

Record Detail (This section is required.)

Permit Type Building/Residential/Garage/Attached Permit Number B24004585 Opened Date 12/05/2024
 Description of Work SFD/ CONSTRUCT 25' X 25' (2) CAR GARAGE, 2 STORY, Full Basement, 2R, 3FB, 1HB, 1FP, OTHER STRUCTURE = 2 Car Attached, 5BR, PORCH/DECK = N/A, ENERGY METHOD = N/A,

[check spelling](#)

Online BP.

g/s 12/12/24

Address (This section is required.)

Search Reset Clear Get Parcel & Owner
 Street # 6830 Street Name SANTA MARIA Street Type AVE
 Unit Type --Select-- Unit # X Coordinate -76.97207 Y Coordinate 39.18511
 City HIGHLAND State MD Zip Code 20777 Primary Yes

Approved, recommended abandonment of dry well component in near future. g/s 12/18/24

Parcel (This section is required.)

Search Reset Clear Get Address & Owner
 GIS ID 852914 Parcel 355 Parcel Area 1.16 Land Value 233100 Improved Value 583200 Exemption Value 225500 Plan Area RURAL
 Legal Description LOT 14 1.169 A []6830 SANTA MARIE AVE []WHITE OAK ESTATES

[check spelling](#)

Block 14 Census Tract 605101 Council Dist 5 Inspection Dist Supervisor Dist Map # DAP Zone
 Plan Area State Tax Id 1405376971 Subdivision Name WHITE OAK ESTATES
 Section Area Tax Map 34
 Grid Zoning District RR-DEO ADC Map 5051-E1
 SDP No. Final Plan No. WP File No.
 Record Plat No. 30 50 WS Contract No. FDP No. Primary Yes
 Owner Occupied Year Built 1976 Historic District Yes No
 Historic District Registry No. Stat Area 5-04A Flood Plain Yes No
 Building No

Owner (This section is not required.)

Search Reset Clear
 Name CHRIS
 Address Line 1 6830 SANTA MARIA AVE
 Address Line 2
 Address Line 3
 Mail City HIGHLAND
 Mail State MD
 Mail Zip Code 20777
 Phone 443-864-8309
 Primary Yes
 E-mail

josephgunkel@yahoo.com

Cell Number Fax Number

Professionals (This section is not required.)

License # 08010081127 Business Name GUNKEL HOME IMPROVEMENT SPECIALIST
 License Type MHIC Ind First Name JOSEPH Middle Name Last Name GUNKEL
 Primary Yes Address Line 1 7998 BROWN BRIDGE RD Address Line 2
 City HIGHLAND State MD ZIP Code 20777
 Phone 1 4438648309 Phone 2 Fax 3018549171
 E-mail JOSEPHGUNKEL@YAHOO.COM

Applicant (This section is not required.)

Search As Owner As Lic. Prof As Contact

Type Applicant First Name JOSEPH MI Last Name GUNKEL
 Relationship Applicant Full Name JOSEPH GUNKEL
 Primary No Organization Name GUNKEL HOME IMPROVEMENT SPECIALIST
 Street Address 7998 BROWN BRIDGE RD Address Line 2
 City HIGHLAND State MD Zip Code 20777
 Phone 4438648309 Cell Fax 3018549171
 E-mail JOSEPHGUNKEL@YAHOO.COM

Contact (This section is not required.)

Search As Owner As Lic. Prof As Contact

Type Contact First Name Joe MI Last Name Gunkel
 Relationship Licensed Professional Full Name Joe Gunkel
 Primary Yes Organization Name gunkel homeimprovement
 Street Address 7998 browns bridge rd Address Line 2
 City highland State MD Zip Code 20777
 Phone 443-864-8309 Cell Fax
 E-mail josephgunkel@yahoo.com

Addtl Info

Est Construction Cost 135000 Housing Units 0 Number of Buildings 0 Public Owned No
 Construction Type 434 - Additions, Alterations and Conversions - Residential

RESIDENTIAL ADDITION INFORMATION

RESIDENTIAL ADDITION INFORMATION

Capital Project-No Fee Yes No Capital Project Number (Text) Fee Exempt Yes No Roadside Tree Project Permit Yes No Roadside Tree Pr

No of Stories 2 (Text) Foundation Full Basement (Text) Basement Full Finished (Text) No of Rooms 2 (Text) Full Baths 3 (Number) Height 1

Model
SFD/ CONSTRUCT 25' X 25' (2) CAR GARAGE
[check spelling](#)

Other Structure 2 Car Attached (Text) Bedrooms 5 (Number) Porch Deck N/A (Text) No of Fireplaces 1 (Number) Type of Fireplace Masonry (Text) W & S Fees Paid (Text) Water Private (Text) Sewage Private (Text) Utilities Electric (Text) Heating System Electric & Oil (Text) Sprinkler System None (Text) 1st Floor Width (Text) 1st Floor Depth (Text) 2nd Floor Width (Text) 2nd Floor Depth (Text) Basement Width (Text) Basement Depth (Text) Height (Text) Total Square Footage 3925 (Text) SQFT (Number) Occupiable Square Footage 0 (Text) SQFT (Number) Affordable Housing Funding N/A (Text) Foundation Measurement (Text) Walls (Text) Roof (Text) Change In Use (Text) Grading Permit No (Text) Senior Housing (Text) MIHU Outside Downtown Columbia (Text) Expiration Date 6/8/2025 (Text) MIHU Required Units (Text)

Additional Description Info

[check spelling](#)

GREEN INFORMATION

Goal Level --Select-- (Text) Actual Level --Select-- (Text) Leed Registration Number (Text) Date of Leed Certification (Text)

