

Approved RAC
9/14/2022

Record Detail * (This section is required.)

Permit Type	Permit Number	Opened Date
Building/Residential/Alteration/SFD	B22003445	09/07/2022

Description of Work
 SFD/ FINISH PARTIALLY FINISHED BASEMENT TO INCLUDE: REC ROOM, KITCHENETTE, EXERCISE ROOM, PLAYROOM, ART ROOM, UNFINISHED UTILITY, UNFINISHED MECHANICAL CONVERT DEN USE TO BEDROOM USE PER PLANS APPROX. 1753 SQ.FT. ACCORDING TO FLOOR PLAN**SLEEPING ROOMS ARE NOT PERMITTED UNLESS EGRESS REQUIREMENTS ARE MET - SMOKE DETECTORS REQUIRED

[check spelling](#)

Address * (This section is required.)

Search Reset Clear Get Parcel & Owner

Street #	Street Name	Street Type
12245	RUNNING FENCE	LN
Unit Type	Unit #	X Coordinate
--Select--		-76.94534
		Y Coordinate
		39.22666
City	State	Zip Code
CLARKSVILLE	MD	21029
	Primary	
	Yes	

Parcel * (This section is required.)

Search Reset Clear Get Address & Owner

GIS ID *	Parcel	Parcel Area	Land Value	Improved Value	Exemption Value	Plan Area
924619	74	1	340000	1178400	838400	RURAL

Legal Description
 IMPSLOT 27 1.0097 A[]12245 RUNNING FENCE[]WALNUT GROVE

[check spelling](#)

Block	Lot	Census Tract	Council Dist	Inspection Dist	Supervisor Dist	Map #	DAP Zone
	27	605101	5				
Plan Area	State Tax Id	Subdivision Name	Primary				
	1405448875	Walnut Grove	Yes				
Section	Area	Tax Map					
		28					
Grid	Zoning District	ADC Map					
28-18	RC-DEO	4933-J4					

SDP No.	Final Plan No. F-06-031	WP File No.
Record Plat No. 19220-1922	WS Contract No.	FDP No.
Owner Occupied <input type="radio"/> Yes <input type="radio"/> No	Year Built 2011	Historic District <input checked="" type="radio"/> Yes <input type="radio"/> No
Historic District Registry No.	Stat Area 5-02A	Flood Plain <input type="radio"/> Yes <input checked="" type="radio"/> No
Building No _____		

Owner (This section is not required.)

Search Reset Clear

Name *
MISTRY NILESH VASANT

Address Line 1
12245 RUNNING FENCE LN

Address Line 2

Address Line 3

Mail City **Mail State** **Mail Zip Code**
CLARKSVILLE MD 21029

Phone **Primary**
240-793-4495 Yes

E-mail

Cell Number **Fax Number**

Professionals (This section is not required.)

Search Reset Clear

License # * 08010020247	Business Name PRO BUILT CONSTRUCTION		
License Type * MHIC Ind	First Name EDWARD	Middle Name	Last Name PACYLOWSKI
Primary Yes	Address Line 1 13330 CLARKSVILLE PIKE		
	Address Line 2		
	City HIGHLAND	State MD	ZIP Code 20777-9701
	Phone 1 3018540821	Phone 2	Fax 3018549632
	E-mail JESSICA@PROBUILTCONSTRUCTION.COM		

Applicant (This section is not required.)

Search **As Owner** **As Lic. Prof** **As Contact**

Type * Applicant	First Name EDWARD	MI	Last Name PACYLOWSKI
Relationship --Select--	Full Name		
Primary No	Organization Name PRO BUILT CONSTRUCTION		
	Street Address 13330 CLARKSVILLE PIKE		
	Address Line 2		
	City HIGHLAND	State MD	Zip Code 20777 970
	Phone 3018540821	Cell	Fax 3018549632
	E-mail * OFFICE@PROBUILTCONSTRUCTION.COM		

Contact (This section is not required.)

Search **As Owner** **As Lic. Prof** **As Contact**

Type Contact	First Name EDWARD	MI	Last Name PACYLOWSKI
Relationship Licensed Professional	Full Name		
Primary Yes	Organization Name PRO BUILT CONSTRUCTION		
	Street Address 13330 CLARKSVILLE PIKE		
	Address Line 2		
	City HIGHLAND	State MD	Zip Code 20777 970
	Phone 3018540821	Cell	Fax 3018549632
	E-mail OFFICE@PROBUILTCONSTRUCTION.COM		

Addtl Info

Est Construction Cost * 95000	Housing Units * 0	Number of Buildings * 0	Public Owned No
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Construction Type

--Select--



Execute Expression "Run expression exception, please contact agency administrator." error:

