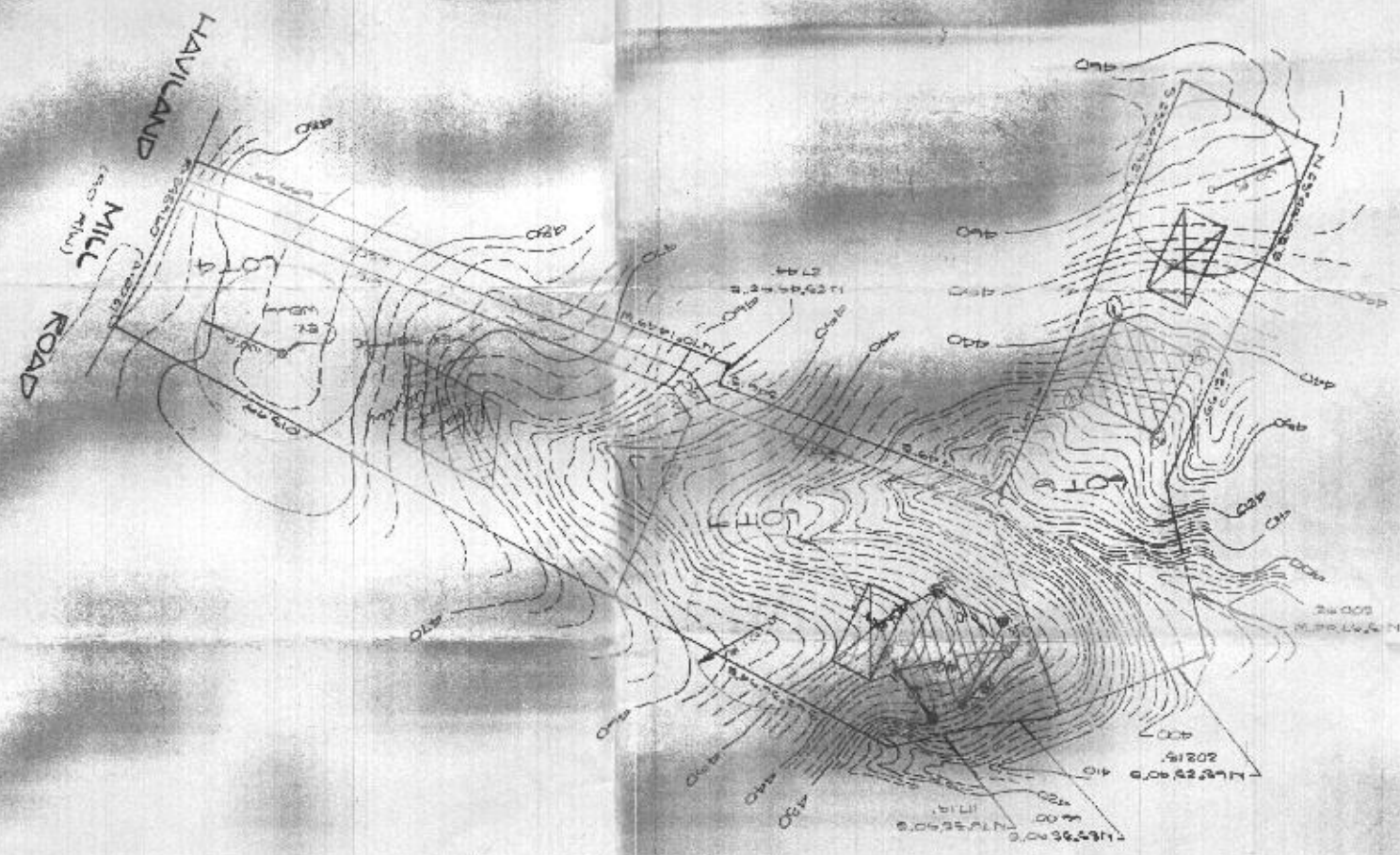
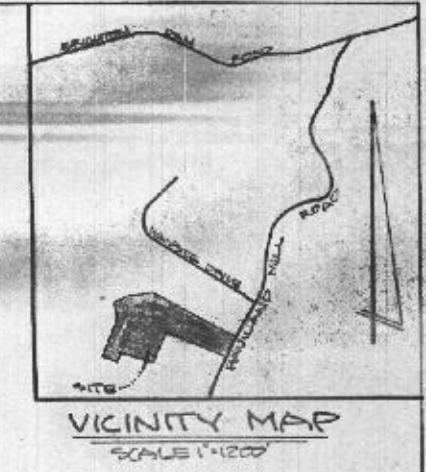
