

**COMPLETE THIS FORM WHEN DROPPING OFF ANY
CORRESPONDENCE AND/OR PLANS TO THE HOWARD COUNTY
DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS COUNTER:**

Date: 12/23/22 ONLINE SUBMITTAL PAPER SUBMITTAL

To: Markus Powell Inspections/Licenses/Permits
(Reviewer/Requestor's Name) (Division)

From: Tina Casto, Johnson Pools & Spas 443-803-7924
(Your Name, Company Name) (Phone Number)

Subject: Project name Residential Retaining Wall Permit B22004558
 Project site address 5629 Dosa Ct Clarksville MD 21029
 Permit # B22004558 SDP # N/A
 Other information pertinent to this project _____

Please check the attachments below that you are submitting with this transmittal:

- Letter of response to address plan review comment letter
- Revised plans and/or revised details: When submitting for a complete re-review, **duplicate sets shall be submitted.**
- Letter Summarizing Changes
- Energy conservation calculations
- Copies of _____ (be specific).
 Health Department Request DPZ/ DED Request Applicant's Request
- Two sets of single-family model plans to be placed on permanent file: Model Name/ # _____
- Other _____

Contact Person Information: (Required)

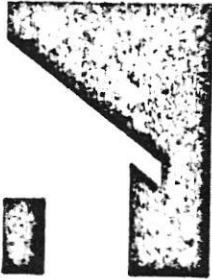
Tina Casto Telephone No: 443-803-7924
 Please Print Name E-Mail Address: tinajpools@gmail.com

PLEASE ASSURE ALL DOCUMENTS AND/OR REVISIONS ARE APPROPRIATELY SIGNED AND SEALED, IF NECESSARY, BY A LICENSED ARCHITECT OR ENGINEER. PLEASE BE ADVISED THAT INSUFFICIENT INFORMATION MAY RESULT IN THE DELAY OF REVIEW BY THE PLANS EXAMINER. THE DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS WILL CONTACT YOU IF THERE IS A PROBLEM. IN ADDITION, ONCE THE BUILDING PERMIT IS APPROVED BY THE PLAN REVIEW DIVISION AND ALL OTHER REQUIRED SIGNATORY AGENCIES, AND THE BUILDING PERMIT IS READY FOR ISSUANCE, THE PERMIT DIVISION WILL NOTIFY THE APPROPRIATE CONTACT PERSON FOR PERMIT PICK UP. ALL PERMIT STATUS INQUIRIES SHALL BE DIRECTED TO THE PERMIT DIVISION AT 410-313-2455 OPTION #4 OR BY VISITING MYHOWARD.INFO. CODE RELATED QUESTIONS AND PLAN REVIEW INQUIRIES SHALL BE DIRECTED TO THE PLAN REVIEW DIVISION AT 410-313-2436. PLEASE ALLOW A MINIMUM OF FIVE (5) WORKING DAYS FOR ANY PLAN SUBMITTALS TO BE REVIEWED. THANK YOU.

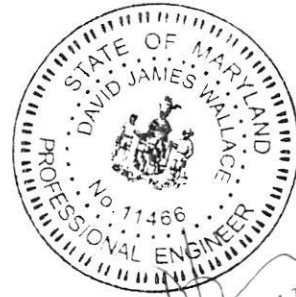
Received by mf

Physical sets for online permit

RECEIVED
 DEC 27 2022
 LICENSES & PERMITS
 DIVISION



JAMES B. SULLIVAN, P.E.
STRUCTURAL SOLUTIONS



12/10/22

PROJECT: Soil bearing capacity
5629 Dosa Court, Clarksville MD 21029

December 7, 2022

To: David J. Wallace, P.E.
From: James B. Sullivan, P.E., MD # 58593

On December 5, 2022, as you requested, I visited the subject property to briefly analyze the soils in the area that would support a retaining wall. In particular I was to determine if a more extensive soil investigation was necessary.

On the attached plat of the property, I have marked with an \odot the 15 places that I examined with a ground probe to make an estimate of the bearing capacity of the soil. I also took three soil samples for lab analysis to see if the soils there were expansive.

Bearing capacity: In eight of the test sites, I found that 45 pounds of pressure on the ground probe was necessary to penetrate the soil to a depth of three feet. In the other seven sites, the force needed to penetrate three feet of soil ranged from 65 to 200 pounds. Force that high would indicate that the soil much exceeds the 2000 psf presumptive value of allowable soil bearing pressure in Table R401.4.1 of the International Residential Code.