RESIDENTIAL ALTERATION INFO

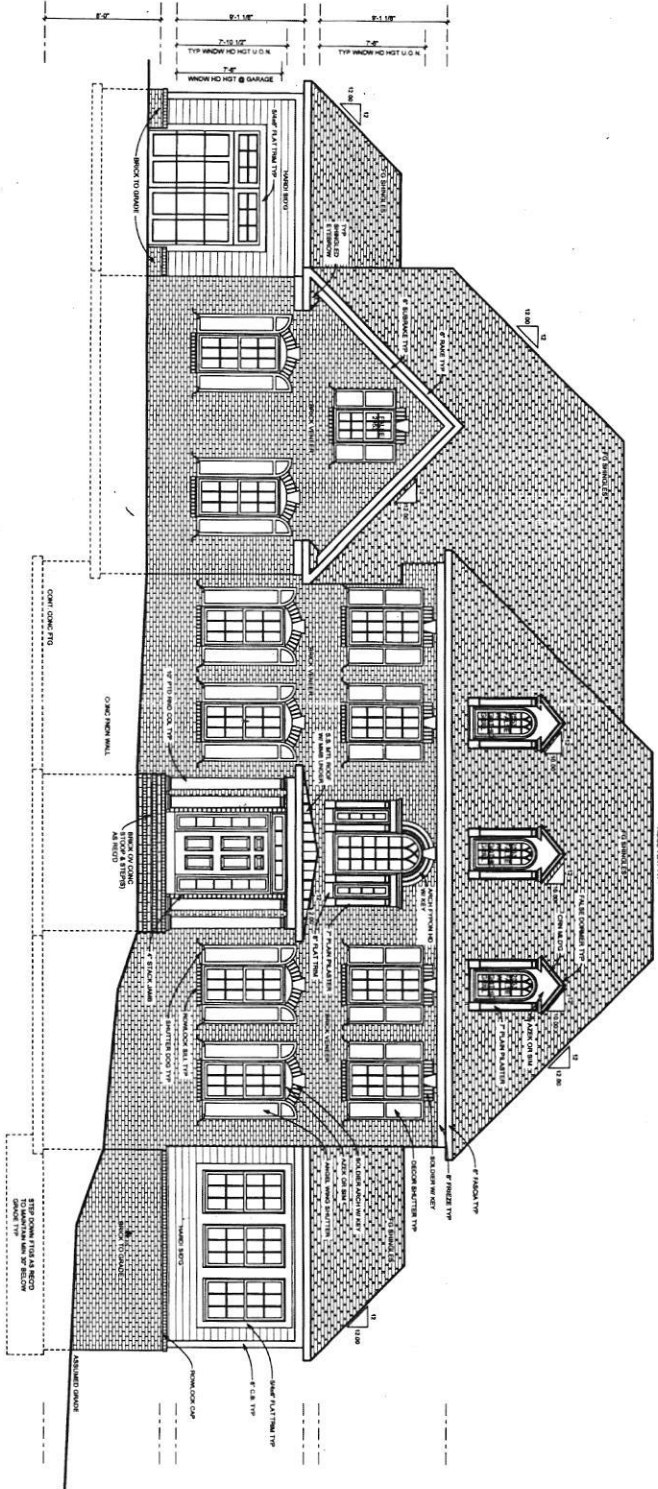
RESIDENTIAL ALTERATION INFORMATION

Total Square Footage *	No of Stories *	Basement	Bedrooms	Full Baths	Half Baths	Water *	Sewage *
1753	SQFT 0	Partially Finished	0	0	0	Private	Private
Existing Utilities *	Existing Heating System *	Existing Sprinkler System *	Type of New Fireplace	Expiration Date	Fee Exempt *		
Gas & Electric	Unknown	None	--Select--	3/14/2023	<input type="radio"/> Yes <input checked="" type="radio"/> No		

PAYMENT INFORMATION

Check 1	Payee 1	Check 2	Payee 2	SAP Doc No	SAP Entered
<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>

Submit **Cancel**



Front Elevation
SCALE: 1/4" = 1'-0"

NOTES

1.0 GENERAL
 1.01 CONTRACTOR SHALL VERIFY ALL APPLICABLE LOCAL AND STATE REGULATIONS AND ORDINANCES AND SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL BUILDING OFFICIAL. CONTRACTOR SHALL VERIFY THE LOCAL BUILDING OFFICIAL'S REQUIREMENTS WITH THE BUILDING DEPARTMENT OF THE LOCAL BUILDING OFFICIAL. CONTRACTOR SHALL VERIFY THE LOCAL BUILDING OFFICIAL'S REQUIREMENTS WITH THE BUILDING DEPARTMENT OF THE LOCAL BUILDING OFFICIAL. CONTRACTOR SHALL VERIFY THE LOCAL BUILDING OFFICIAL'S REQUIREMENTS WITH THE BUILDING DEPARTMENT OF THE LOCAL BUILDING OFFICIAL.

1.02 CONCRETE/REINFORCEMENT
 1.0201 ALL CONCRETE SHALL BE PLACED AND FINISHED IN ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL BUILDING OFFICIAL. CONTRACTOR SHALL VERIFY THE LOCAL BUILDING OFFICIAL'S REQUIREMENTS WITH THE BUILDING DEPARTMENT OF THE LOCAL BUILDING OFFICIAL. CONTRACTOR SHALL VERIFY THE LOCAL BUILDING OFFICIAL'S REQUIREMENTS WITH THE BUILDING DEPARTMENT OF THE LOCAL BUILDING OFFICIAL.

1.03 MASONRY
 1.0301 ALL MASONRY SHALL BE PLACED AND FINISHED IN ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL BUILDING OFFICIAL. CONTRACTOR SHALL VERIFY THE LOCAL BUILDING OFFICIAL'S REQUIREMENTS WITH THE BUILDING DEPARTMENT OF THE LOCAL BUILDING OFFICIAL. CONTRACTOR SHALL VERIFY THE LOCAL BUILDING OFFICIAL'S REQUIREMENTS WITH THE BUILDING DEPARTMENT OF THE LOCAL BUILDING OFFICIAL.

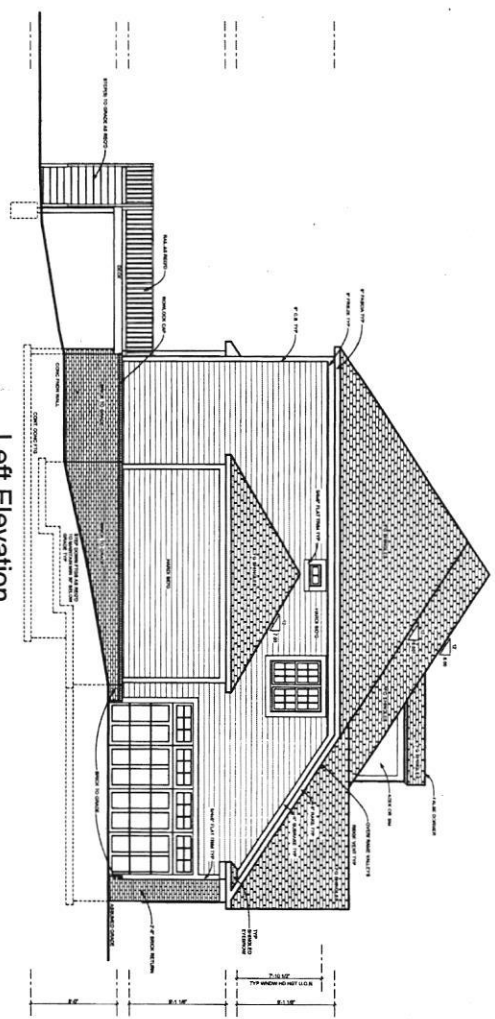
1.04 METALS
 1.0401 ALL METALS SHALL BE PLACED AND FINISHED IN ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL BUILDING OFFICIAL. CONTRACTOR SHALL VERIFY THE LOCAL BUILDING OFFICIAL'S REQUIREMENTS WITH THE BUILDING DEPARTMENT OF THE LOCAL BUILDING OFFICIAL. CONTRACTOR SHALL VERIFY THE LOCAL BUILDING OFFICIAL'S REQUIREMENTS WITH THE BUILDING DEPARTMENT OF THE LOCAL BUILDING OFFICIAL.