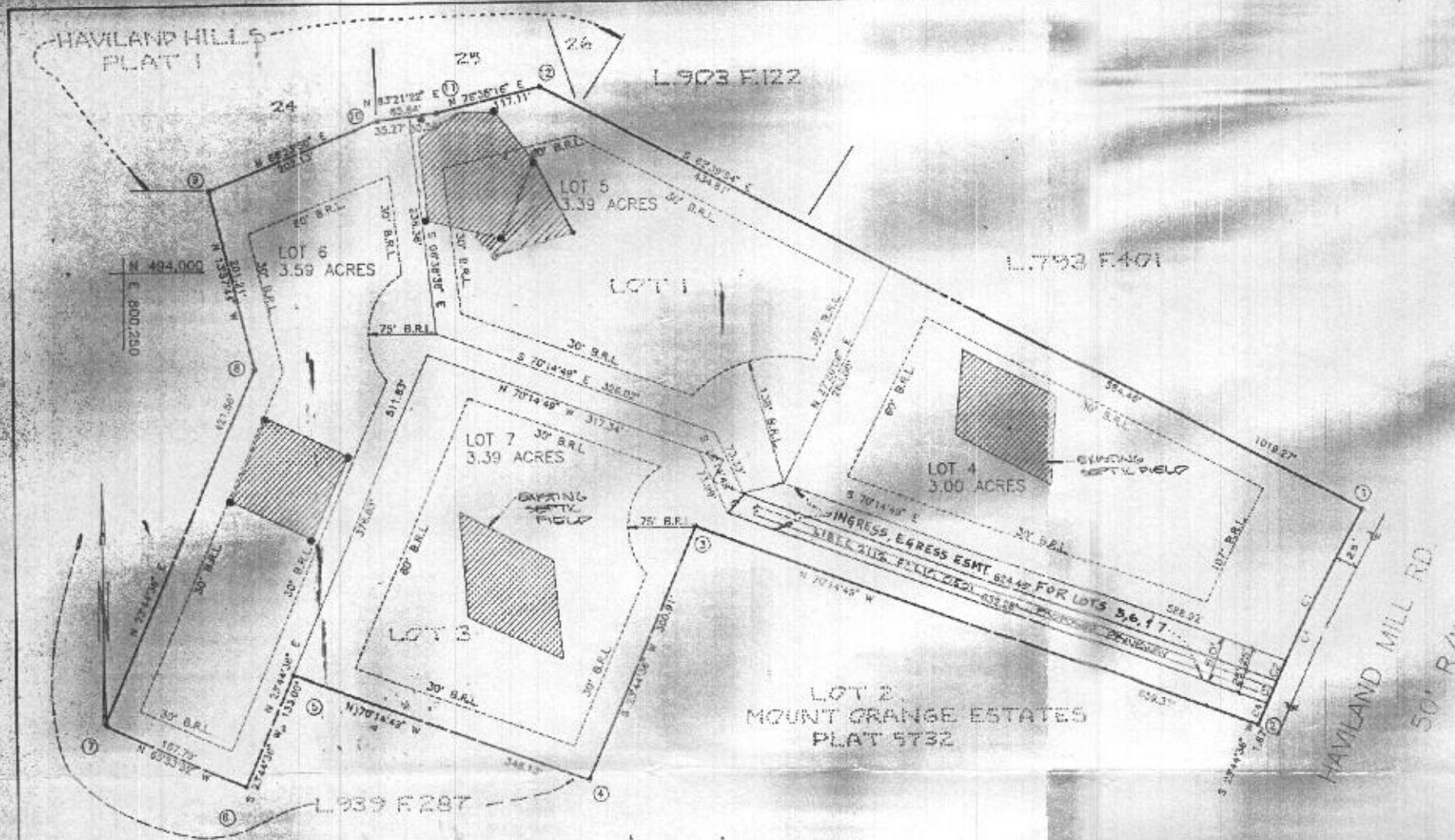


