on site for family usage for a few days. A permit for OSDS Minor Repair will have to be pulled at the Health Department and an inspection scheduled when the SHC is re-connected and routed through the foundation wall.

Robert Bricker, REHS/RS, L.E.H.S.

From: Charanpreet Singh <charan.s.khalsa@gmail.com>
Sent: Thursday, August 26, 2021 2:49 PM
To: Bricker, Robert <RBricker@howardcountymd.gov>
Subject: Re: Follow up to Phone call 14695 Triadelphia Mill Road

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

Robert,

Thanks for the reply.

"I don't understand why an engineer would state that they are not qualified to create a plan for a BAT system. Installers have to be certified, but not engineers. It's a matter of a label, a detail of the BAT (available from the manufacturer and maybe the distributor) and a few notes." Understood.

"I have spoken with our Supervisor. The BAT issue will not affect the review and approval of the percolation certification plan. We will resolve the issue of whether a BAT is needed next week. I expressed your request for expedited review. If the Perc Cert isn't going to be complete and submitted until tomorrow afternoon or Monday, Spencer may be back in time to review it." Thanks for looking into this and look forward to hearing about the BAT decision. I will print the drawing and come down with the most recent revision as soon as humanly possible after Erik completes the work.

The replacement septic system will have to be installed prior to our release of building permit because the area proposed for the addition (and/or setback to addition) overlays the locations of the existing septic tank, the existing dry well , and the existing trench off of the dry well. This makes 100% sense and I was expecting this. The only question I have is we will connect the current house as it stands to the new septic system but what if we need to modify the connection between the house and septic system during construction and after construction is complete? Do our plumbers and septic system installation folk have free liberty to alter the connection? We have no plan at the moment as it is too far ahead.

Thanks

On Thu, Aug 26, 2021 at 2:28 PM Bricker, Robert <RBricker@howardcountymd.gov> wrote:

Hello Charan,

I don't understand why an engineer would state that they are not qualified to create a plan for a BAT system. Installers have to be certified, but not engineers. It's a matter of a label, a detail of the BAT (available from the manufacturer and maybe the distributor) and a few notes.

I have spoken with our Supervisor. The BAT issue will not affect the review and approval of the percolation certification plan. We will resolve the issue of whether a BAT is needed next week. I expressed your request for expedited review. If the Perc Cert isn't going to be complete and submitted until tomorrow afternoon or Monday, Spencer may be back in time to review it.

The replacement septic system will have to be installed prior to our release of building permit because the area proposed for the addition (and/or setback to addition) overlays the locations of the existing septic tank, the existing dry well, and the existing trench off of the dry well.

Robert Bricker, REHS/RS, L.E.H.S.

From: Charanpreet Singh <charan.s.khalsa@gmail.com>
Sent: Thursday, August 26, 2021 12:49 PM
To: Bricker, Robert <RBricker@howardcountymd.gov>
Subject: Re: Follow up to Phone call 14695 Triadelphia Mill Road

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

Hey Rob,

I just recently left you a message. I forgot to add that part of the main issue why Erik C Marks (my engineer / surveyor / perc cert maker) says he cannot do the OSDS is because Spencer had mentioned a BAT system was required. Erik said he was not qualified for that so he cannot do the OSDS. I am having a real hard time finding any civil engineer willing to take the job of designing the septic system for two reasons: 1) because they did not do the perc cert and 2) a lot of these companies want to charge another \$2500-\$3000 to do this but over a 5-6 week waiting period...where is Erik who already did most of the work and if it was not a BAT system he could knock out the OSDS easily quickly as a quick hourly rate. This is a pickle I am in.

Please also add this to your conversation with your supervisor

-Charan

On Thu, Aug 26, 2021 at 11:47 AM Charanpreet Singh <charan.s.khalsa@gmail.com> wrote:

Robert,

Thank you for calling. As discussed attached are the following:

- ECP showing stormwater management (this ECP is just about to be approved via Heather Akers 410-313-4375)
- Spencer's comments on last Perc Cert sent 7/22/2021
- The last iteration of the Perc Cert Spencer commented on 7/22
- The Perc Results (4 Images)

The Engineer preparing the Cert is Erik Marks. He has time to work on this tomorrow. After that I do not know when he can work on this again as it is hard to schedule with him.

Hope to hear from you soon

443-844-9088

11/14/80
as soon as possible

05-385431

APPROVED
10/14/80 RH
P 30949

PERMIT

A 26030

SEWAGE DISPOSAL SYSTEM

MARYLAND STATE DEPARTMENT OF HEALTH

HOWARD COUNTY

ELLICOTT CITY

INDEXED

DISTRICT 5th

DATE 9/22/80

Jack Fyock, Jr.

IS PERMITTED TO INSTALL ALTER

ADDRESS 13775 Triadelphia Road, Glenelg, Maryland 21737 PHONE 988-9270

SUBDIVISION Mildred Brown ROAD 14695 Triadelphia Mill LOT 2

PROPERTY OWNER Thomas O. Brown

ADDRESS

SPECIFICATIONS 3 Bedrooms

SEPTIC TANK CAPACITY 1000 GALLONS DRY WELL AND TRENCH

DRAIN FIELD DEPTH FEET. BOTTOM AREA SQ. FT.

DEEP TRENCH DEPTH FEET. BOTTOM AREA SQ. FT.

Dry Well SEEPAGE PITS ABSORBENT SIDE-WALL AREA 140 SQ. FT. per bedroom

INLET PIPE 4 FT. BELOW ORIGINAL GRADE. MAXIMUM DEPTH 10 FT. BELOW ORIGINAL GRADE

EFFECTIVE DEPTH AT FT. BELOW ORIGINAL GRADE.