STORM WATER MANAGEMENT

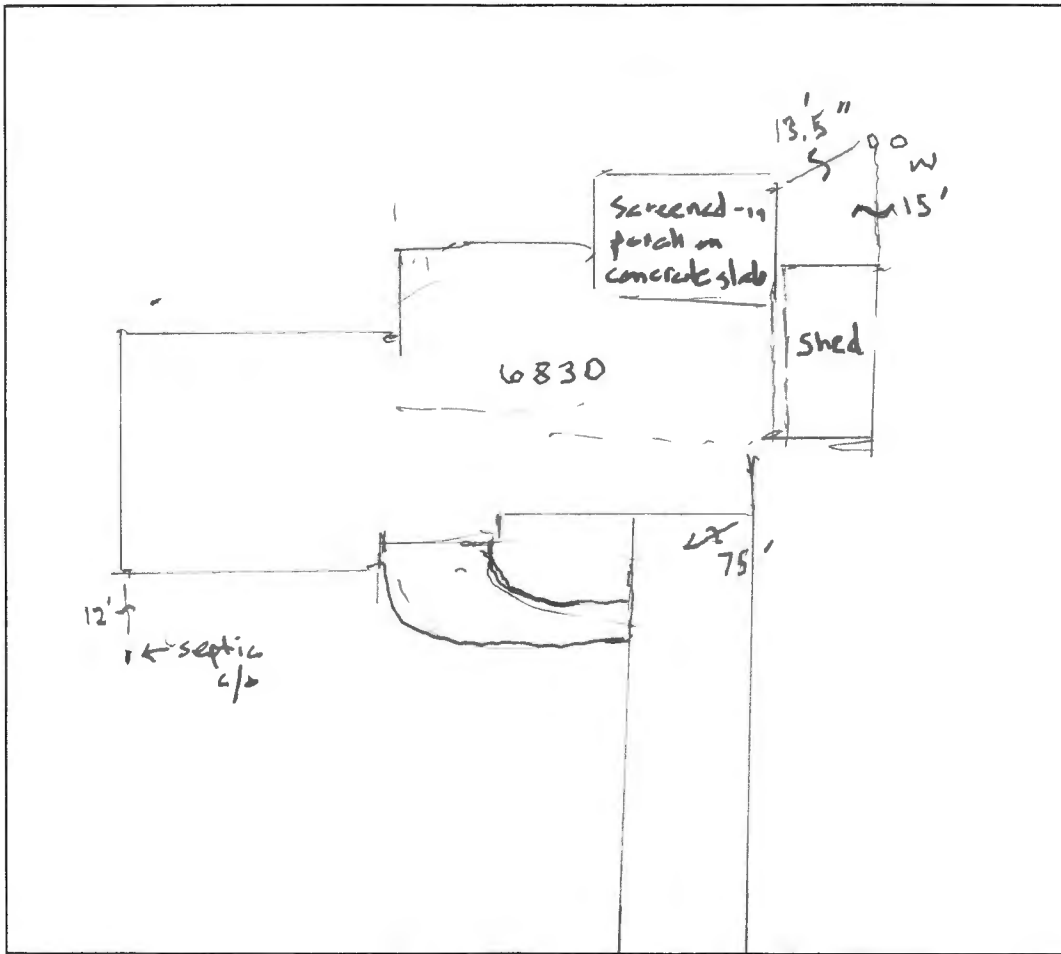
Green Roofs A1 (Text) Permeable Pavements A2 (Text) Reinforced Turf A3 (Text) Disconnection of Rooftop Runoff N1 (Text) Sheetflow to Conservation Areas N3 (Text) Rainwater Harvesting M1 (Text) Submerged Gravel Wetlands M2 (Text) Landscape Infiltration (Text) Dry Wells M5 (Text) Micro Bioretention M6 (Text) Rain Gardens M7 (Text) Swales M8 (Text) PSWM Certification Received in CID on (Text)

Submit Cancel

SITE INSPECTION SHEET

OWNER: Chris & Jocelyn Gifford PHONE #: _____
ADDRESS: 6830 Santa Maria Ave CONTRACTOR: _____
Highland MD 20777 WELL TAG #: _____
SUBDIVISION: _____ LOT: _____ COUNTY #: _____
PROPOSAL: Construct 25' x 25' garage

LOCATION DIAGRAM



COMMENTS: Santa Maria Ave
No noted issues w/ the well or septic system

DATE: 12/16/14 INSPECTOR: Hank Oswald

Site Visit – 12/16/24
6830 Santa Maria Ave
Highland, MD 20777



Septic Tank Cleanout in front

Site Visit – 12/16/24
6830 Santa Maria Ave
Highland, MD 20777



Well in rear

Site Visit – 12/16/24
6830 Santa Maria Ave
Highland, MD 20777



Well tag # HO-73-1211

ORDERED BY

ADVANTAGE TITLE COMPANY

2037 Liberty Road
Eldersburg, Maryland 21784

P. 410.795.5105 | F. 410.795.1577



PROPERTY ADDRESS: 6830 SANTA MARIA AVENUE HIGHLAND, MARYLAND 20777

SURVEY NUMBER: 1710 0665

FIELD WORK DATE: 10/9/2017

REVISION HISTORY: (REVO 10/11/2017)