1. TOTAL AREA OF PROJECT: 2.5000  
 2. PROPERTY SHOWN ON THIS MAP: 54  
 3. PROPERTY SHOWN ON THIS MAP: 54  
 4. PROPERTY SHOWN ON THIS MAP: 54  
 5. PROPERTY SHOWN ON THIS MAP: 54  
 6. PROPERTY SHOWN ON THIS MAP: 54  
 7. PROPERTY SHOWN ON THIS MAP: 54  
 8. PROPERTY SHOWN ON THIS MAP: 54  
 9. PROPERTY SHOWN ON THIS MAP: 54  
 10. PROPERTY SHOWN ON THIS MAP: 54  
 11. PROPERTY SHOWN ON THIS MAP: 54





N 494,000  
E 801,750

GENERAL NOTES

- PROPERTY ZONED R PER 8-2-85 COMPREHENSIVE ZONING PLAN
- COORDINATES BASED ON MARYLAND STATE PLANE SYSTEM
- B.R.L. = BUILDING RESTRICTION LINE
- THIS AREA DESIGNATES A PRIVATE SEWAGE EASEMENT OF APPROXIMATELY 10,000 G.P.D. AS REQUIRED BY MARYLAND STATE DEPARTMENT OF HEALTH AND MENTAL HYGIENE FOR INDIVIDUAL SEWAGE DISPOSAL IMPROVEMENTS OF ANY NATURE IN THIS AREA IS PROHIBITED UNTIL PUBLIC SEWAGE IS AVAILABLE AND SERVING ANY RESIDENTIAL STRUCTURES CONSTRUCTED ON THESE BUILDABLE SITES. THIS EASEMENT SHALL BECOME NULL AND VOID UPON CONNECTION TO A PUBLIC SEWAGE SYSTEM.
- PERCOLATION TEST HOLES SHOWN HEREON HAVE BEEN FIELD LOCATED AND SHOWN THUS: (Symbol)
- THE COORDINATES SHOWN HEREON ARE BASED ON HOWARD COUNTY GEODETIC CONTROL STATIONS 2434008 & 2434007.
- (+)- DENOTES IRON PIPE OR IRON BAR TO BE SET.
- (-)- DENOTES CONCRETE MONUMENT TO BE SET.
- COMMON DRIVE PRIVATELY OWNED AND MAINTAINED.
- WP-90-36 APPROVED DECEMBER 21, 1989, FOR LENGTH OF PIPE STEM FOR 3 ADJOINING PIPESTEM LOTS.
- The purpose of this plat is to resubdivide Lots 1 and 3 to create Lots 4-7.

LOT NO.	TOTAL LOT AREA	PIPE STEM AREA	RESULTING MINIMUM LOT AREA
5	3.3890 ACRES	.3374 ACRES	3.0518 ACRES
6	3.5884 ACRES	.5884 ACRES	3.00 ACRES
7	3.3865 ACRES	.3882 ACRES	3.0183 ACRES

NOTE: FOR FLAG OR PIPE STEM LOTS, REFUSE COLLECTION, SNOW REMOVAL AND ROAD MAINTENANCE TO BE PROVIDED AT THE JUNCTION OF FLAG OR PIPE STEM AND THE ROAD R/W AND NOT ONTO THE FLAG OR PIPE STEM DRIVEWAY.

N 493,250  
E 801,500

TOTAL NUMBER OF LOTS 4  
TOTAL AREA OF LOTS 13.36443 ACRES  
TOTAL AREA OF SUBDIVISION TO BE RECORDED 13.36443 ACRES

CURVE #	RADIUS	LENGTH	CHORD	CHORD BEARING	DELTA ANGLE	TANGENT
C1	2485.60'	185.34'	185.29'	N 27°32'43" E	04°16'20"	92.71'
C2	2485.60'	25.05'	25.05'	N 25°07'19" E	00°34'39"	12.52'
C3	2485.60'	25.50'	25.50'	N 24°32'22" E	00°35'16"	12.78'
C4	2485.60'	23.81'	23.81'	N 23°59'16" E	00°32'56"	11.90'
C5	2485.60'	259.89'	259.57'	N 26°41'23" E	03°59'10"	129.98'

NO.	NORTHING	EASTING	NO.	NORTHING	EASTING
1	493728.4645	801617.1791	7	493508.1889	800223.2890
2	493495.0211	801499.9177	8	493892.0452	800393.0296
3	493717.8663	800879.3463	9	494087.3082	800344.4759
4	493442.4259	800758.1879	10	494161.7284	800532.4079
5	493558.4084	800432.4248	11	494169.3436	800587.8033
6	493437.6837	800378.8737	12	494196.5087	800711.7226

\* COORDINATES BASED ON MARYLAND STATE PLANE SYSTEM

APPROVED: FOR HOWARD COUNTY, HEALTH DEPARTMENT FOR PRIVATE WATER AND PRIVATE SEWAGE SYSTEMS.  
*James J. ...* 2-5-90  
HOWARD COUNTY HEALTH OFFICER DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.  
*...* 3-9-90  
DIRECTOR DATE

APPROVED: FOR STORM DRAINAGE SYSTEMS AND PUBLIC ROAD HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS.  
*...* 2/20/90  
DIRECTOR DATE

OWNERS CERTIFICATE

WE, POLARIS DEVELOPMENT CORPORATION AND THOMAS R. HEWITT, OWNERS OF THE PROPERTY SHOWN AND DESCRIBED HEREON, HEREBY ADOPT THIS PLAN OF SUBDIVISION AND IN CONSIDERATION OF THE APPROVAL OF THIS PLAN BY THE DEPT. OF PLANNING AND ZONING ESTABLISH THE MINIMUM BUILDING RESTRICTION LINES, ALL EASEMENTS OF RIGHTS-OF-WAY AFFECTING THE PROPERTY ARE INCLUDED IN THIS PLAN OF SUBDIVISION.