LOCATE DISPOSAL AREA FT. FROM LOT LINE AND FT. FROM LOT LINE AS SEEN WHEN

FACING LOT FROM

Location of dry well - Place the dry well 317.0' from right (180.27 lot line) and 135 feet from rear (1101.46 ft. long) side line as seen when facing the property from Triadelphia Mill Road. Start the trench after a 5 foot earth buffer with the dry well, and proceed to dig it on level ground, the required distance. NOTE: Call for inspection of trench before gravel is installed. and after.

PLANS APPROVED BY Frank Skinner DATE 11/9/77

COVER NO WORK UNTIL INSPECTED AND APPROVED.

NEITHER THE HOWARD COUNTY COUNCIL NOR THE HEALTH DEPARTMENT IS RESPONSIBLE FOR THE SUCCESSFUL OPERATION OF ANY SYSTEM.

NOTE: IF TRENCH IS USED CALL FOR INSPECTION BEFORE PLACING GRAVEL IN TRENCH.

NOTE: NO DRY WELL SHALL EXCEED 15 FOOT IN DIAMETER.

NOTE: ALL PIPE FROM HOUSE TO DISPOSAL AREA MUST BE CAST IRON.

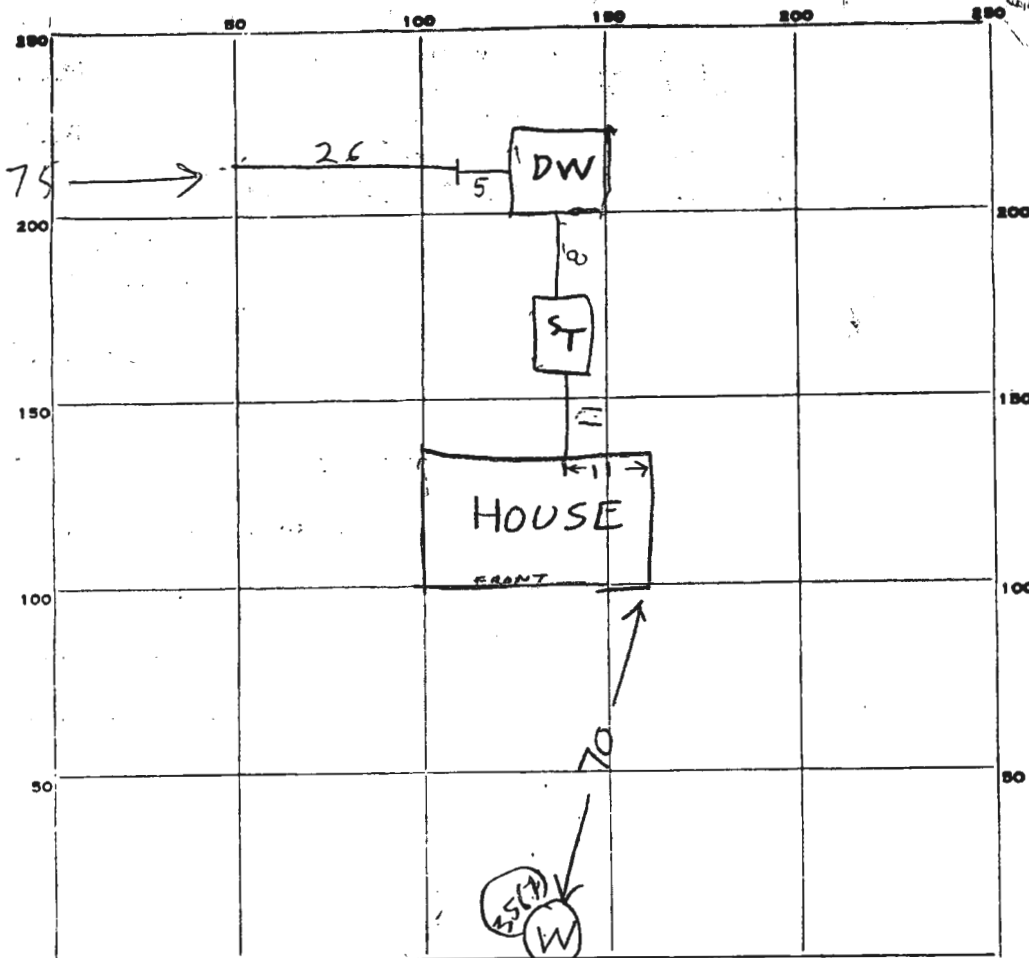
PERMIT VOID AFTER THREE YEARS.

NOTE: INSTALL STAND PIPE ON SEPTIC TANK AND DRY WELL. STAND PIPES MUST BE 6 INCHES IN DIAMETER. CAST IRON, CONCRETE OR TERRA COTTA ACCEPTED.

*INSTALLER IS RESPONSIBLE FOR OBTAINING FINAL APPROVAL ON THIS PERMIT.

A 26030

1102 FT LINE



INDICATE NORTH. - NAME ADJOINING ROADWAY AS BASE LINE.

PERMIT CARD _____

ST	DW
----	----

SEPTIC TANK, LEVEL OK 1800

CLEANOUTS OK | OK

DISTRIBUTION BOX, LEVEL _____

TILE FIELD, DEPTH 10-10 1/2 FT. TRENCH WIDTH 2 FT.

GRAVEL DEPTH 6 FT IN. TOTAL LENGTH 26 FT.