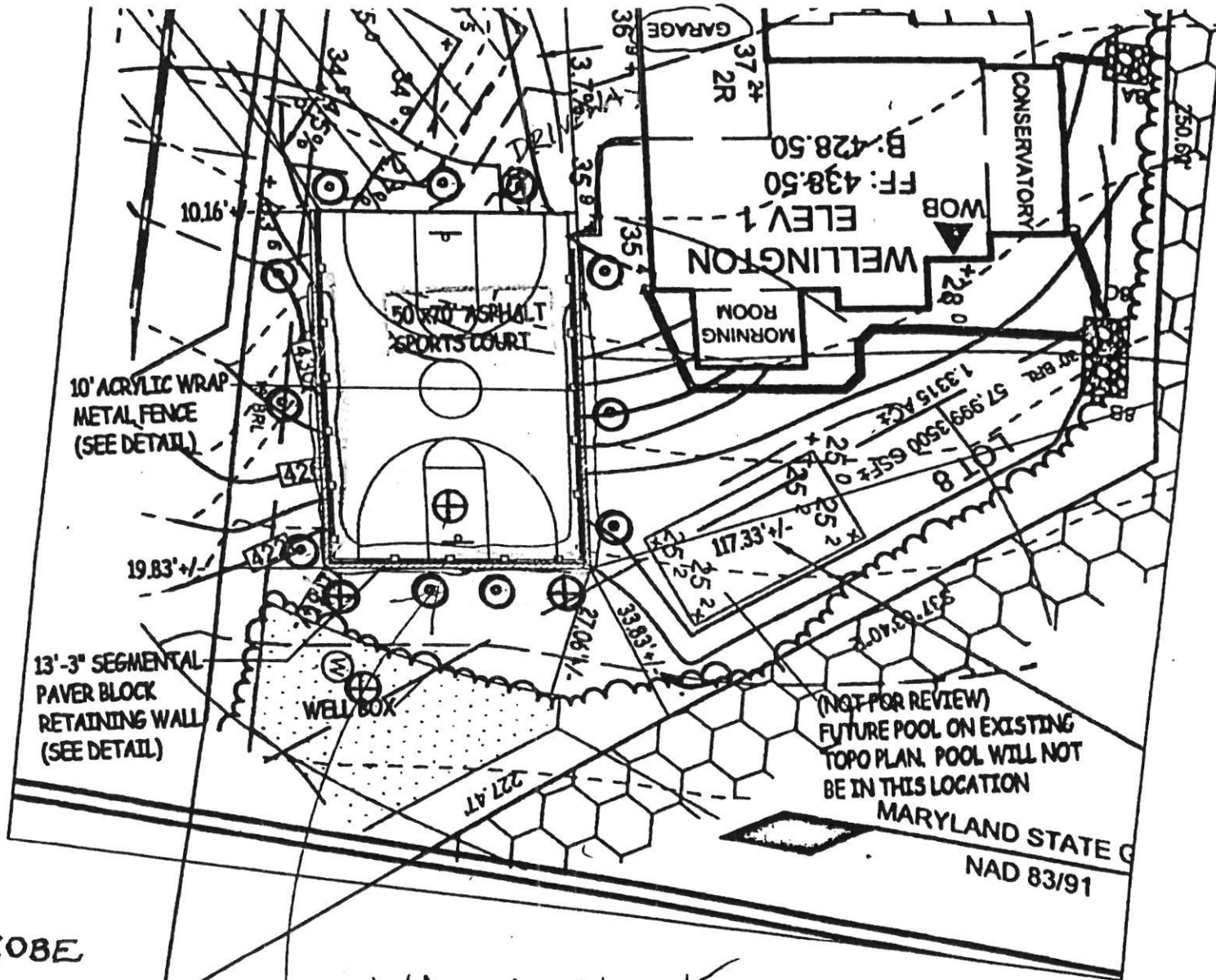
Expansive soils: Regarding whether or not the soil samples are expansive, I was unable to form the soil into a 1/8" cylindrical roll, indicating that there is little clay in the soil and hence it is not expansive. The soil is most likely silty sands, ML, of the United Soil Classification System. The percent of soil particles passing a #200 sieve (75 μ) was 9.4%, less than the 10% that under Maryland State code would require further geotechnical evaluation..

In accordance with §R401.4.1, it may be concluded from the above facts that a strength of at least 2000 psf can be presumed at the site and that further geotechnical investigation is not required by code.



James B. Sullivan

Professional Certification: I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 58593. Expiration Date: December 12, 2023.