WITNESS OUR HANDS THIS 5 DAY OF June, 1989.

THOMAS R. HEWITT WITNESS

RONALD C. BROOKS, PRES. WITNESS JAMES F. TOOMEY, VICE PRES. WITNESS  
POLARIS DEVELOPMENT CORP. POLARIS DEVELOPMENT CORP.

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT THE FINAL PLAT SHOWN HEREON IS CORRECT, THAT IT IS A RESUBDIVISION OF ALL OF THE CONVEYED BY A NELSON WALLER TO POLARIS DEVELOPMENT CORPORATION, BY DEED DATED MARCH 10, 1989 AND RECORDED IN THE LAND RECORDS OF HOWARD COUNTY, MARYLAND IN LIBER 1871 AT FOLIO 715, AND A NELSON & FRANCES L.N. WALLER TO THOMAS R. HEWITT, BY DEED DATED OCTOBER 1, 1981 AND RECORDED IN THE LAND RECORDS OF HOWARD COUNTY, MARYLAND IN LIBER 1077 AT FOLIO 436 AND THAT ALL MONUMENTS ARE IN PLACE, OR WILL BE IN PLACE PRIOR TO THE ACCEPTANCE OF THE STREETS IN THE SUBDIVISION BY HOWARD COUNTY AS SHOWN, IN ACCORDANCE WITH THE ANNOTATED CODE OF MARYLAND, AS AMENDED.

5-30-89 DATE  
JEFFERSON D. LAWRENCE REG. PROF. LAND SURVEYOR #5216

RECORDED AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND ON 3-14-90 AS PLAT NUMBER 9242

ZONED: MOUNT ORANGE ESTATES WP 90-36  
RURAL: LOTS 4-7  
RESUBDIVISION OF LOTS 1 AND 3  
TAX MAP: 34  
FIFTH ELECTION DISTRICT  
HOWARD COUNTY, MARYLAND  
JANUARY 1990 SCALE 1"=100'

OWNER: POLARIS DEVELOPMENT 3414 MORNINGWOOD LN. SUITE 1 OLNEY, MD. 20832 301-774-8082

DEVELOPMENT CONSULTANTS GROUP 17904 GEORGIA AVE. SUITE 102 OLNEY, MD. 20832 301-924-4570

F89-241



NEW ADDITION

RELOCATE (2) HEAT PUMP & NEW 1

1 STORY SUNROOM ENLARGEMENT 1" = 30'

WOOD DECK ON GRADE

SHADED AREA INDICATES LOT DISTURBANCE 1274 SF  
NEW 2 STORY BSMNT ADDITION 544 SF

DIM IS TO WALL. 1' EAVE NOT INCLUDED

LOT 6

3.59 AC.

Lot 1

Lot 7

HAVILAND MILL ROAD



### SURVEYOR'S CERTIFICATION

I hereby certify to best of my knowledge and belief that the property delineated hereon is in accordance with the Plat of Subdivision and/or deed of record, that the improvements were located by accepted field practices and include permanent visible structures and encroachments, if any. This Plat is not for determining property lines, but prepared for the exclusive use of present owners of property and also those who purchase, mortgage, or guarantee the title thereto, within six months from the date hereof, and as to them I warrant the accuracy of this Plat. No title report furnished.  
NOTE: EXISTENCE OF PROPERTY CORNERS NOT GUARANTEED BY THIS PLAT.

*Jefferson D. Lawrence*  
Md. Reg. Professional Land Surveyor No. 5216  
JEFFERSON D. LAWRENCE

NOT IN FLOOD PLAIN PER EXISTING RECORDS UNLESS OTHERWISE NOTED.