NUMBER OF TRENCHES 1 TOTAL ONE SIDE BOTTOM AREA 156

SEEPAGE PITS, INSIDE PERIMETER 46 DIAMETER FT. DEPTH BELOW INLET 6.5 FT.

ABSORBENT AREA 299 SQ. FT.

REMARKS 10/14/80 DW INLET 4 FT BELOW GRADE
DITCH INLET 4 FT BELOW GRADE
LOCATION OK PER PLANS
299 + 156 = 455 SQ FT, 420 SQ FT NEEDED
STONE ADDED AT TIME OF INSPECTION

DATE SYSTEM APPROVED 10/14/80

INSPECTOR Raymond Hodge

WASHINGTON SUBURBAN
SANITARY COMMISSION
NO DEED REFERENCE

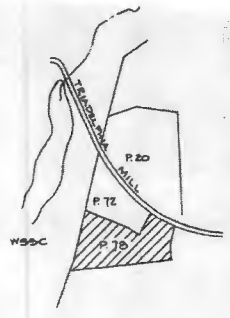
FRANCIS N. BROWN
450.200

TRIADELPHIA MILL RD

LOT 1
7.924 Acs

LOT 2
3.812 Acs

KIMBETHILL INC.
675-3995



TAX MAP 27

LOCATION MAP
SCALE: 1"=600'

NO.	NORTH	EAST
1	5000.00	2000.00
2	4786.75	2444.87
3	4654.63	2580.56
4	4868.43	2725.64
5	4787.13	2772.03
6	4644.47	2913.84
7	4633.81	2936.51
8	4424.18	2895.46
9	4318.32	2843.80
10	4363.18	1768.25
11	4471.87	1630.93

CURVE	CURVE DATA				LCB
	R	L	Δ	T	
A	234.00	29.37	4°56'30"	12.60	562°20'41" 23.3
B	204.00	179.88	38°05'21"	52.85	542°20'41" 17.7
C	545.00	93.75	9°51'25"	46.99	550°44'16" 03
D	375.00	110.45	17°00'33"	55.41	550°41'16" 11.0
E	264.00	184.31	40°00'00"	96.00	544°42'00" 16.8

NOTES:
THIS AREA CONSTITUTE A PRIVATE SEWER EASEMENT OF APPROXIMATELY 10,000 GALS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF HEALTH AND MENTAL HYGIENE FOR INDIVIDUAL SEWER DISPOSAL. THE PROVISIONS OF ANY WATER USE IN THIS AREA ARE RESTRICTED UNTIL PUBLIC SEWER IS AVAILABLE AND SERVING ANY RESIDENTIAL STRUCTURE CONSTRUCTED ON THIS PULDOWNE SITE. THIS EASEMENT SHALL BECOME FULL AND VIGOROUS CONNECTION TO A PUBLIC SEWERAGE SYSTEM.

TABULATION	
AREA LOT 1	7.924 Acs
AREA LOT 2	3.812 Acs
DEDICATION ROAD	0.228 Acs
TOTAL	11.424 Acs

NOTES:
EXISTING STRUCTURE ON LOT 1

APPROVED: FOR PRIVATE WATER & PRIVATE SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT
[Signature] 5-11-78
COUNT HEALTH OFFICER DATE

APPROVED: HOWARD COUNTY OFFICE OF PLANNING & ZONING
[Signature] 5-11-78
DIRECTOR DATE

APPROVED: FOR STORM DRAINAGE SYSTEMS & PUBLIC ROADS, HOWARD CO. DEPT. OF PUBLIC WORKS
[Signature]
DATE

SURVEYOR'S CERTIFICATE
I HEREBY CERTIFY THAT THE FINAL PLAT SHOWN HEREON IS CORRECT THAT IT IS A SUBDIVISION OF PART OF LANDS CONVEYED BY BERTHA M. BROWN, WIDOW, UNTO MILDRED V. BROWN BY A DEED DATED FEB 26, 1966 AND RECORDED AMONG THE LAND RECORDS OF HOWARD COUNTY IN LIBER 450 FOLIO 202, AND THAT ALL MONUMENTS ARE IN PLACE AS SHOWN IN ACCORDANCE WITH THE ANNOTATED CODE OF MARYLAND AS AMENDED

[Signature]
WALTER PRICE REG. L.S. #5859
MUDKINS ASSOCIATED

OWNER'S CERTIFICATE
I, MILDRED V. BROWN, OWNER OF THE LAND SHOWN AND DESCRIBED HEREON HEREBY ADOPT THIS PLAN OF SUBDIVISION, AND IN CONSIDERATION OF THE APPROVAL OF THIS FINAL PLAT BY THE OFFICE OF PLANNING & ZONING, ESTABLISH THE MINIMUM BUILDING RESTRICTION LINES & SEANT UNTO HOWARD COUNTY, MD. ITS SUCCESSORS & ASSIGNS, (1) THE RIGHT TO LAY, CONSTRUCT & MAINTAIN SEWERS, DRAINAGE, WATER PIPES & OTHER MUNICIPAL UTILITIES & SERVICES, IN & UNDER ALL ROADS & STREET RIGHT OF WAYS & THE SPECIFIC EASEMENT ARE AS SHOWN HEREON, (2) DEDICATE TO PUBLIC USE THE BEDS OF THE STREETS & OR ROADS & FLOOD PLAINS & OPEN SPACE WHERE APPLICABLE, & (3) IT IS FURTHER AGREED THAT THE MAINTENANCE OF ALL WATERWAYS, DRAINAGE EASEMENTS & OF FLOOD PLAINS SHOWN HEREON ARE THE RESPONSIBILITY OF THE PROPERTY OWNER ITS SUCCESSORS & ASSIGNS WITNESS OUR HAND THIS 1977