1.05 FINISH AND INTERIOR PROTECTION
 1.0501 ALL FINISHES SHALL BE PLACED AND FINISHED IN ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL BUILDING OFFICIAL. CONTRACTOR SHALL VERIFY THE LOCAL BUILDING OFFICIAL'S REQUIREMENTS WITH THE BUILDING DEPARTMENT OF THE LOCAL BUILDING OFFICIAL. CONTRACTOR SHALL VERIFY THE LOCAL BUILDING OFFICIAL'S REQUIREMENTS WITH THE BUILDING DEPARTMENT OF THE LOCAL BUILDING OFFICIAL.

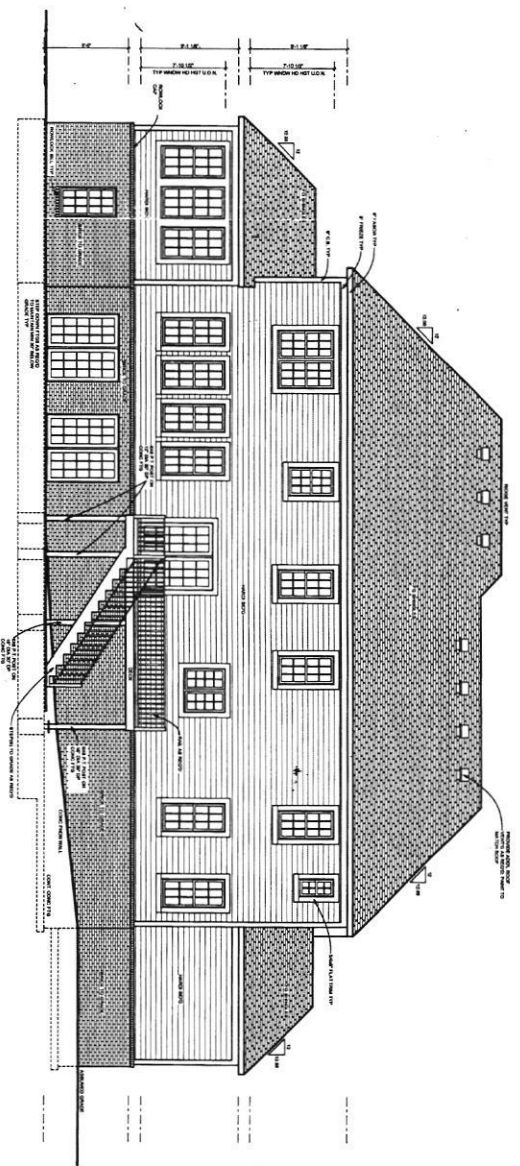
ITEM	DESCRIPTION	QUANTITY	UNIT
1	CONCRETE	100	CU YD
2	REINFORCEMENT	100	LB
3	MASONRY	100	SQ YD
4	METALS	100	LB
5	FINISHES	100	SQ YD

ITEM	DESCRIPTION	QUANTITY	UNIT
6	CONCRETE	100	CU YD
7	REINFORCEMENT	100	LB
8	MASONRY	100	SQ YD
9	METALS	100	LB
10	FINISHES	100	SQ YD

Left Elevation
SCALE: 3/16" = 1'-0"




Rear Elevation
SCALE: 3/16" = 1'-0"



A-2

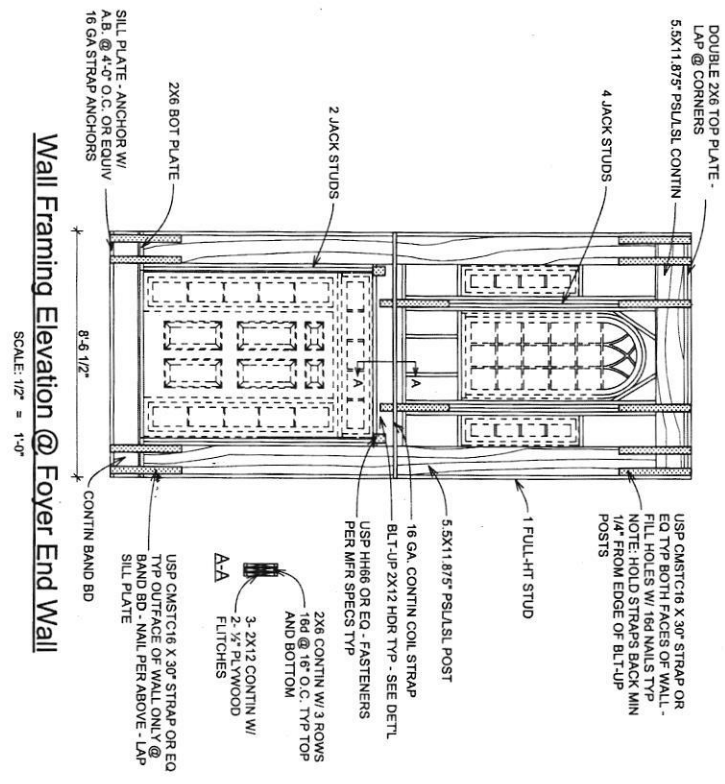
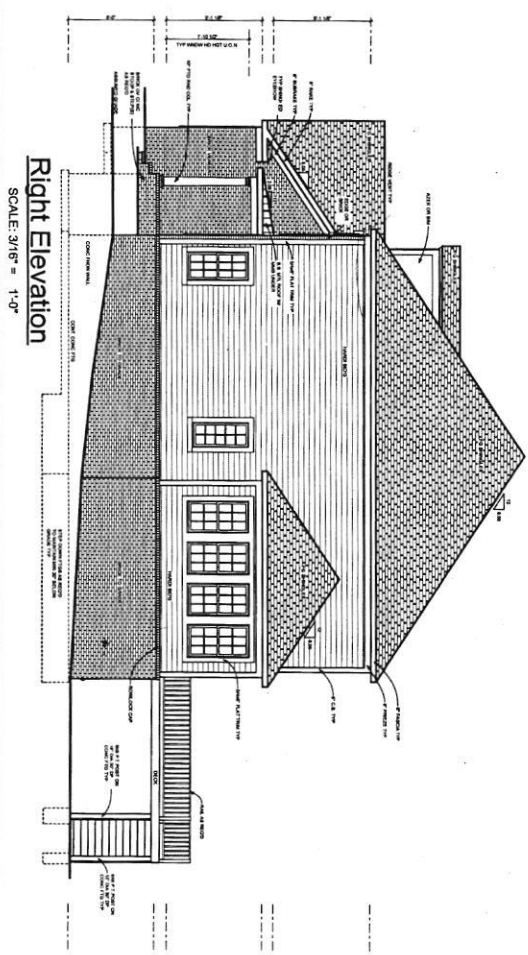
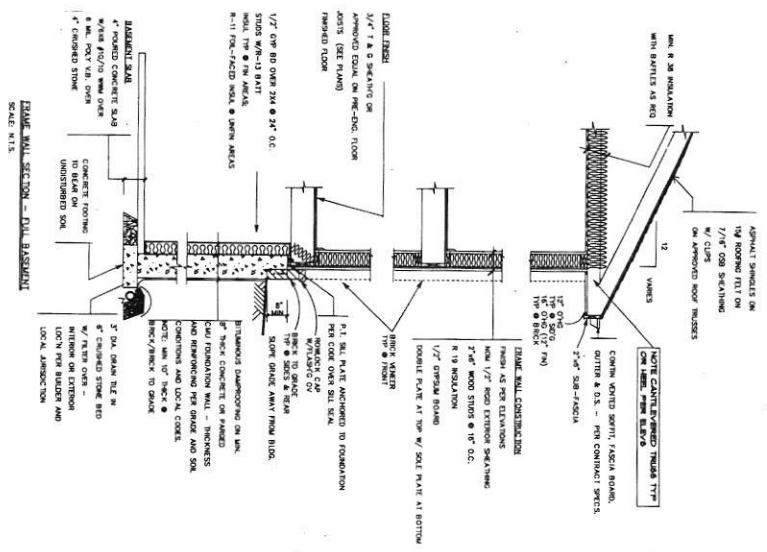
DATE	06/27/16
SCALE	3/16" = 1'-0"
PROJECT	THE MISTRY RESIDENCE
CLIENT	
ARCHITECT	
ENGINEER	
PERMIT NO.	
ISSUE NO.	