DO NOT ATTEMPT TO ERECT FENCES FROM INFORMATION CONTAINED ON THIS DRAWING

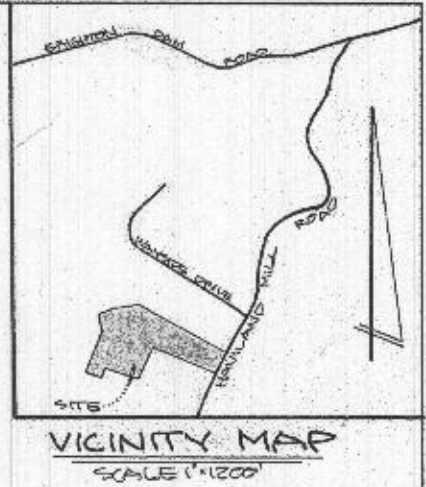
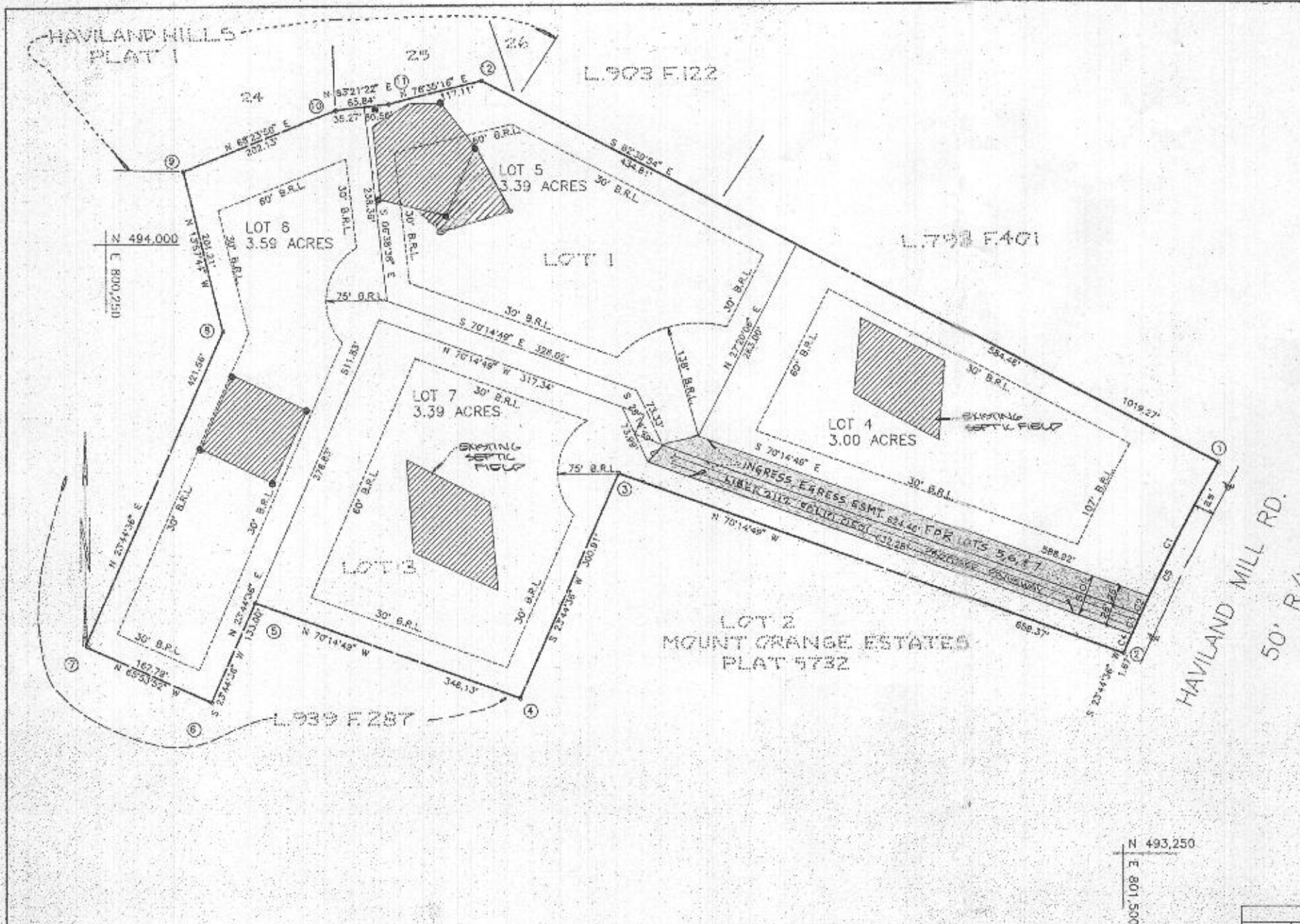
WALL CHECK 6-23-92  
FINAL 9-22-93  
RECERT



**DEVELOPMENT CONSULTANTS GROUP, INC.**  
17904 GEORGIA AVENUE SUITE 102  
OLNEY, MARYLAND 20832  
PHONE 301-924-4570 FAX 301-924-5872

HOUSE LOCATION SURVEY  
LOT 6  
**MOUNT ORANGE ESTATES**  
5<sup>TH</sup> ELECTION DISTRICT  
HOWARD COUNTY MARYLAND  
PLAT No. 3242

Date	Jun., 1992	Sheet	1
Drawn	E. M.	Of	1
Checked	TIM	Project No.	155-21
Scale	1"=100'		



N 494,000  
E 801,750

GENERAL NOTES

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*[Signature]* 2.5-90  
HOWARD COUNTY HEALTH OFFICER DATE

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DIRECTOR DATE

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*[Signature]* 2/20/90  
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5-20-89  
DATE