RECORDED AS PLAT # 1007 ON 5-11-78 AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND

LOTS 1 & 2
PROPERTY OF
MILDRED V. BROWN
ELECTION DISTRICT 5
HOWARD COUNTY, MD
SCALE: 1"=100' SEPT. 6, 1977

6/24/77 9:30 A.M.
1:30 P.M. 2nd

APPLICATION

A 26030

SEWAGE DISPOSAL TESTING

P _____

STATE OF MARYLAND - DEPARTMENT OF HEALTH AND MENTAL HYGIENE

HOWARD COUNTY HEALTH DEPARTMENT
ENVIRONMENTAL HEALTH SERVICES
P. O. BOX 476, ELLICOTT CITY, MARYLAND 21043
TELEPHONE: 465-5000, EXT. 356

DISTRICT 5th
DATE 6-8-77

TO: THE COUNTY HEALTH OFFICER
ELLICOTT CITY, MARYLAND

I, HEREBY, APPLY FOR THE NECESSARY TEST IN ORDER TO CONSTRUCT (OR RECONSTRUCT) A SEWAGE DISPOSAL SYSTEM.

PROPERTY OWNER Mildred V. Brown

ADDRESS 14705 Triadelphia Mill Rd. PHONE 286-2764
DAYTON md. 21036

PROPERTY LOCATION:

SUBDIVISION _____ LOT NO. 2

ROAD AND DESCRIPTION 14705 TRIADELPHIA MILL Rd. - S.W. corner of
existing 11.387 acres plot.

SIZE OF LOT ± 3 acres TYPE BLDG. 3
NUMBER OF BEDROOMS

IF NOT SINGLE RESIDENCE DESCRIBE _____

THE SYSTEM INSTALLED UNDER THIS APPLICATION IS ACCEPTABLE ONLY UNTIL PUBLIC FACILITIES BECOME AVAILABLE.

SIGNATURE OF APPLICANT Thomas D. Brown

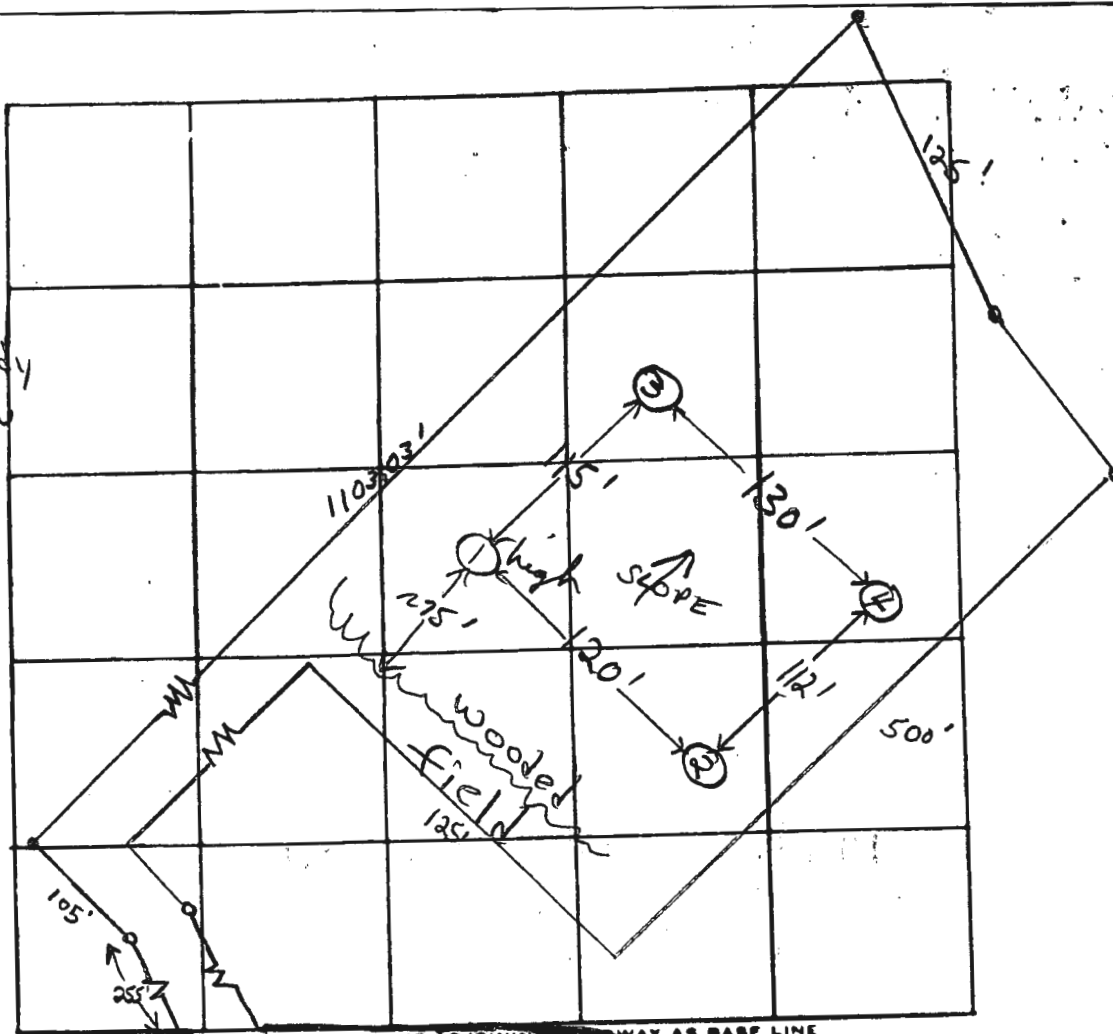
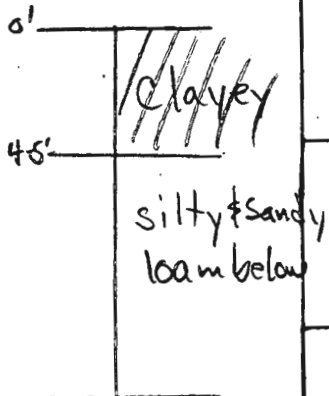
APPROVED BY _____ FOR _____ DATE _____
(KIND OF SYSTEM)