(NOT FOR REVIEW)
 FUTURE POOL ON EXISTING
 TOPO PLAN. POOL WILL NOT
 BE IN THIS LOCATION

MARYLAND STATE G
 NAD 83/91

⊙ PROBE

⊕ PROBE
 &
 SAMPLE

WALL ALIGNMENT

Johnson Pools

Contact Information
 1424 Columbia Road, Ste 2B
 Odessa, MD 21113
 Co: 410.507.8632
 www.jpool.com MHC # 133219

Jose Residence

PROJECT ADDRESS:
 5629 Dosa Court
 Clarksville, MD 21029

Howard County

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TITLE
 Site Plan

SCALE
 1" = 30'-0"

DRAWN BY
 Zachary S. Castro
 DATE
 11/30/2022

10' FENCE BARRIER DETAIL

10' x 2.5" DIAMETER BLACK
METAL POLES. 6' TO 8' O.C. +/-

2.5" DIAMETER BLACK
METAL POLES SET IN CONCRETE
30" DEEP.

12" WIDE x 30" DEEP
CONCRETE FOOTING

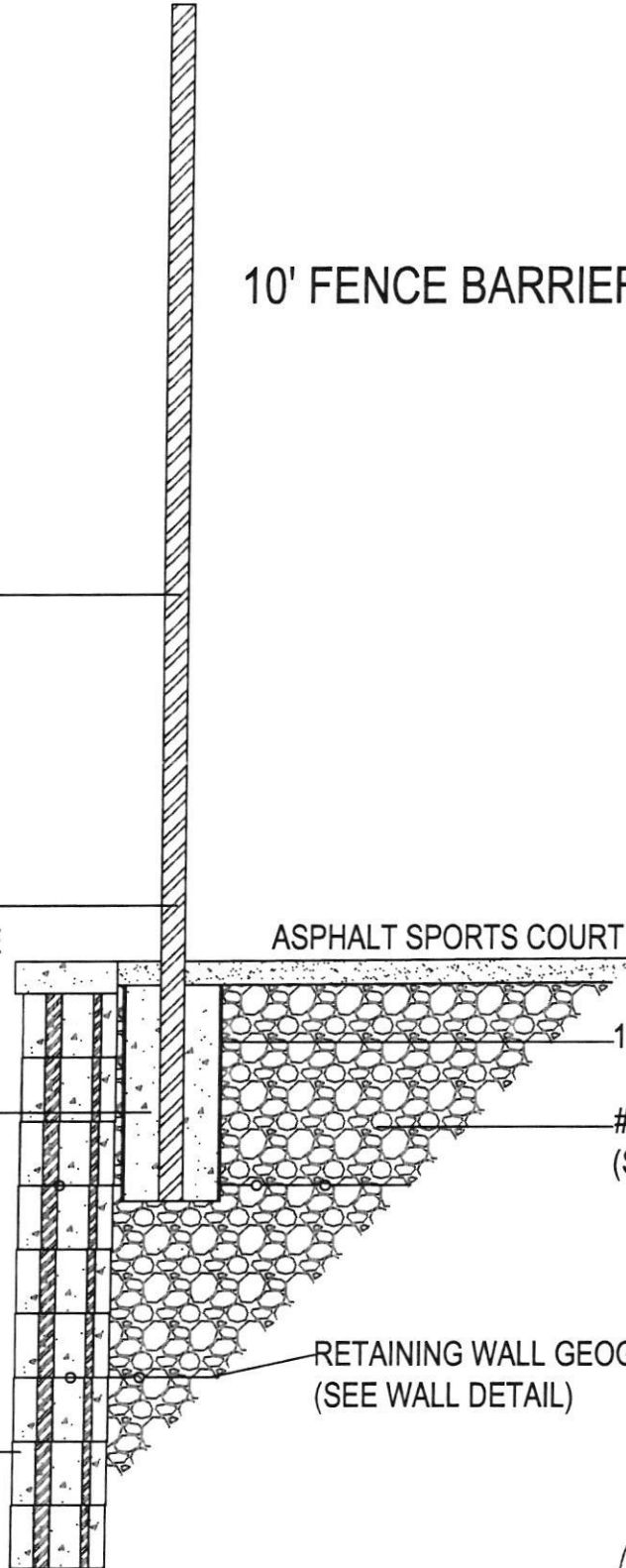
SEGMENTAL WALL BLOCK
SYSTEM.
(SEE WALL DETAIL)

ASPHALT SPORTS COURT

12" DIAMETER SONO TUB

#57 STONE GRAVEL BACKFILL
(SEE WALL DETAIL)

RETAINING WALL GEOGRID
(SEE WALL DETAIL)



Johnson Pools

Odenton Road, Ste 2B, Odenton, MD 21113
0.507.5932 www.jpools.com MHIC # 133219

Use of Documents:
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Disclaimer:
This plan is approximate and may be adjusted in the field to allow for unforeseen site conditions.