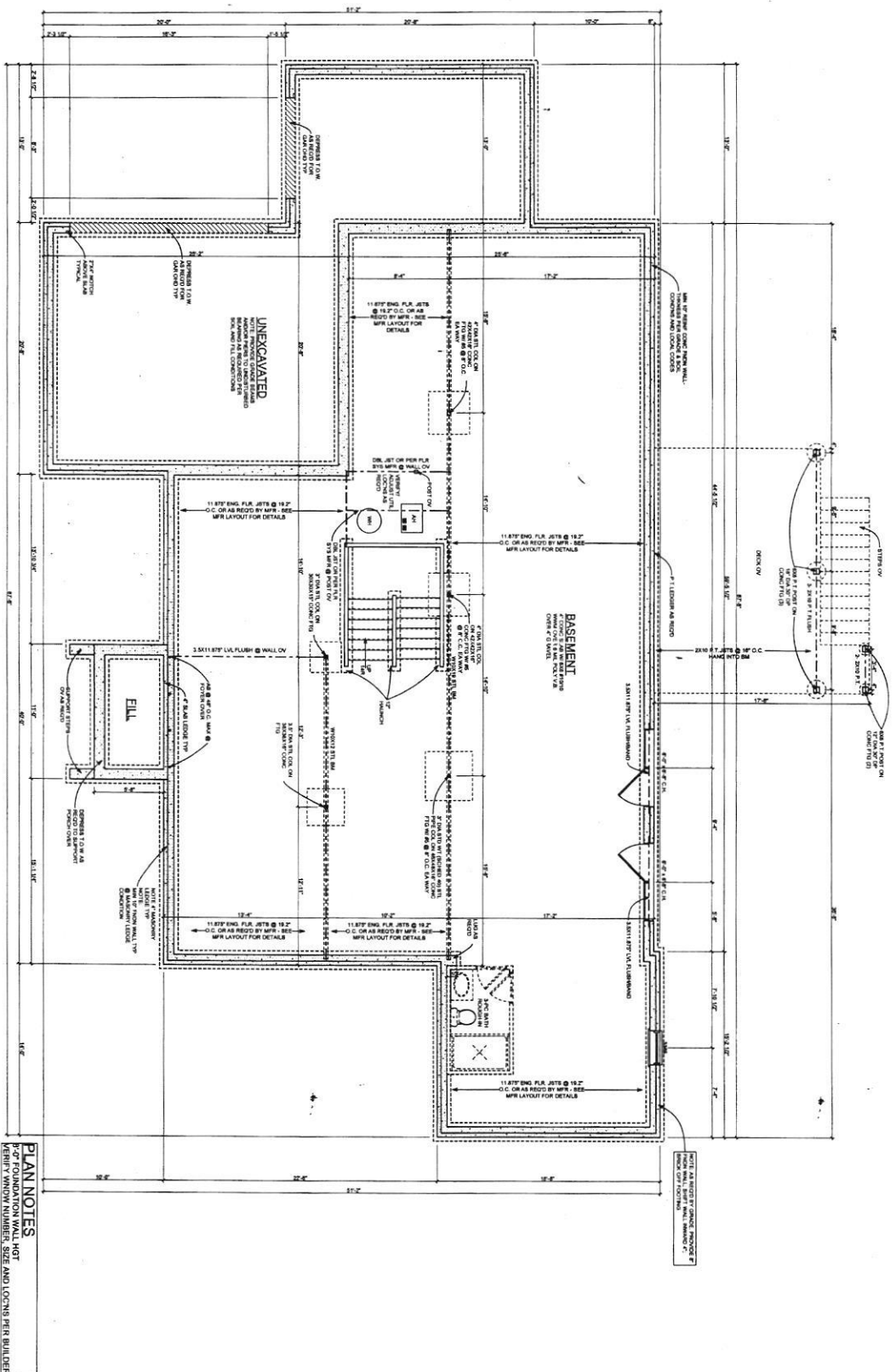
WALNUT GROVE LOT 27
THE MISTRY RESIDENCE
PERMIT SET

 **cutting edgedesign**
7162 Talisman Lane Columbia, MD 21045
410-740-2700



SELFRIDGE
BUILDERS, INC.