JEFFERSON D. LAWRENCE  
REG. PROF. LAND SURVEYOR #5216

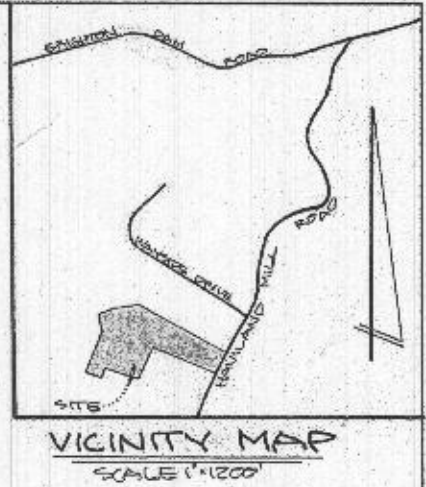
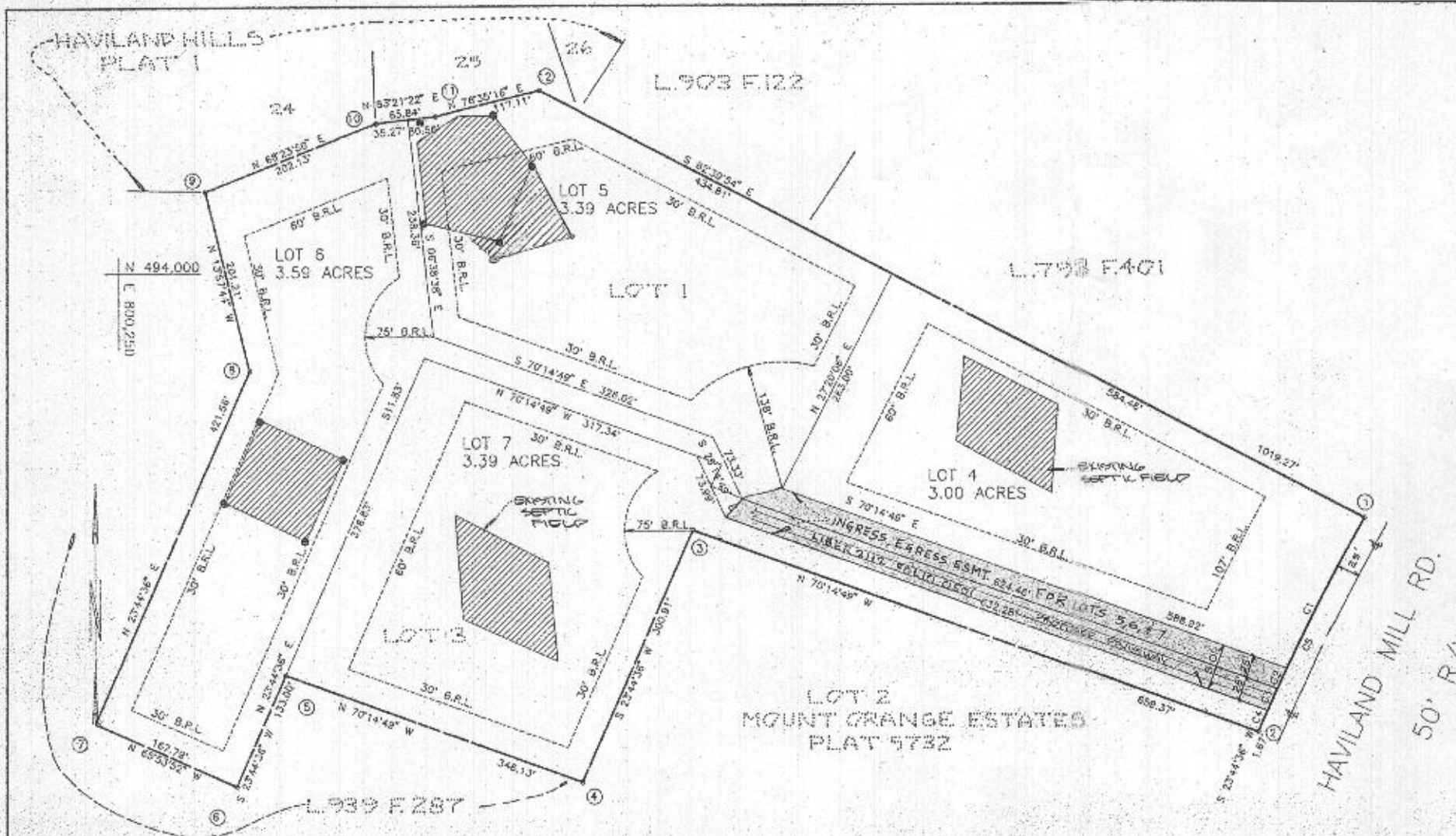
RECORDED AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND ON 3-14-90 AS PLAT NUMBER 9242