Jose Residence

PROJECT ADDRESS:
5629 Dosa Court
Clarksville, MD 21029

TITLE
10' Fence Detail

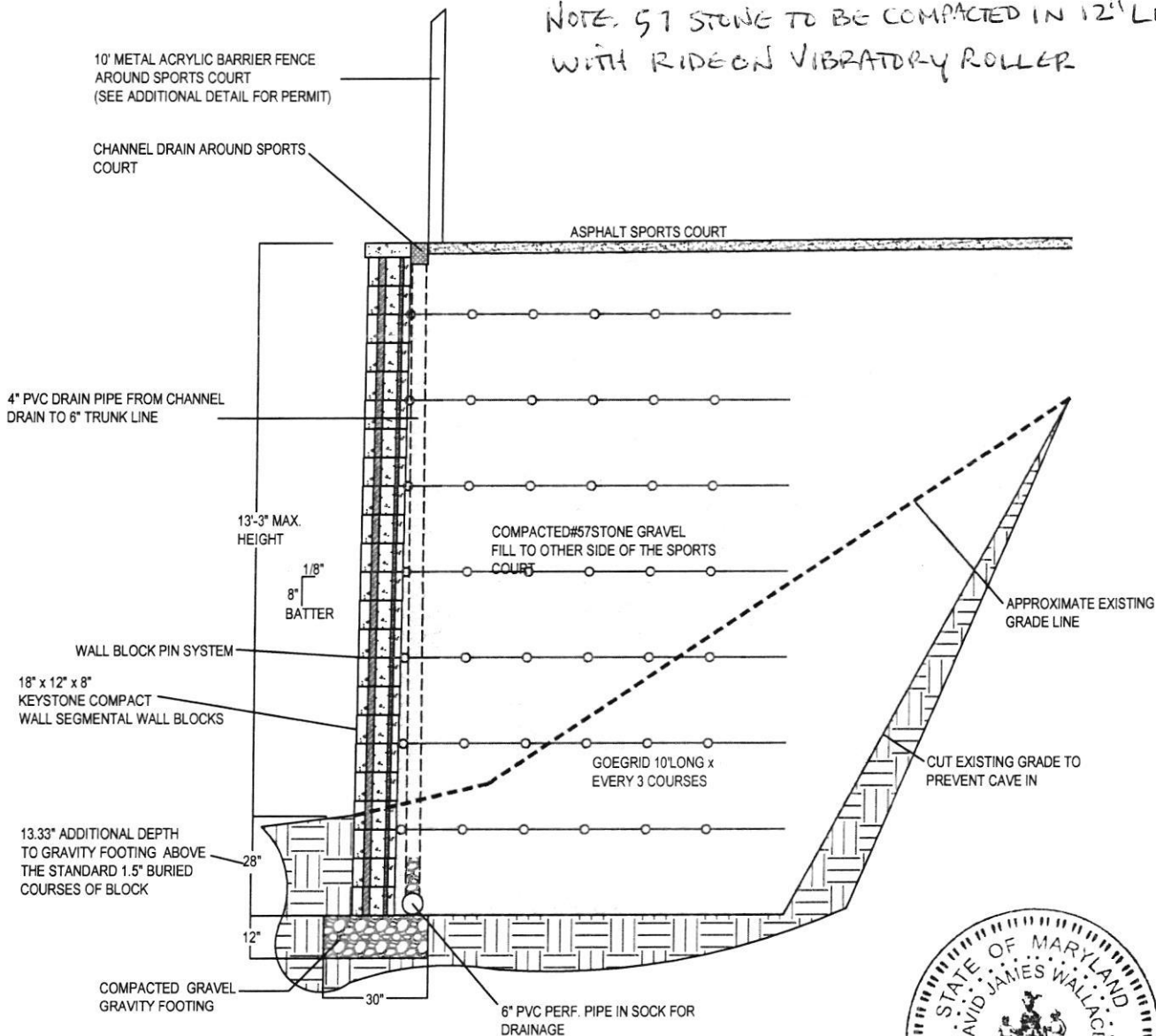
SCALE:
1/2" = 1'-0"