Foundation Plan
SCALE: 1/4" = 1'-0"

PLAN NOTES
1'-0" FOUNDATION WALL HGT
IDENTIFY WINDOW NUMBER, SIZE AND LOCUS PER BUILDER

A-4

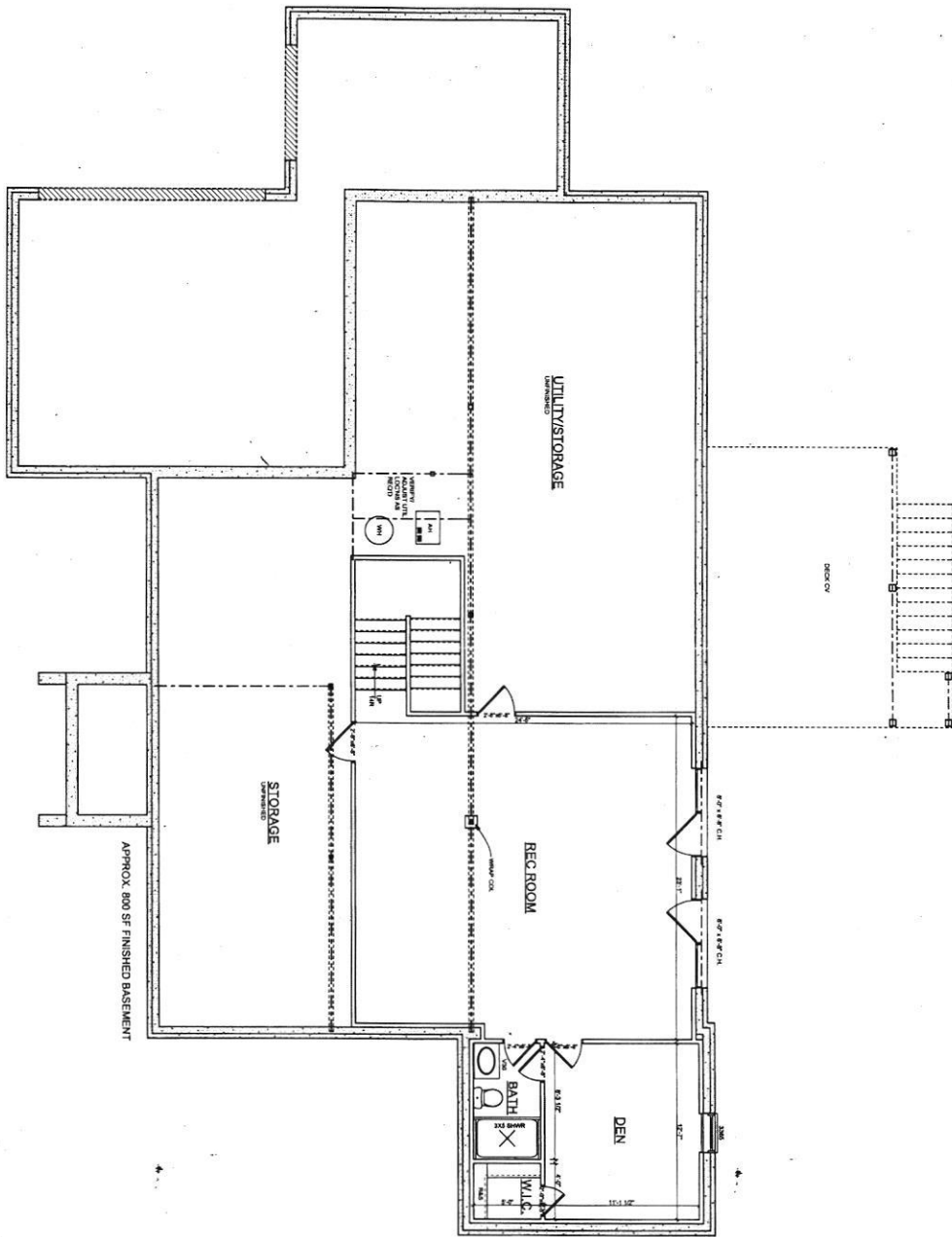
DATE	08/22/2010
PROJECT NO.	1000000000
REVISION	
DATE	
DESCRIPTION	

WALNUT GROVE LOT 27
THE MISTRY RESIDENCE
PERMIT SET

cuttingedge design
7162 Tallman Lane Columbia, MD 21045
410-745-2700



SELFRIDGE
BUILDERS, INC.



Finished Basement Plan

SCALE: 1/4" = 1'-0"

PLAN NOTES
 1. SEE FOUNDATION PLAN FOR FOOTING AND WALL LOCATIONS.
 2. VERIFY WINDOW NUMBER, SIZE AND LOCATION PER BUILDER.

A-5

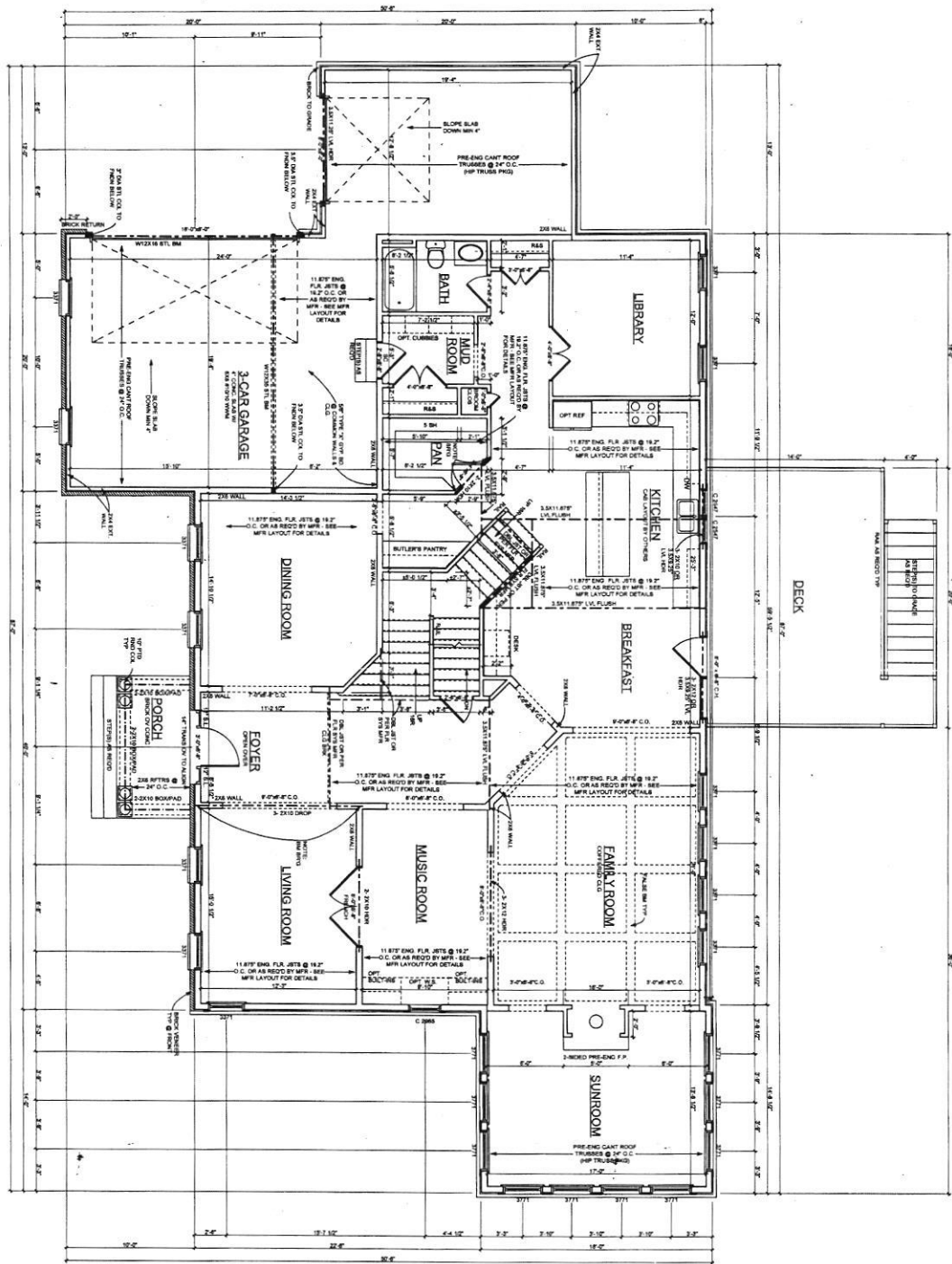
DATE	09/22/2016
BY	
CHECKED BY	
PROJECT NO.	16040001