REJECTED BY Frank Skinner FOR _____ DATE 11/7/77
(KIND OF SYSTEM)

HOLD PENDING FURTHER TESTS _____ DATE _____

REASONS FOR REJECTION OR HOLDING Hold for certified hole creation. 77. 50
holes apparently on wrong lot T.S.

THIS IS NOT A PERMIT



INDICATE NORTH. - NAME ADJOINING ROADWAY AS BASE LINE

Triadelphia Mill Rd.

DATE	TEST NO.	DEPTH	PRE-WET		TEST - 1" DROP		TIME
			START	STOP	START	STOP	
6/24/77	1 high	3'	11:15				FAILS
	1A	13'	11:15	11:17	11:17	11:22	5 min
	1B	4'	11:26	11:30	11:30	11:38	8 min
	2	12'	Clayey to 3'; silty loam below				
	3	5'	11:39	11:47	11:47		pulled peg
	3A	13'	11:38	11:40	11:40	11:45	5 min
	4	5'	11:52	11:53	11:53	11:55	2 min
	4A	13'	11:52	11:53	11:53	11:55	2 min
	3B	5 1/2'	11:59	12:02	12:02	12:08	6 min

REMARKS Wooded lot - Cert. G, hole locations

TYPE OF SOIL Clayey to 4' - 5'; silty & sandy loam below

TESTED BY F.S. ALSO PRESENT: Brown, Fyock & Co.