17100665

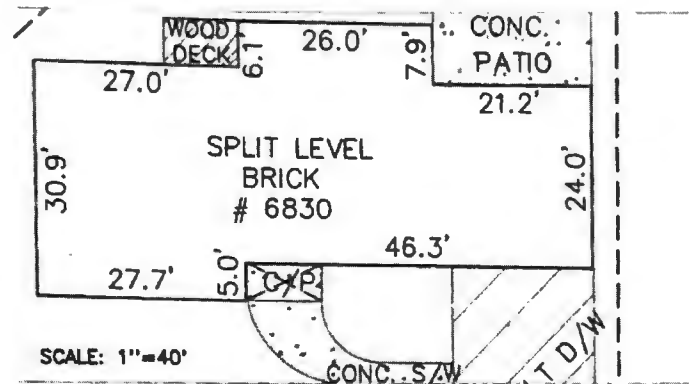
LOCATION DRAWING

LOT 14

WHITE OAK ESTATES

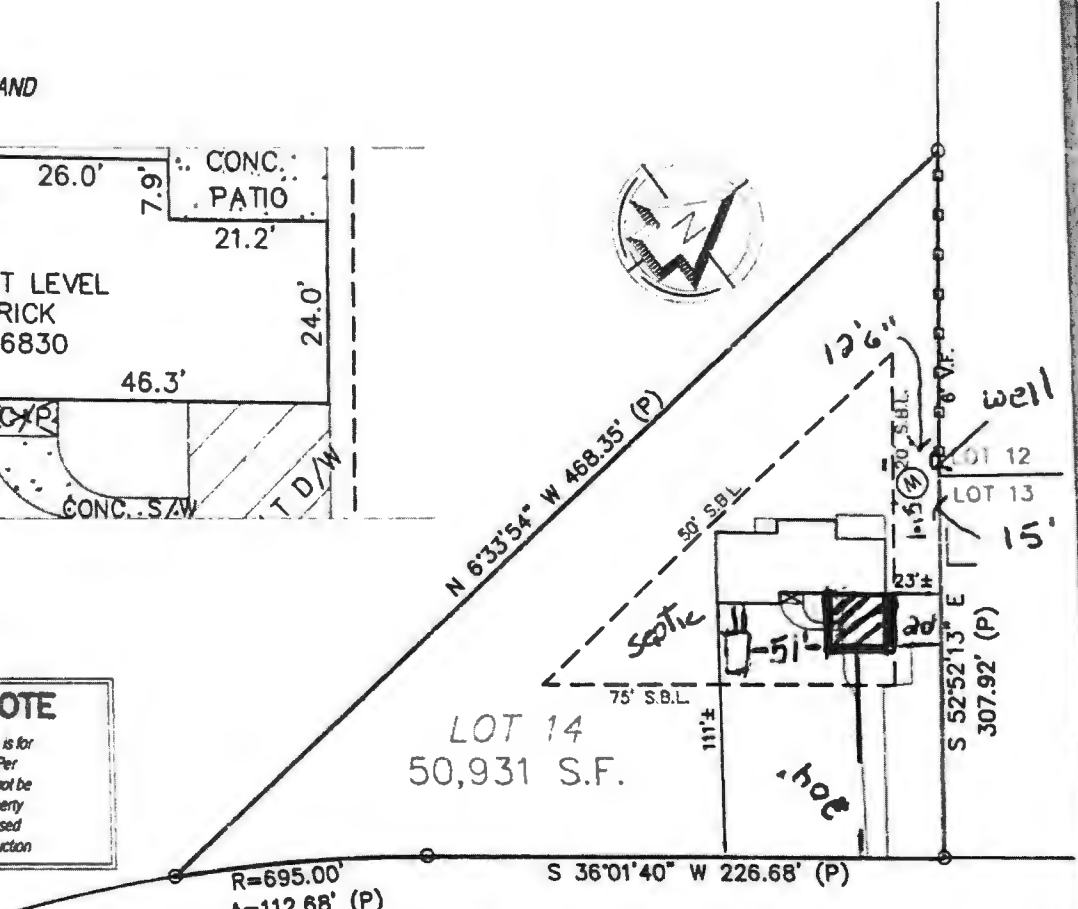
HOWARD COUNTY, MARYLAND

10-11-2017 SCALE 1"=80'



PLEASE NOTE

This House Location Drawing is for informational purposes only. Per Maryland State Code it may not be relied upon to determine property boundaries and may not be used for building permits or construction.

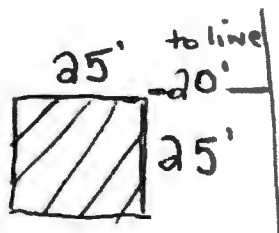


William J. [Signature]
EXPIRES 1-14-2019



GRAPHIC SCALE (In Feet)
1 inch = 80' ft.