WALNUT GROVE LOT 27
THE MISTRY RESIDENCE
 PERMIT SET

cuttingedge design
 7162 Talisman Lane Columbia, MD 21045
 410-740-2700



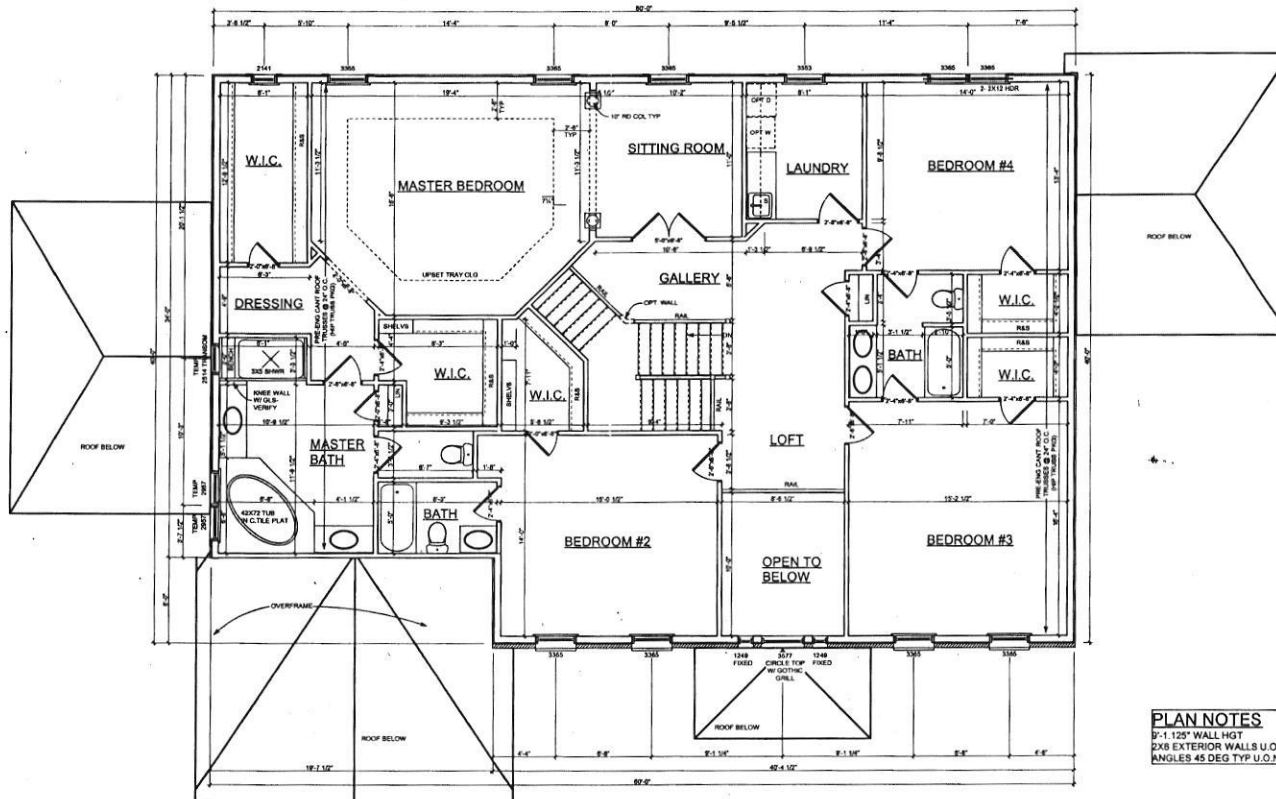
SELFRIDGE
 BUILDERS, INC.



First Floor Plan
SCALE: 1/4" = 1'-0"

PLAN NOTES
 1. ALL WALLS TO BE FINISHED WITH 5/8\"/>





PLAN NOTES
 8'-1.125" WALL HGT
 2X8 EXTERIOR WALLS U.O.N.
 ANGLES 45 DEG TYP U.O.N.

Second Floor Plan
 SCALE: 1/4" = 1'-0"

SELFRIDGE
 BUILDERS, INC.