DRAWING BY:
Zachary S. Casto
Direct: 443.813.1288
Email: zach@jpools.com

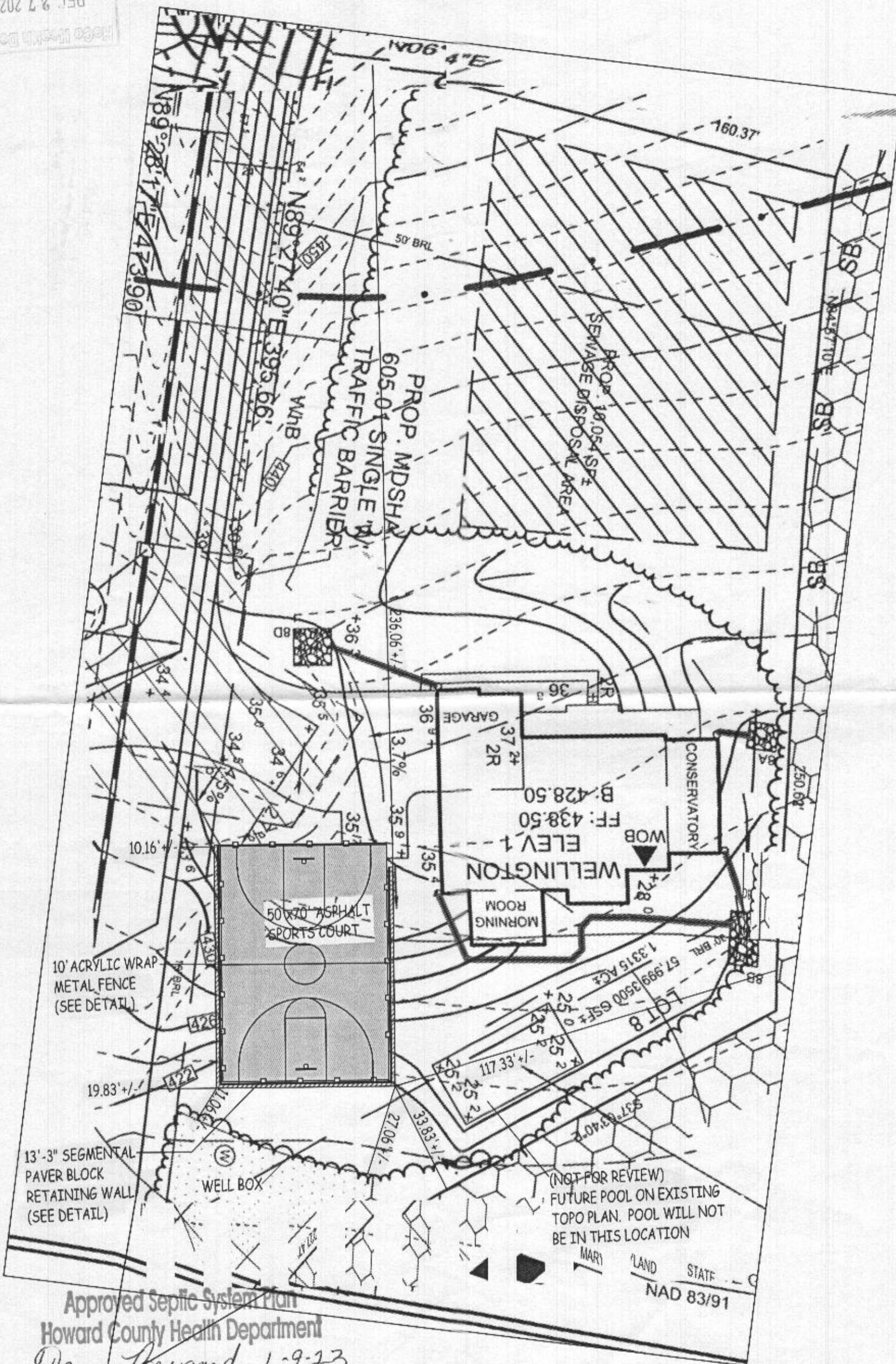
DATE:
11/11/2022

STRUCTURAL SEGMENTAL
BLOCK RETAINING WALL DETAILS

NOTE: 57 STONE TO BE COMPACTED IN 12" LIFTS
WITH RIDE ON VIBRATORY ROLLER



DEC 27 2022
 Howard County Health Department



Approved Septic System Plan
 Howard County Health Department
 Dana Leonard 1-9-23
 Signature Date

<p>Johnson Pools 1424 Occomon Road, Ste 208 Odenton, MD 21113 O:410.507.9932 www.johnspools.com MHC # 133218</p>	<p>Jose Residence 5629 Dosa Court Clarksville, MD 21029</p>	<p>Scale: 1" = 30'-0"</p>	<p>Site Plan Date: 11/30/2022 Designer: Zachary S. Casto License: 4430101200 Email: zsc@johnspools.com</p>
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