ROBERT BRUFFEY
MWP 27 B1 16 PARCEL
0094L
LIBER 0751 FOLIO 368

FRANCIS M. BROWN
TAX MAP 27 B1 16 PARCEL 72
LIBER 450 FOLIO 200

DWELLING

EXISTING
DRIVEWAY
DWELLING
See P 13427
A 13148

MILDRED V. BROWN
TAX MAP 28 B18 PARCEL 22
LIBER 302 FOLIO 373

check pin text

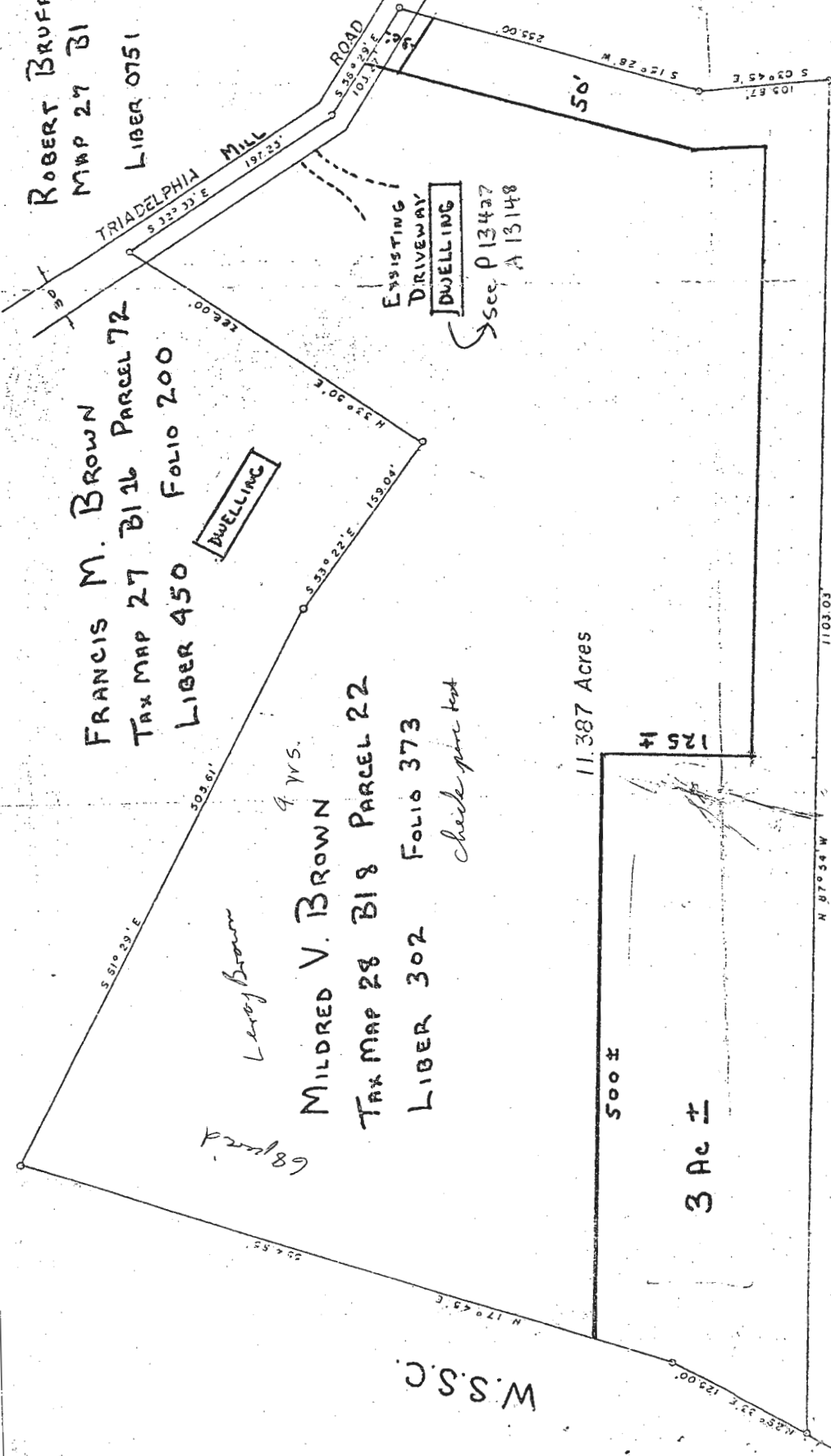
11.387 Acres

KIMBURTHILL INC.
TAX MAP 27 B1 23 PARCEL 23
LIBER 675 FOLIO 399

3 Ac ±

500 ±

W.S.S.C.



APPLICATION

10/10/77
Well not drilled
No elevation
A 26030

SEWAGE DISPOSAL TESTING

P _____

STATE OF MARYLAND - DEPARTMENT OF HEALTH AND MENTAL HYGIENE

HOWARD COUNTY HEALTH DEPARTMENT 3 B.R. | 4 B.R. DISTRICT 5th
ENVIRONMENTAL HEALTH SERVICES 1000 gal. septictank | 1250 gal. septictank
P. O. BOX 476, ELLICOTT CITY, MARYLAND 21043
TELEPHONE: 465-5000, EXT. 356
DATE 6/8/77

Drywell & trench system to have 140 SQ. FT. effective
sidewall absorption area per bedroom, to begin below the top
4 ft. of non-porous soil. Maximum depth permitted for drywell or
trench is 10 ft. below original grade. Place the drywell ~~25~~ 31.9 ft. from
up to the ~~front~~ ^{18.27} (125.00 ft. long) lot line and ¹³⁵ 50 ft. from the ~~left~~
rear (1101.46 ft. long) side line as seen when facing the property from
Triadelphia Mill Road. Start the trench after a 5 foot north buffer
with the drywell, and proceed to dig it on level
ground, the required disposal.

NOTE: Call for inspection of trench before gravel is installed
I, HEREBY, APPLY FOR THE NECESSARY TEST IN ORDER TO CONSTRUCT (OR RECONSTRUCT) A SEWAGE
DISPOSAL SYSTEM.

Serial No. 41541

PROPERTY OWNER MILDRED V. BROWN

ADDRESS 14705 TRIADELPHIA MILL RD. PHONE 286-2764
DATTON MD. 21036

PROPERTY LOCATION:

SUBDIVISION _____ LOT NO. 2

ROAD AND DESCRIPTION 14695 Triadelphia Mill Road,
S.W. CORNER OF 14705 TRIADELPHIA MILL RD.

SIZE OF LOT ± 3 ACRES TYPE BLDG. 3 BEDROOM
NUMBER OF BEDROOMS

IF NOT SINGLE RESIDENCE DESCRIBE _____

THE SYSTEM INSTALLED UNDER THIS APPLICATION IS ACCEPTABLE ONLY UNTIL PUBLIC
FACILITIES BECOME AVAILABLE.

SIGNATURE OF APPLICANT Mildred V. Brown BLDG. PERMIT SIGNED
AND RETURNED 6/8/77
Serial # 43496

APPROVED BY Frank Skinner FOR Drywell & trench DATE 11/8/77
(KIND OF SYSTEM)

REJECTED BY _____ FOR _____ DATE _____
(KIND OF SYSTEM)

HOLD PENDING FURTHER TESTS _____ DATE _____

REASONS FOR REJECTION OR HOLDING _____

THIS IS NOT A PERMIT

B 1 **0698** SEQUENCE NO. (WRA USE ONLY)

STATE OF MARYLAND
WATER RESOURCES ADMINISTRATION
TAWES STATE OFFICE BLDG., ANNAPOLIS, MARYLAND 21401
APPLICATION FOR PERMIT TO DRILL WELL

WRA PERMIT NUMBER **110-75-3567**
 FILL IN THIS FORM COMPLETELY

DATE RECEIVED (WRA USE ONLY) **3/3/80**

OWNER **Chickens** **Thomas**

STREET OR RFD. **5490 Jess Oaks Rd.**

POST OFFICE **Clarksville Md. 21029**

B 1 CONTINUED **DRILLER INFORMATION**

DATE **Feb 23, 1980** LICENSE NUMBER **238**

FIRST NAME **Joseph C. Magno** DRILLER LAST NAME **Magno**

SIGNATURE **Joseph C. Magno**

B 3 LOCATION OF WELL

COUNTY **Howard**

SUBDIVISION **Middlebrook Brown**

SECTION **1** LOT **2**

NEAREST TOWN **Dayton**

MILES FROM TOWN (ENTER 0 IF IN TOWN) **3 1/2** MI

B 2 WELL INFORMATION

MAXIMUM PUMPING RATE (GALLONS PER MINUTE) **5**

AVERAGE DAILY QUANTITY NEEDED (GALLONS PER DAY) **100**

USE FOR WATER (CIRCLE APPROPRIATE BOX)