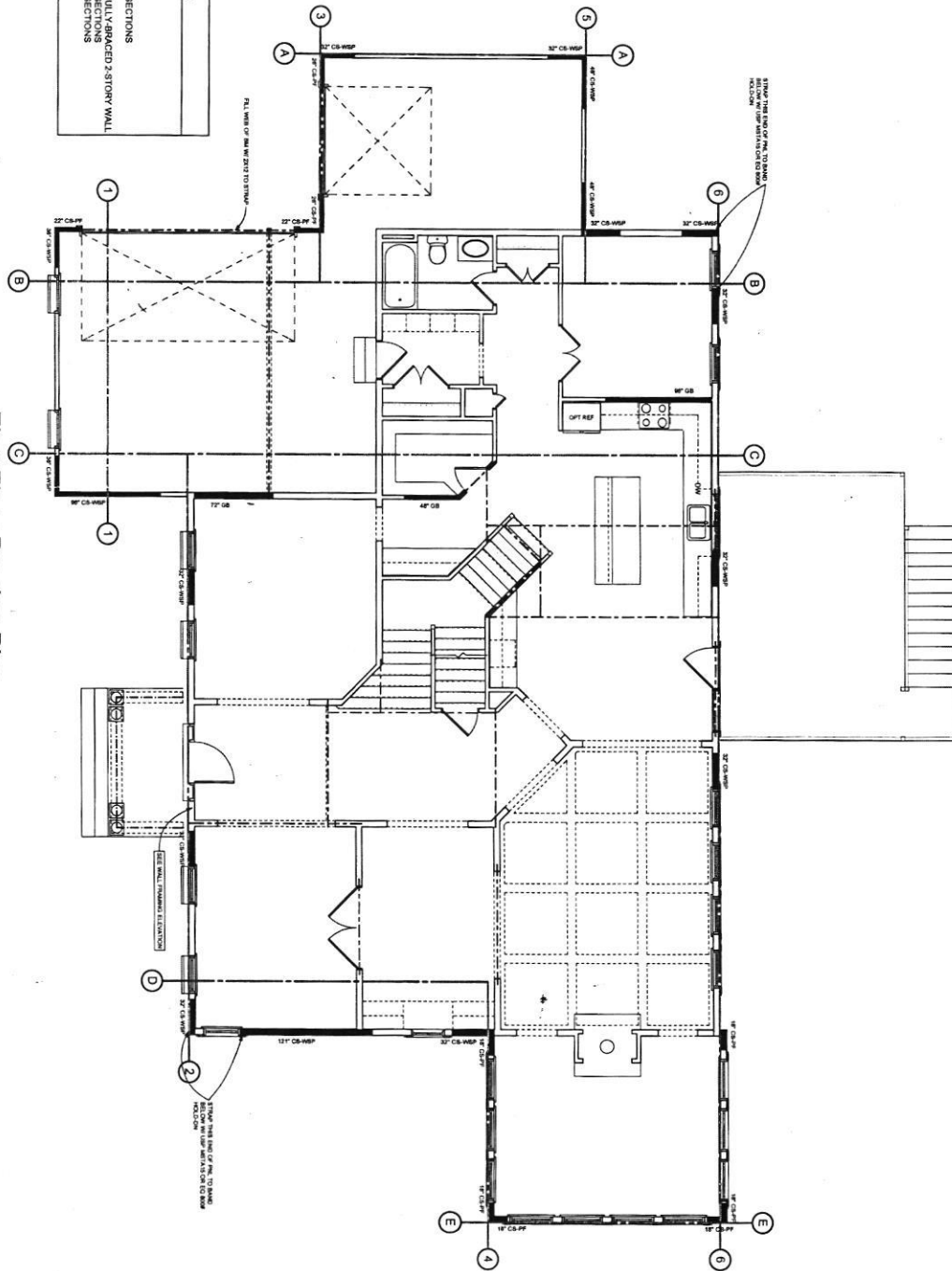
cutting edge design
 7162 Tallman Lane Columbia, MD 21046
 410-662-7300



WALNUT GROVE LOT 27
THE MISTRY RESIDENCE
 PERMIT SET

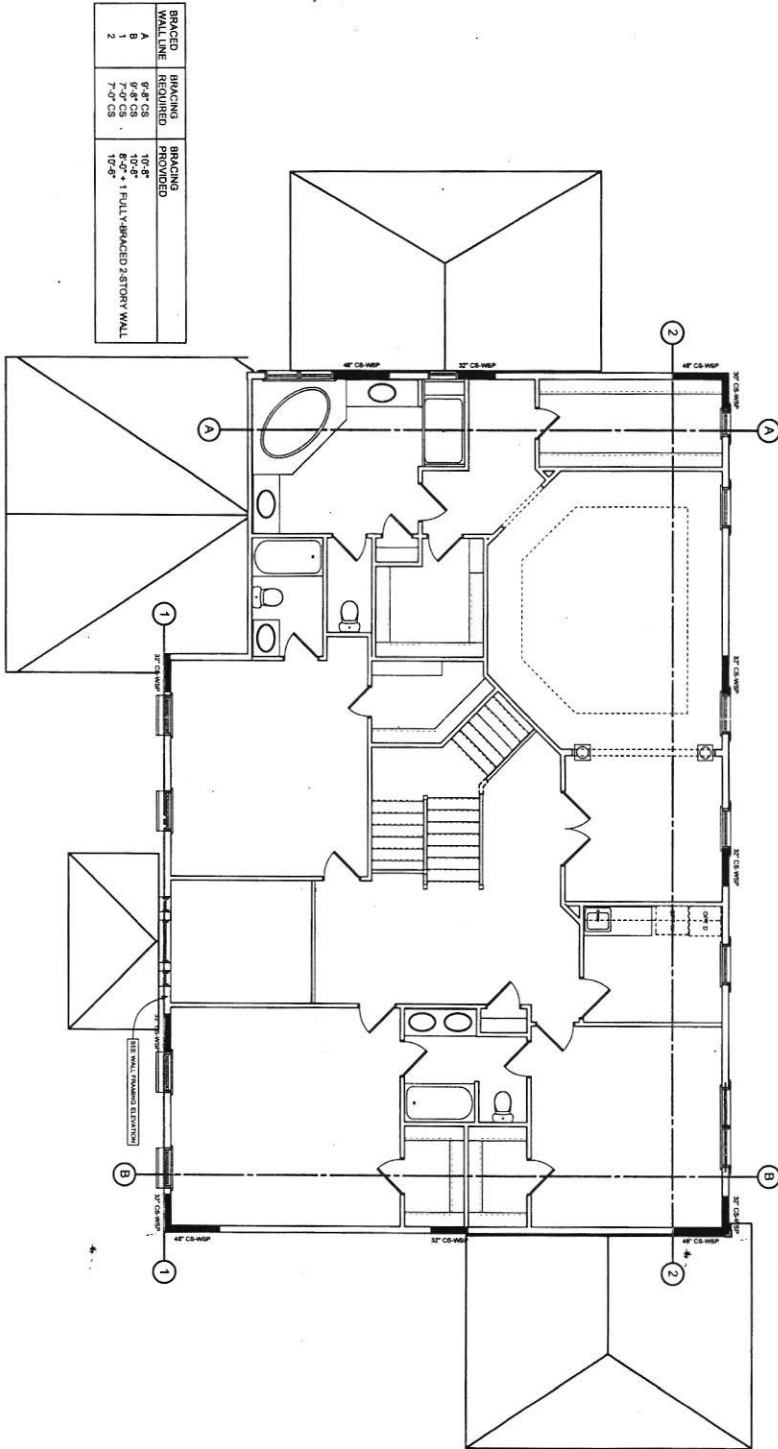
NO. REV.	10/4/2010
DATE	09/22/2010
SHEET NO.	A-7