ZONED: RURAL

MOUNT ORANGE ESTATES WF 80-36  
LOTS 4-7  
RESUBDIVISION OF LOTS 1 AND 3  
TAX MAP: 34  
FIFTH ELECTION DISTRICT  
HOWARD COUNTY, MARYLAND  
JANUARY 1990 SCALE 1"=100'

OWNER:  
POLARIS DEVELOPMENT  
3414 MORNINGWOOD LN.  
SUITE 102  
OLNEY, MD. 20832  
301-774-8082

DEVELOPMENT CONSULTANTS GROUP  
17904 GEORGIA AVE.  
SUITE 102  
OLNEY, MD. 20832  
301-924-4570



N 494,000  
E 801,750

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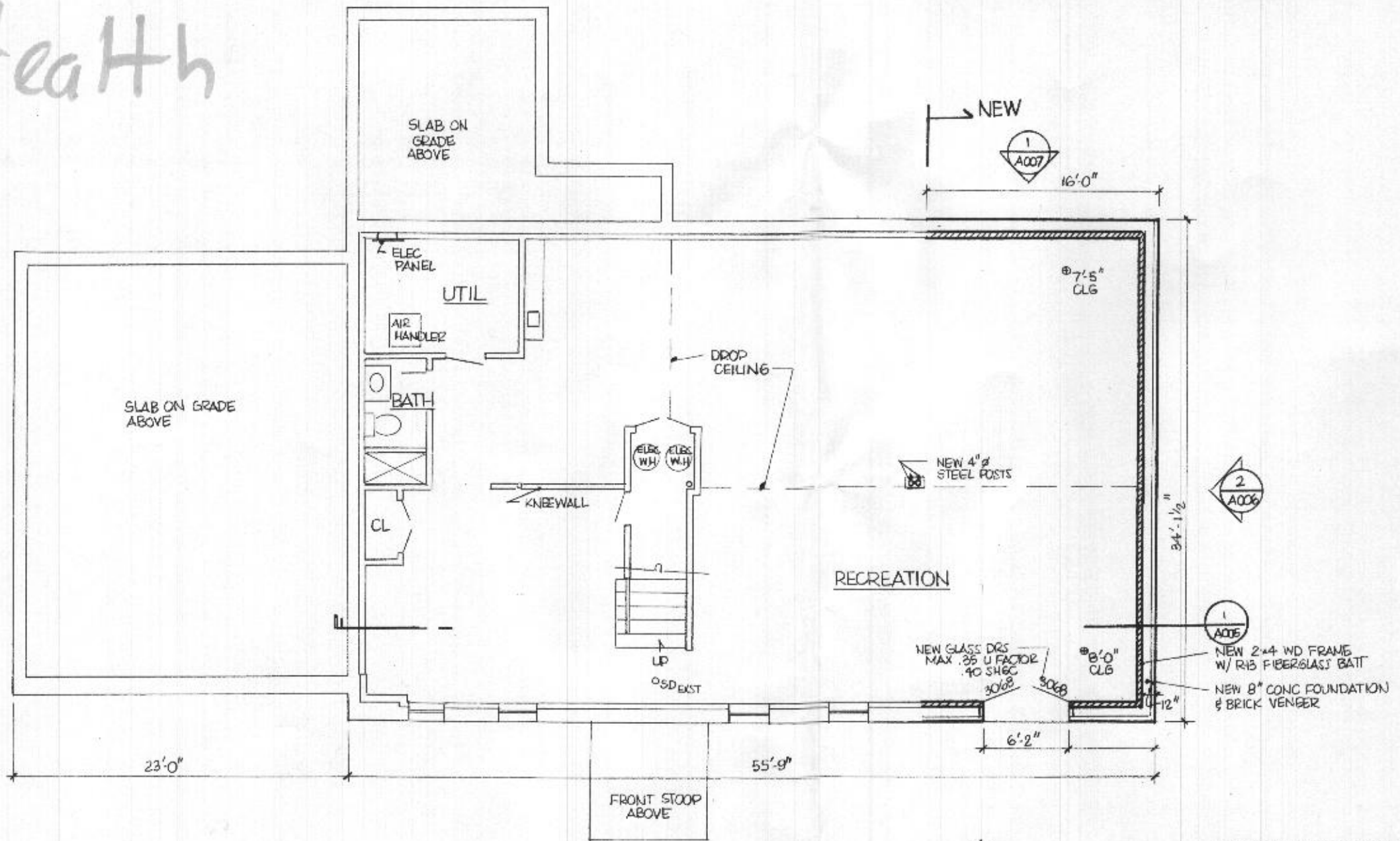
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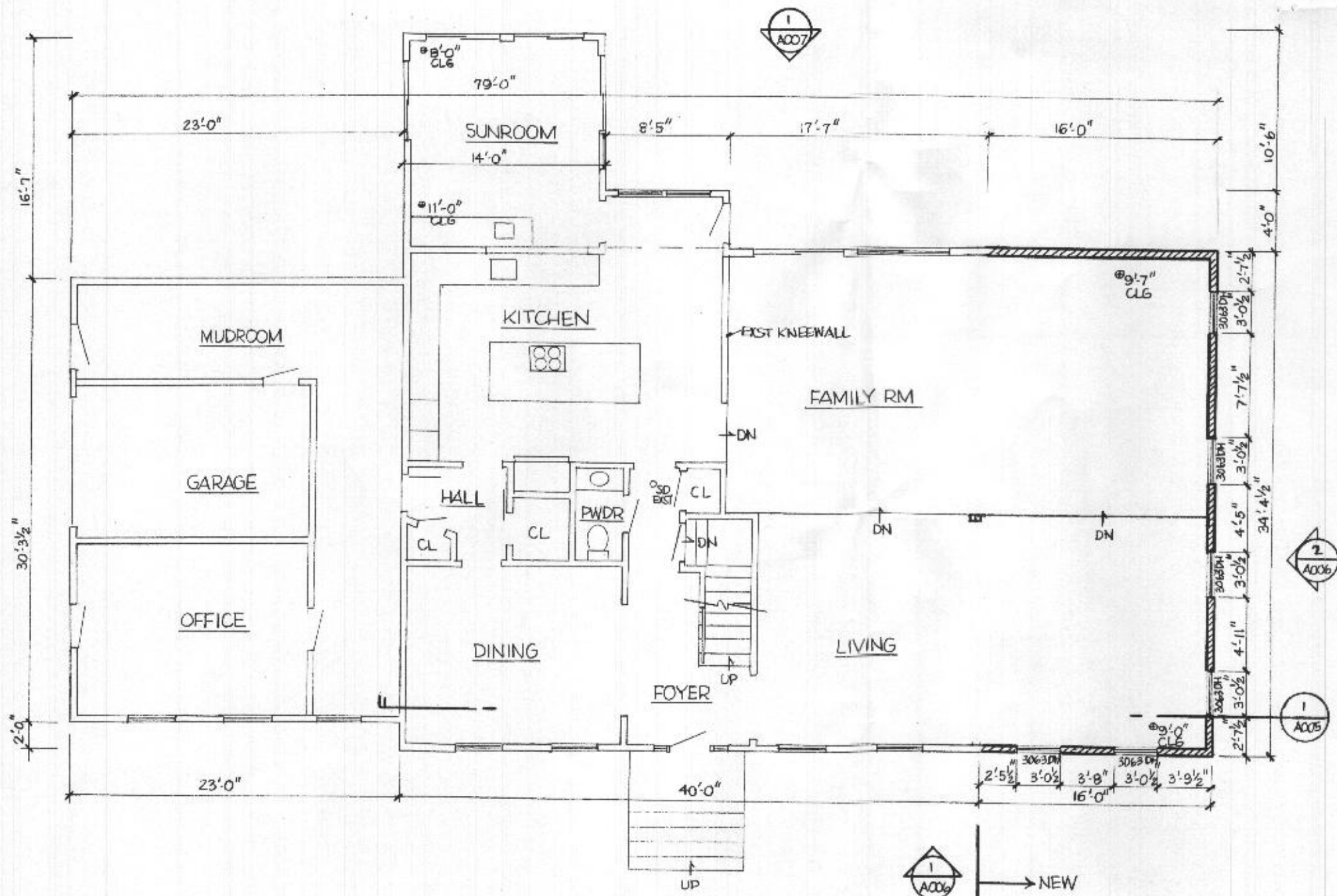
# Health



1  
A001 PROPOSED BASEMENT PLAN  
3/16" = 1'-0"

DARKENED LINES INDICATE  
NEW WORK  
3068 DOOR/WINDOW SIZE  
3068 = 3'-0" x 6'-8"  
SD SMOKE DETECTOR

ED WESELY 703 3705406  
6632 HAVILAND MILL RD.  
CLARKSVILLE, MD 21029  
4-12-21 A001



1  
A002 PROPOSED 1ST FL PLAN  
3/16" = 1'-0"

1  
A006 → NEW

DARKENED LINES INDICATE NEW WORK

NEW 2x6 WD FRAME (W/R-20 FIBERGLASS BATT INSULATION @ EXTERIOR WALLS)

DOOR WINDOW SIZE 3063DH 3063 = 3'-0" x 6'-3 1/4"

SD SMOKE DETECTOR

ED WESELY 703.370.5406

6632 HAVILAND MILL RD  
CLARKSVILLE, MD 21029

4-12-21 A002