ACCURACY=3±



18" x 28" Frost Footings

All steel and concrete for Footings and slab 4000 psi

R-10 vertical insulation around perimeter

2-#4 rebar continuous

Slab

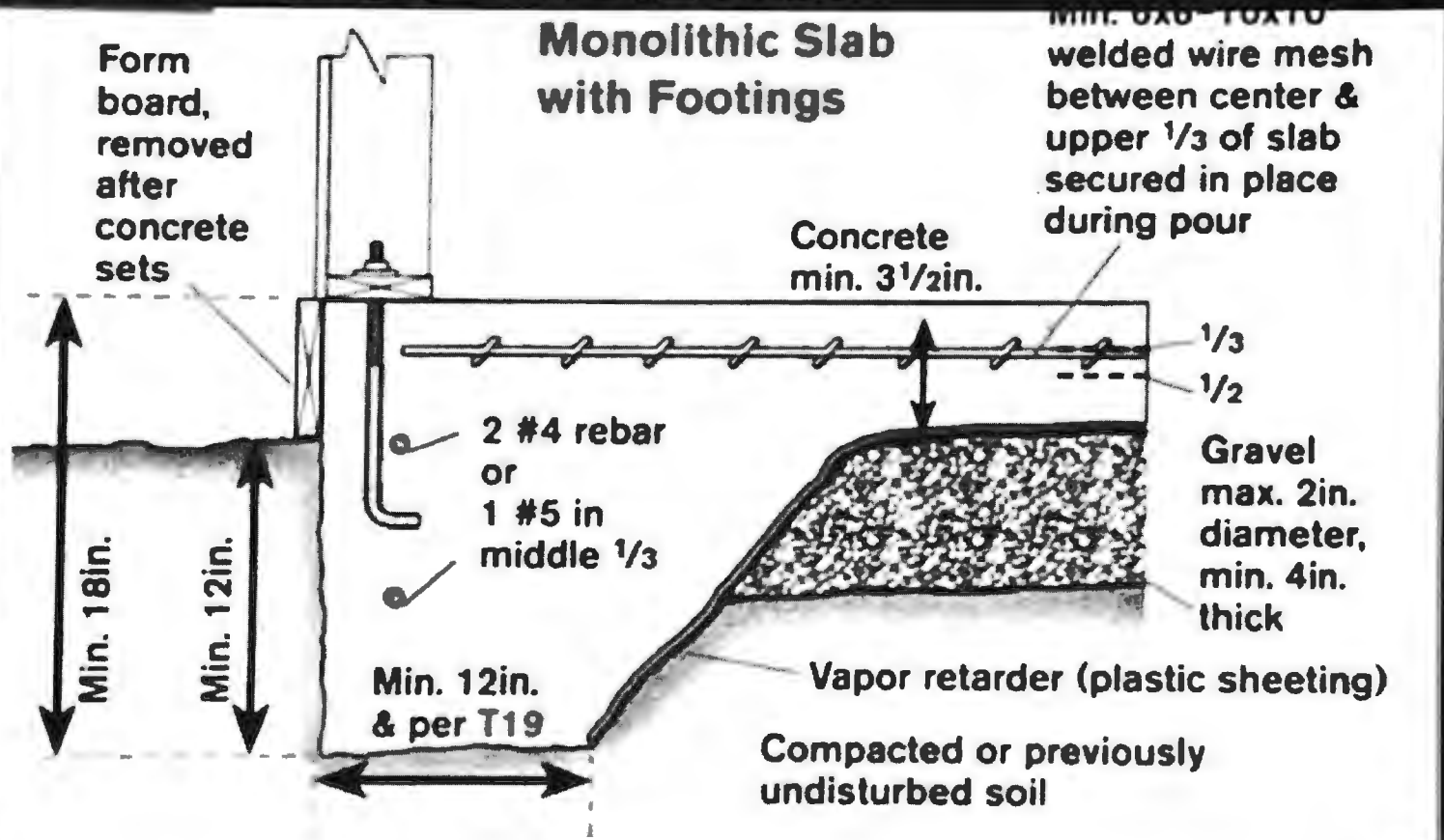
4" concrete 4000 psi

6x6x6 wwm

4" compacted stone

saw cuts

4:50 [phone icons] [wifi icon] [battery icon] 51%



Slab + Foundation

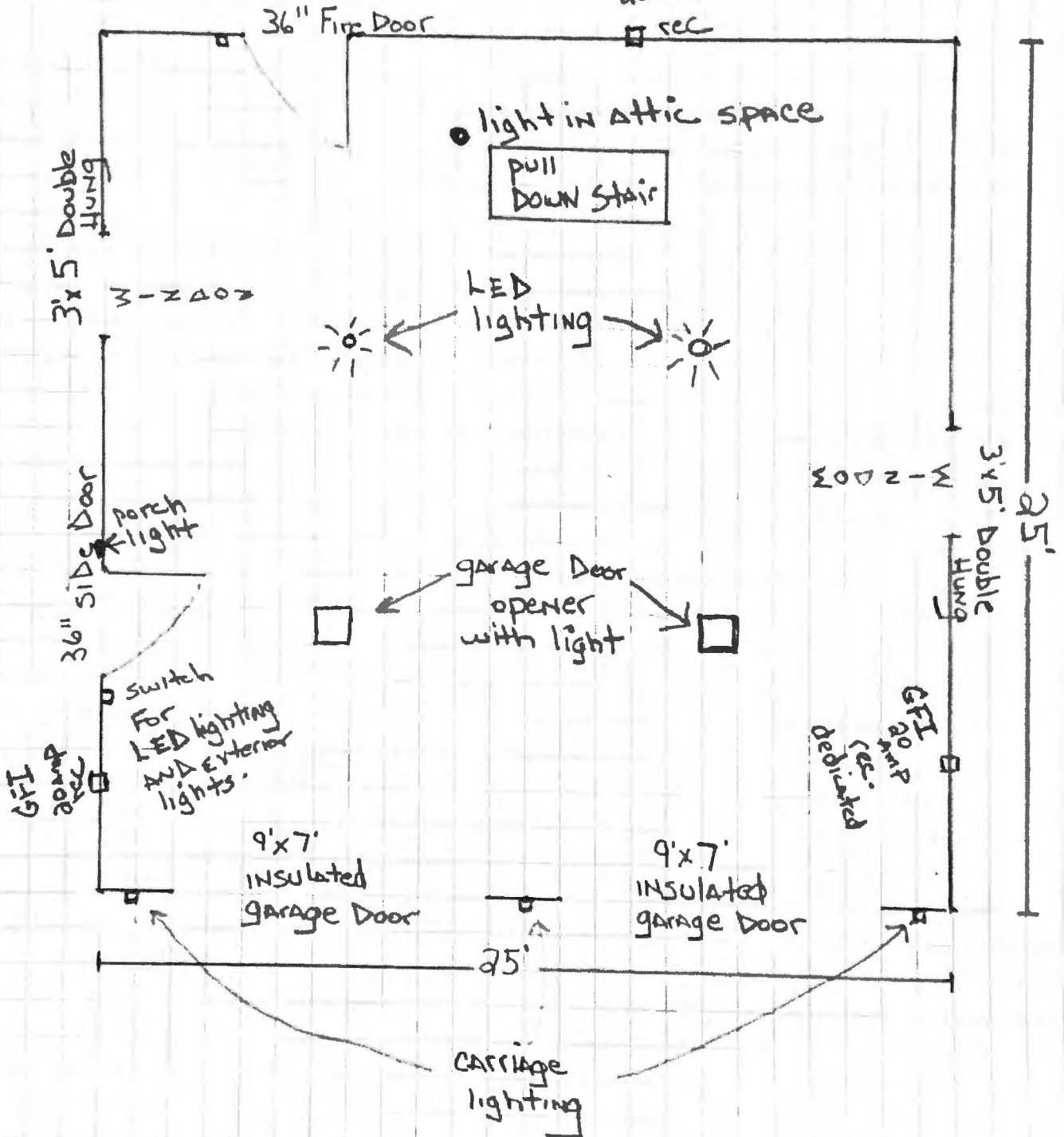
4" concrete
6x6x6 wwm
4" compacted stone and saw-cuts