BRACED WALL LINE	BRACING REQUIRED	BRACING PROVIDED
A	2'-11" CS	3'-4"
B	2'-11" CS	3'-4"
C	25'-7" GB	36'-0"
D	12'-9" CS	12'-0"
1	5'-10" CS	6'-0" + FULLY-BRACED 2-STORY WALL
2	7'-11" CS	8'-0" + FULLY-BRACED 2-STORY WALL
3	7'-11" CS	2 CS&P SECTIONS
4	7'-11" CS	2 CS&P SECTIONS
5	8'-0" CS	8'-0"
6	8'-0" CS	11'-0"



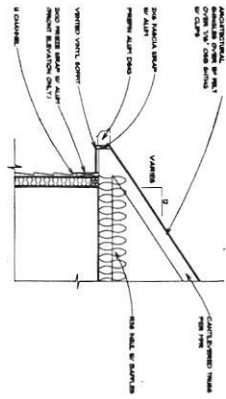
First Floor Bracing Plan

SCALE: 1/4" = 1'-0"

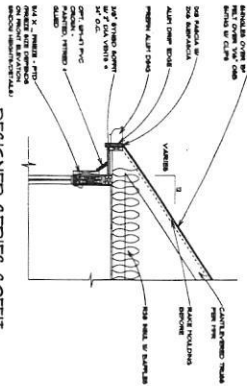


Second Floor Bracing Plan

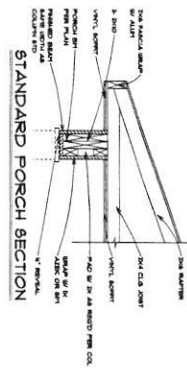
SCALE: 1/4" = 1'-0"



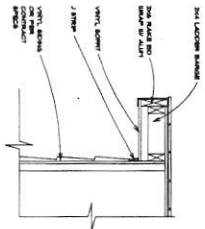
STANDARD SOFFIT



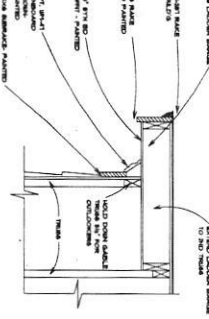
DESIGNER SERIES SOFFIT



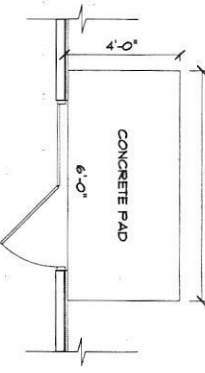
STANDARD PORCH SECTION



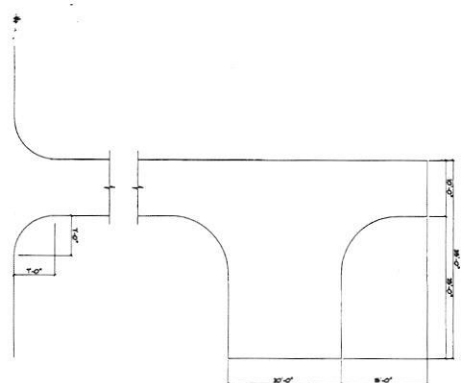
STANDARD RAKE



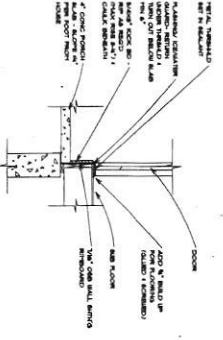
DESIGNER SERIES RAKE



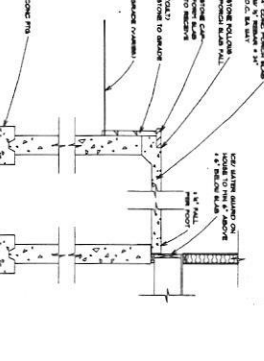
TYPICAL WALKOUT PATIO
HOLD DOWN 6" BELOW BASEMENT SLAB



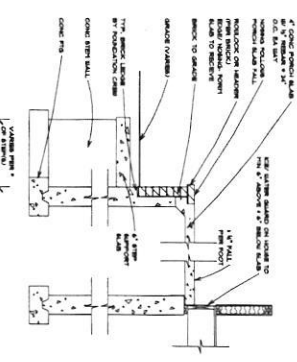
TYPICAL DRIVEWAY PLAN
STANDARD PLAN COULD BE
DESIGNED ON LOT GRADE



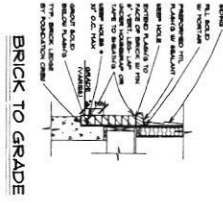
CONC STOOP - ENTRY



FLAGSTONE EDGE - CONC STOOP



BRICK EDGE - CONC STOOP



BRICK TO GRADE

SD-2

DATE	01/20/2008
REVISION	
NO.	
DESCRIPTION	

STANDARD DETAILS

cuttingedgesdesign
7162 Talisman Lane Columbia, MD 21045
410-740-2700



SELFRIDGE BUILDERS, INC.



ProBuilt Construction, Inc.
 13330 Clarksville Pike
 Highland, MD 20777
 (301) 854-0821

Sales Consultant
 Jessica Barwick

Design Consultant
 Christina Speiden

Project Manager
 Edward Pacylowski

Date of Drawing
 09/07/22

Drawing Title
**PERMIT
 DIMENSIONAL PLAN**

Drawing Scale
 1/8" = 1'0"

Project Information
 Mistry Residence
 12245 Running Fence Lane
 Clarksville, MD 21029

Renderings, drawings, samples and other intellectual properties provided by ProBuilt Construction to the client above are for the express benefit of the client. Note that ProBuilt Construction has SOLE OWNERSHIP of all documents. Client can never own, use and/or distribute documents without written consent of ProBuilt Construction.

If client uses and/or distributes any 3D renderings, 2D drawings, and/or any other intellectual properties provided by ProBuilt Construction to a third party, an invoice of \$1,500 will be immediately sent to the client to cover the cost of the intellectual property used without permission of ProBuilt Construction and must be paid.

1,753 sq.ft. TOTAL PROPOSED FINISHED BASEMENT AREA

- 265 sq.ft. Playroom
- 183 sq.ft. Art Room
- 266 sq.ft. Exercise Room
- 92 sq.ft. Yoga Room
- 947 sq.ft. Main Rec Room Area