HOME (SINGLE OR DOUBLE HOUSEHOLD UNIT ONLY)

FARMING, AGRICULTURE, IRRIGATION

INDUSTRIAL, COMMERCIAL, STATE AND FEDERAL GOVERNMENT

MUNICIPAL WATER SUPPLY

PRIVATE WATER COMPANY

TEST

B 4 DIRECTION FROM TOWN (CIRCLE APPROPRIATE BOX)

N NORTH E EAST NE NORTHEAST SE SOUTHEAST

S SOUTH W WEST NW NORTHWEST SW SOUTHWEST

NEAR WHAT ROAD **Philadelphia Mill Rd**

ON WHICH SIDE OF ROAD (CIRCLE APPROPRIATE BOX) N S E W

DISTANCE FROM ROAD (ENTER DISTANCE AND CIRCLE APPROPRIATE BOX) **1100** MI

APPROXIMATE DEPTH OF WELL **150** FEET

APPROXIMATE DIAMETER OF WELL **6** (NEAREST INCH)

METHOD OF DRILLING USED (CIRCLE APPROPRIATE METHOD)

BORED (OR AUGERED) JETTED DRIVEN

AIR-ROTARY AIR-PERCUSSION ROTARY (HYDRAULIC ROTARY)

CABLE REVERSE-ROTARY DRIVE-POINT

OTHER (DESCRIBE)

REPLACEMENT OR DEEPEMED WELLS (CIRCLE APPROPRIATE BOX)

THIS WELL WILL NOT REPLACE AN EXISTING WELL

THIS WELL WILL REPLACE A WELL THAT WILL BE ABANDONED AND SEALED

THIS WELL WILL REPLACE A WELL THAT WILL BE USED AS A STANDBY

THIS WELL WILL DEEPEM AN EXISTING WELL PERMIT NUMBER OF WELL TO BE REPLACED OR DEEPEMED (IF AVAILABLE)

NOT TO BE FILLED IN BY DRILLER (WRA USE ONLY)

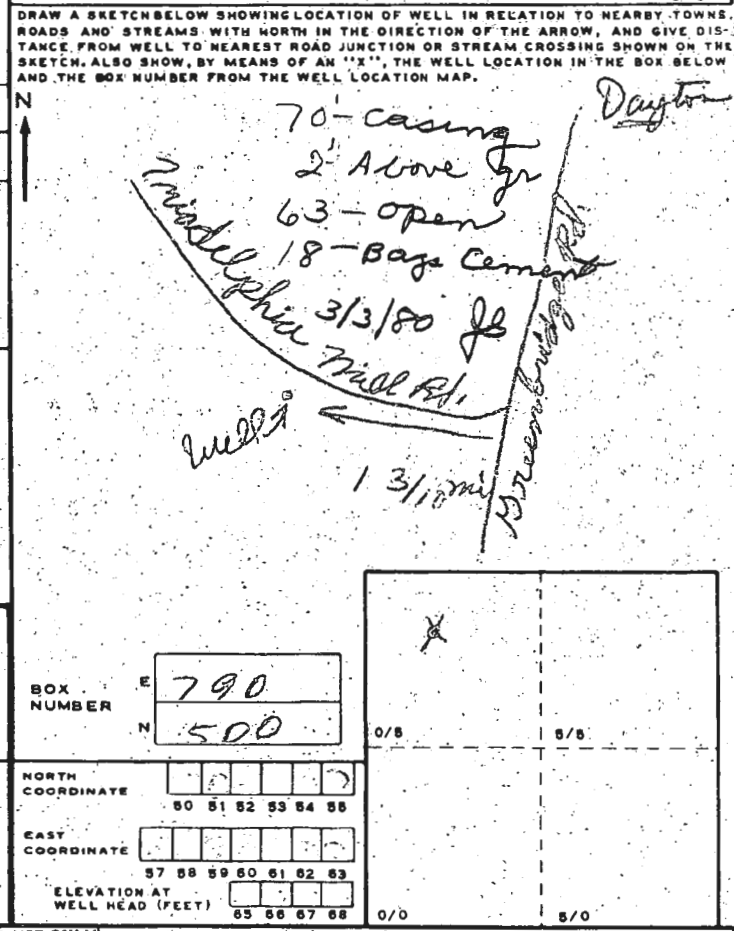
APPROPRIATION PERMIT NUMBER **790** ENGINEER REVIEW DISTRICT NO. **500**

FORCE **67** WRITE INITIALS IN BOX **68** CONDITIONS **70 71 72 73 74 75 76 77 78 79**

B 4 CONTINUED **HEALTH DEPARTMENT APPROVAL**

STATE HEALTH (CIRCLE BOX) **S** HOWARD COUNTY NAME **Howard** COUNTY NO. **2**

DATE **3/2/80** APPROVED BY **Joseph C. Magno**



B 5 SPECIAL CONDITIONS 8-63 (WRA USE ONLY)

C 1 3011

SEQUENCE NO. (WRA USE ONLY)

STATE OF MARYLAND WATER RESOURCES ADMINISTRATION TAWES STATE OFFICE BLDG., ANNAPOLIS, MD. 21401 WELL COMPLETION REPORT

THIS REPORT MUST BE SUBMITTED WITHIN 30 DAYS AFTER WELL COMPLETION

FILL IN THIS FORM COMPLETELY

1 2 3 (SEQ. NO.) 6 (THIS NUMBER IS TO BE PUNCHED IN COLS. 3-6 ON ALL CARDS)

COUNTY NUMBER

DATE RECEIVED (WRA USE ONLY)

DATE WELL COMPLETED Mar. 3 1980

DEPTH OF WELL (TO NEAREST FOOT) 26

PERMIT NO. FROM "PERMIT TO DRILL WELL"

40-73-5067

DRILLERS IDENTIFICATION NO.