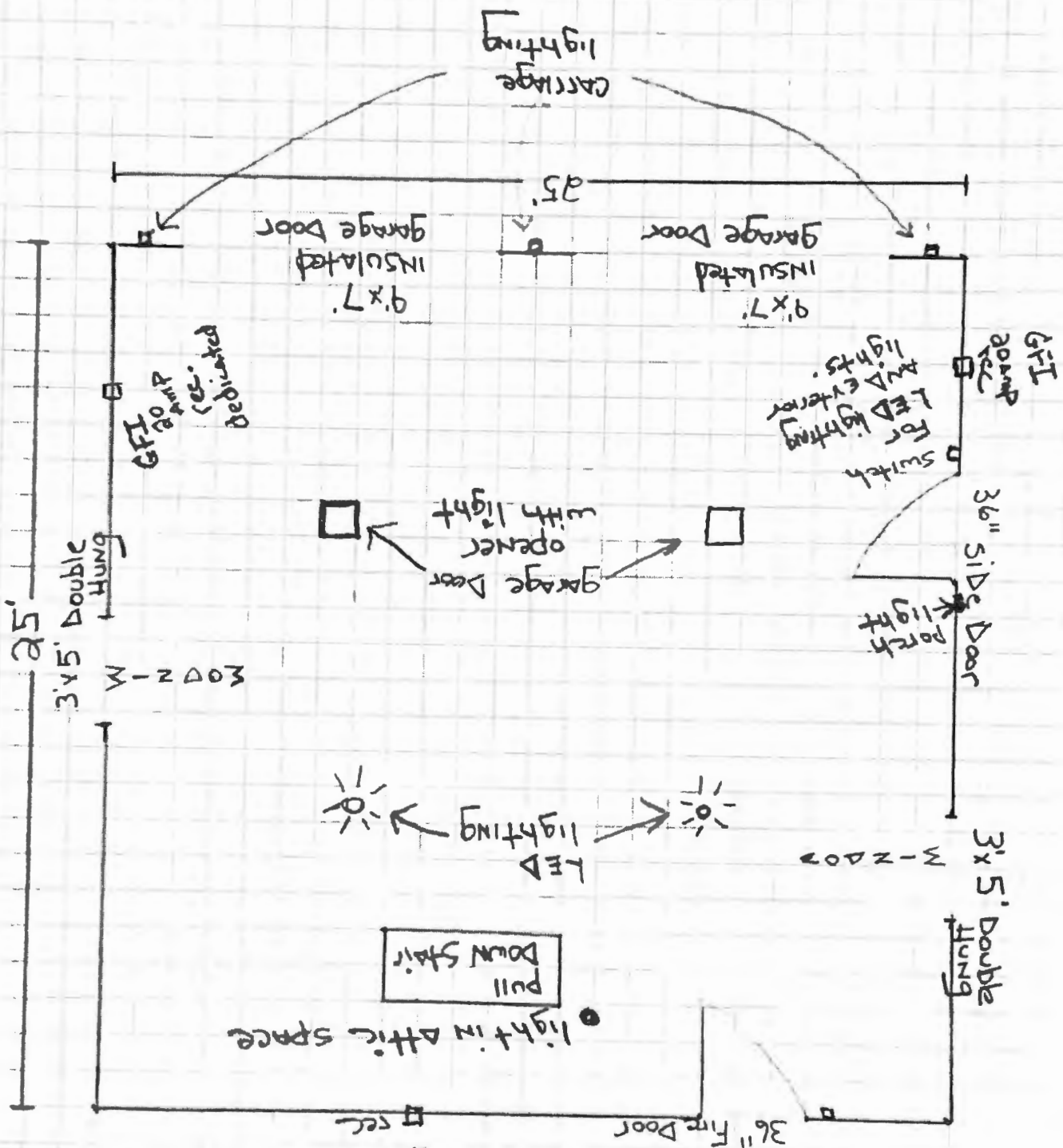
monolithic
slab

18" x 28" Frost Footing
All steel and concrete for Footers and slab 4000 psi
R-10 vertical insulation around perimeter
2. #4 rebar continuous

3way switch
for LED lighting
and existing garage

GFI
20AMP
REC





Slab + Foundation
 4" concrete
 6" x 6" w/m
 slab
 Monolithic
 4" compacted stone and saw-cuts
 3way switch for led lighting and existing garage
 GFI board rec
 2. #4 rebar continuous perimeter
 R-10 vertical insulation around
 and slab 4000 psi
 All steel and concrete for footers
 18" x 28" Frost Footing

Garage Door opening

WALL Framing

Double treated bottom plate with a vapor barrier AND M12 J bolts every 4'
LVL Header will be supported using 4 JACK studs at each end
solid wall tie will be on each end of wall, so side walls can be secured

Double top plate AND 2x4 studs 16" ON CENTER

single plate on top of headers for studs.

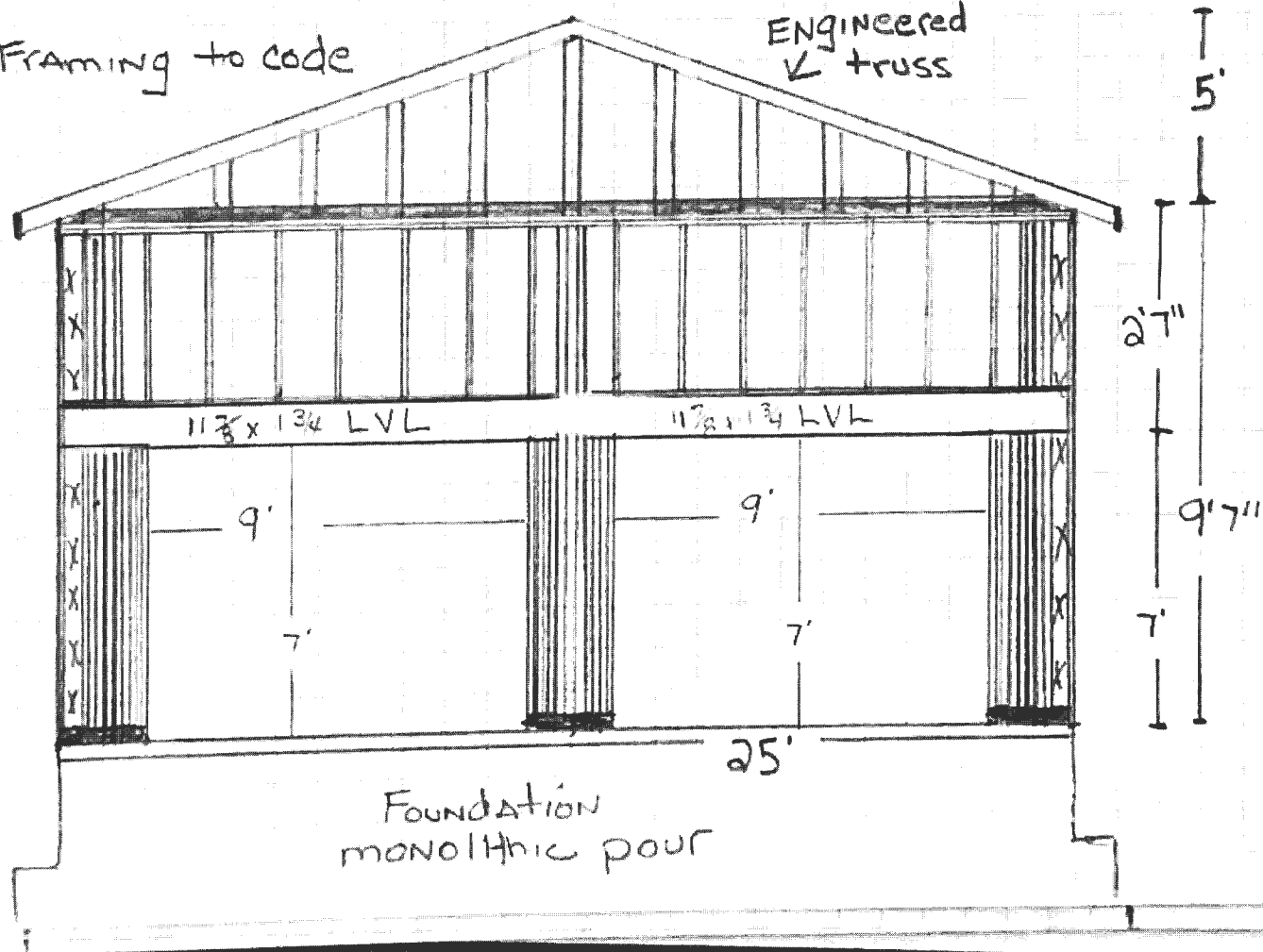
blocking would be at 4' AND 8' IF ANY open space.

5/8 OSB plywood will be nailed to code.

portal Framing to code

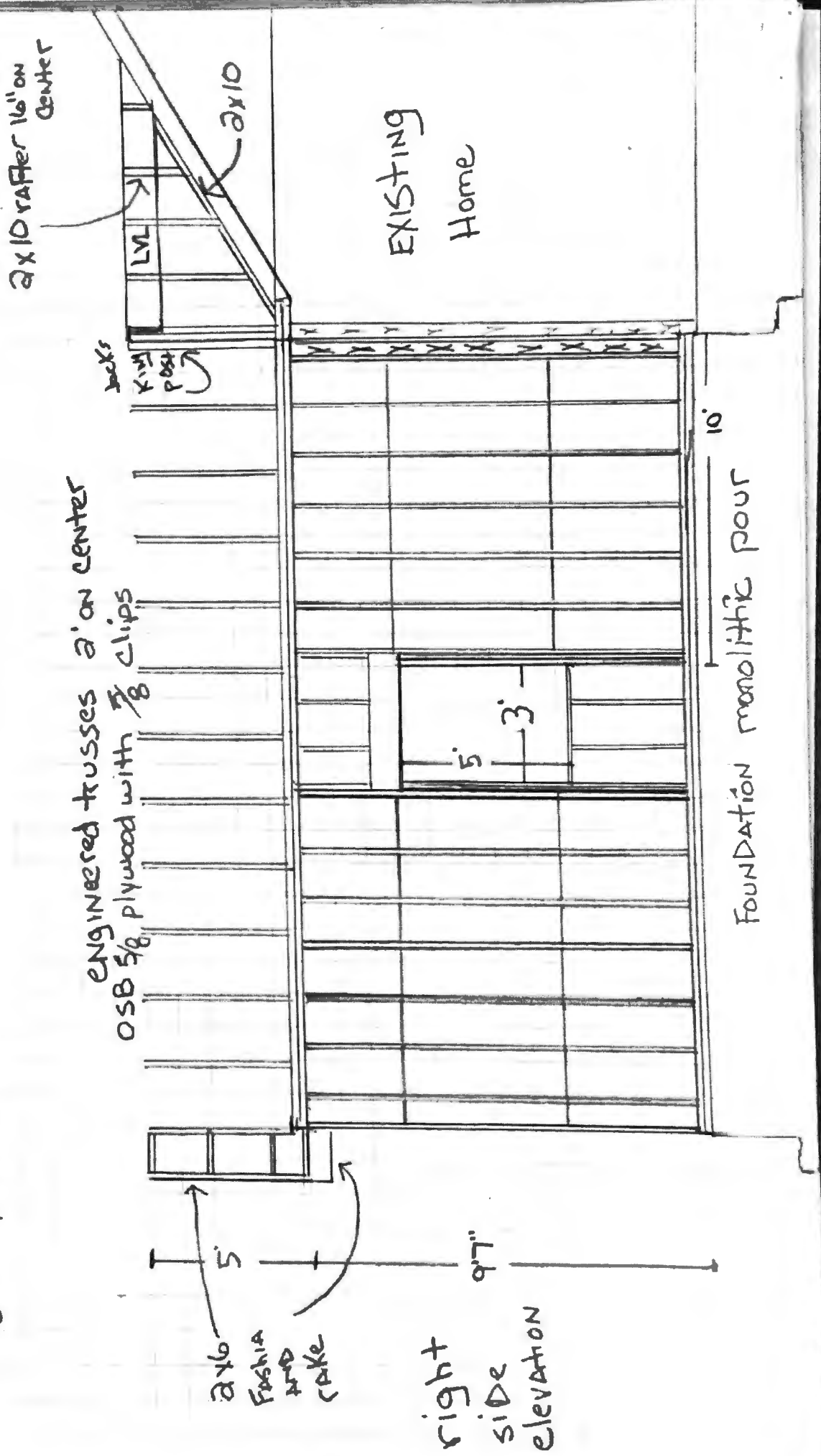
ENGINEERED
truss

Front
Elevation



Wall Framing

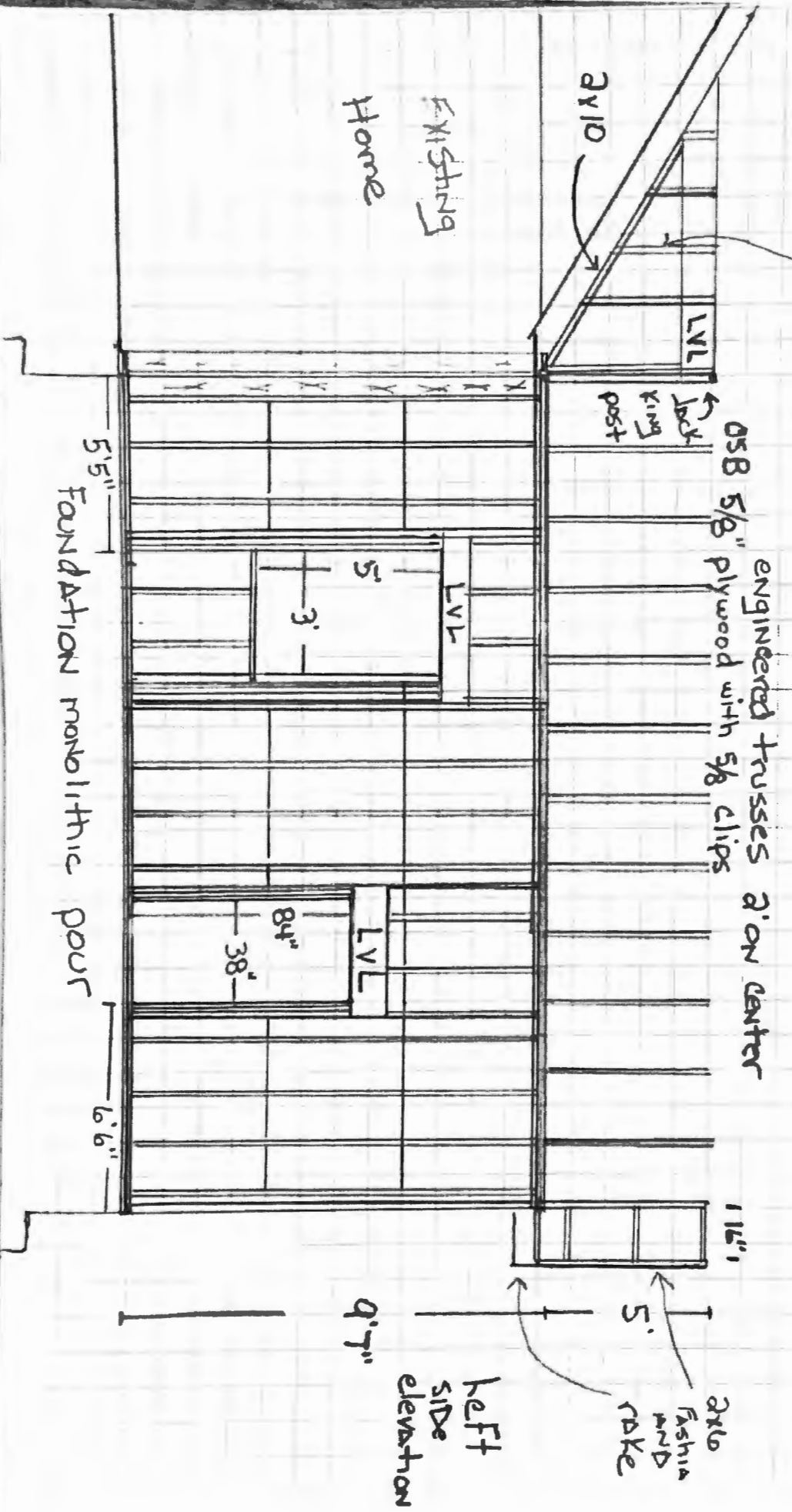
Double treated bottom plate with vapor barrier and M12 J bolt every 4'
 LVL Header will be supported using 2 JACK studs at each end.
 Solid wall tie will be on end of wall by existing garage
 Double top plate and 2x4 studs 16" on center
 blocking would be at 4' and 8'
 5/8 OSB plywood will be nailed to code.



Wall Framing

Double treated bottom plate with vapor barrier and m1a J bolt every 4'