OWNER: P... LAST NAME: P... FIRST NAME: ... STREET OR RFD: ... POST OFFICE: ...

WELL LOG

STATE THE KIND OF FORMATIONS PENETRATED, THEIR COLOR, DEPTH, THICKNESS AND IF WATER BEARING

Table with columns: DESCRIPTION (USE ADDITIONAL SHEETS IF NECESSARY), FEET (FROM, TO), CHECK IF WATER BEARING. Includes handwritten entries: Limeron Shale 0 50, Sand 50 64, Gravel 64 115.

GROUTING RECORD

WELL HAS BEEN GROUTED (CIRCLE APPROPRIATE BOX) YES [Y] NO [N]. TYPE OF GROUTING MATERIAL (CIRCLE BOX): CEMENT [CM] BENTONITE CLAY [BC]. NO. OF BAGS 18 NO. OF POUNDS 1692. GALLONS OF WATER 108. DEPTH OF GROUT SEAL (TO NEAREST FOOT) FROM 0 FT. TO 163 FT.

CASING RECORD

INSERT APPROPRIATE CODE BELOW: [S] STEEL [C] CONCRETE [P] PLASTIC [O] OTHER. MAIN CASING TYPE [S] NOMINAL DIAMETER TOP (MAIN) CASING (NEAREST INCH) 60 TOTAL DEPTH OF MAIN CASING (NEAREST FOOT) 70

OTHER CASING (IF USED)

DIAMETER (INCH) DEPTH (FEET) FROM TO

SCREEN RECORD

INSERT APPROPRIATE CODE BELOW: [S] STEEL [B] BRASS OR BRONZE [H] OPEN HOLE [P] PLASTIC [O] OTHER

DEPTH (NEAREST WHOLE FOOT)

FROM 61 TO 145. EACH SCREEN: 1 [A] 8 9 11 15 17 21; 2 [] 23 24 26 30 32 36; 3 [] 38 39 41 45 47 51. SLOT SIZE 1. 2. 3.

DIAMETER OF SCREEN 56 (NEAREST INCH) FROM TO

GRAVEL PACK IF WELL DRILLED WAS A FLOWING WELL CIRCLE BOX 68 [F]

WRA USE ONLY (NOT TO BE FILLED IN BY DRILLER) TELESCOPE CASING LOG INDICATOR

PUMPING TEST

HOURS PUMPED (TO NEAREST HOUR) 5. PUMPING RATE (GALLONS PER MINUTE TO NEAREST GALLON) 15. METHOD USED TO MEASURE PUMPING RATE. WATER LEVEL: (DISTANCE FROM LAND SURFACE) BEFORE PUMPING 53 (NEAREST FOOT) WHEN PUMPING 3 (NEAREST FOOT). TYPE OF PUMP USED (CIRCLE APPROPRIATE BOX): [A] AIR [P] PISTON [T] TURBINE [C] CENTRIFUGAL [R] ROTARY [O] OTHER [J] JET [S] SUBMERSIBLE

PUMP INSTALLED

TYPE OF PUMP (WRITE APPROPRIATE LETTER IN BOX - SEE ABOVE: A, C, J, P, R, S, T, O). DRILLER WILL INSTALL PUMP (CIRCLE APPROPRIATE BOX) YES [Y] NO [N]. CAPACITY: GALLONS PER MINUTE (TO NEAREST GALLON) 31 35. PUMP HORSE POWER 37 41. PUMP COLUMN LENGTH (NEAREST FOOT) 43 47.

CASING HEIGHT (CIRCLE APPROPRIATE BOX AND ENTER CASING HEIGHT)

[+] ABOVE LAND SURFACE [] BELOW. 2 (NEAREST FOOT)

LOCATION OF WELL ON LOT

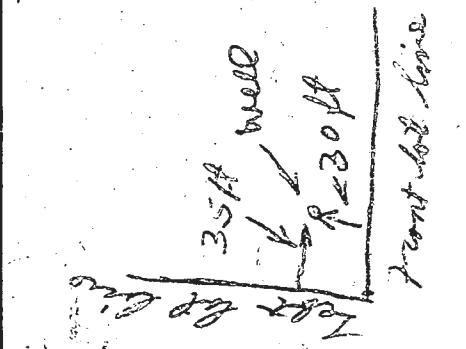
SHOW PERMANENT STRUCTURE SUCH AS BUILDINGS, SEPTIC TANKS, AND/OR OTHER LAND MARKS AND INDICATE NOT LESS THAN TWO DISTANCES (MEASUREMENTS TO WELL).

CIRCLE APPROPRIATE BOXES

- [A] A WELL WAS ABANDONED AND SEALED WHEN THIS WELL WAS COMPLETED. [E] ELECTRIC LOG OBTAINED. [P] TEST WELL CONVERTED TO PRODUCTION WELL.

I HEREBY CERTIFY THAT I HAVE COMPLIED WITH ALL CONDITIONS STATED ON THE ABOVE-CAPTIONED "PERMIT TO DRILL WELL", AND THAT INFORMATION CONTAINED IN THIS REPORT IS TRUE, ACCURATE, AND COMPLETE TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF.

DRILLERS NAME: Joseph L. ... SIGNATURE



NOTE: SEE SYSTEM BY OWNER