 LVL Header will be supported using 2 jack studs at each end.
 Solid wall tie will be on end of wall by existing garage.
 Double top plate and 2x4 studs 16" on center
 Blocking would be at 4' and 8'
 5/8" OSB plywood will be nailed to cable

2x10 rafters 16" on center



OSB 5/8" plywood with 5/8" clips
 engineered trusses 2'0" on center

Left side elevation
 9'7"

2x10 fascia and rake

FOUNDATION monolithic pour

Existing Home

2x10

LVL

Jack King post

LVL

LVL

11 1/2"

5'

5'

3'

84"

38"

5'5"

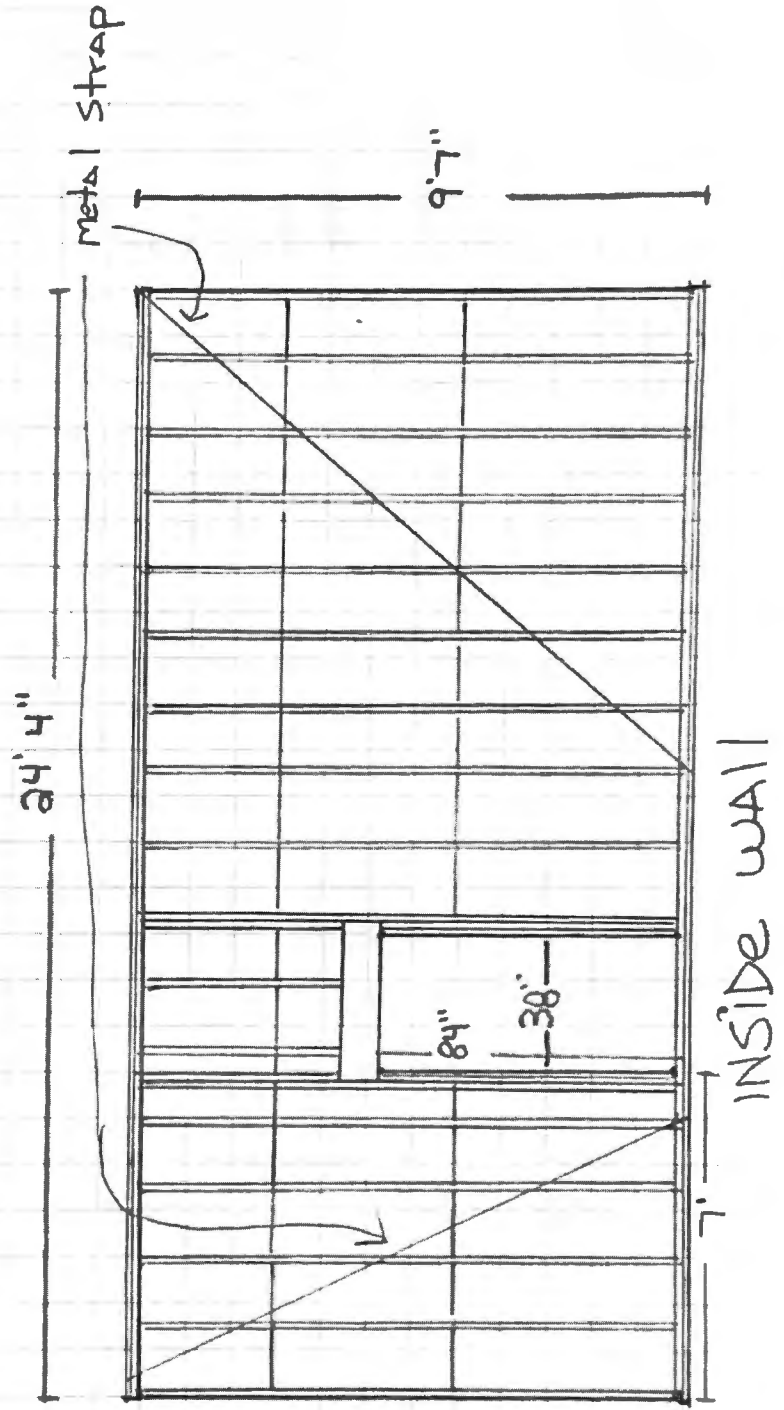
6'6"

INSIDE WALL

Double treated bottom plate with vapor barrier and m12 J bolts every 4'
Double top plate and 2x4 studs 16" on center
FVL header with two Jack studs on each end
blocking will be at 4' and 8'
R13 insulation in walls
5/8 Drywall Fire rated

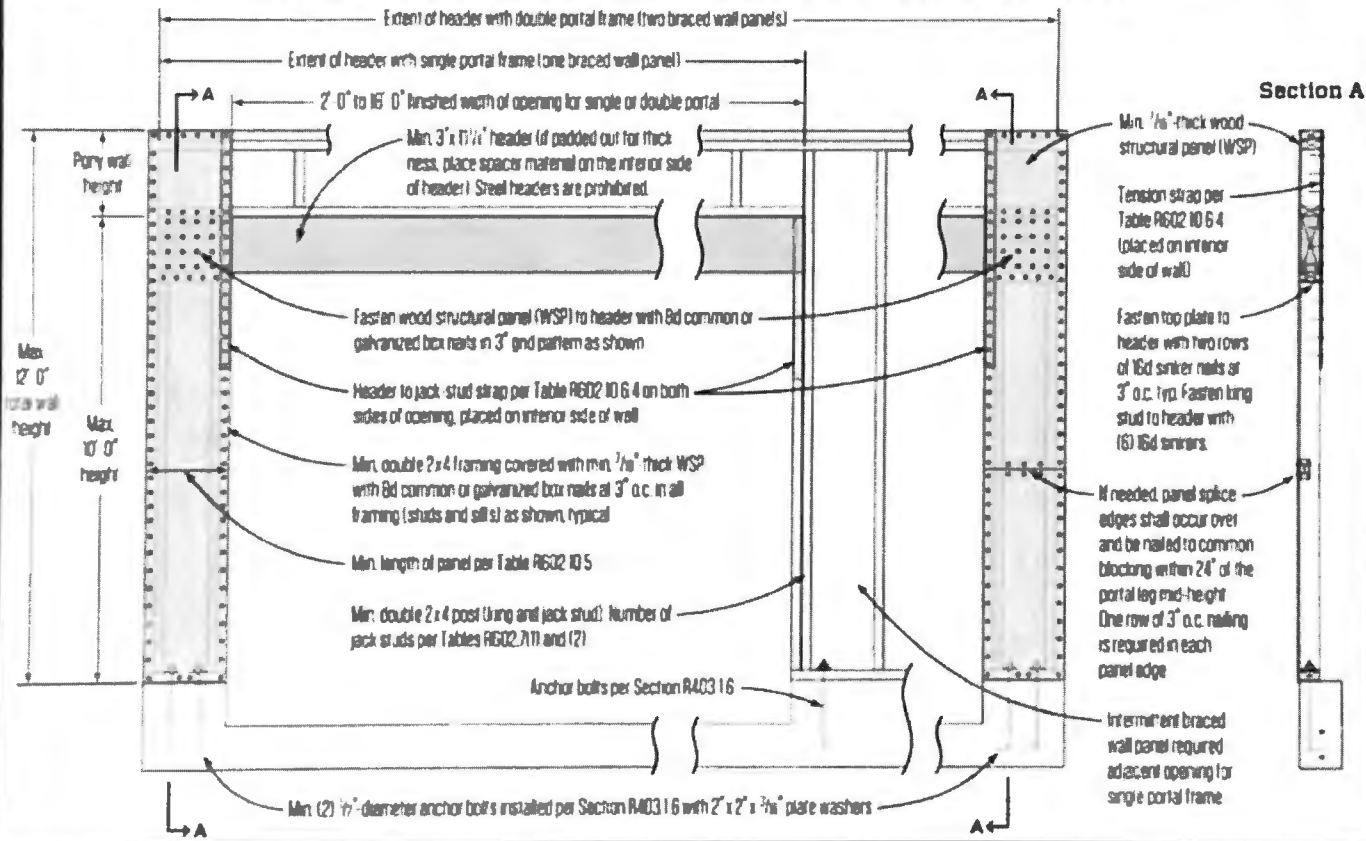
interior wall

BACK WALL



Method PFG (Portal Frame at Garage Door Openings)

Front Elevation

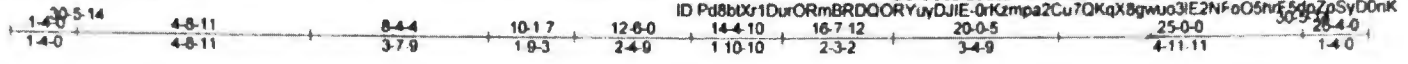


Job ABW-83850B	Truss T1AT	Truss Type ATTIC	Qty 13	Ply 1	Job Reference (optional)
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SMT LLC Jarrettsville MD 21084

8/10/25 Jul 25 2024 MiTek Industries Inc Mon Dec 2 12 13 13 2024 Page 1

ID Pd8b1x1DurORmBRDQORyuyDJIE-0rKzmpa2Cu7OKqX8gwu3IE2NFoO5Nre5dpZpSyD0nk



Scale = 1/4" = 1'-0"

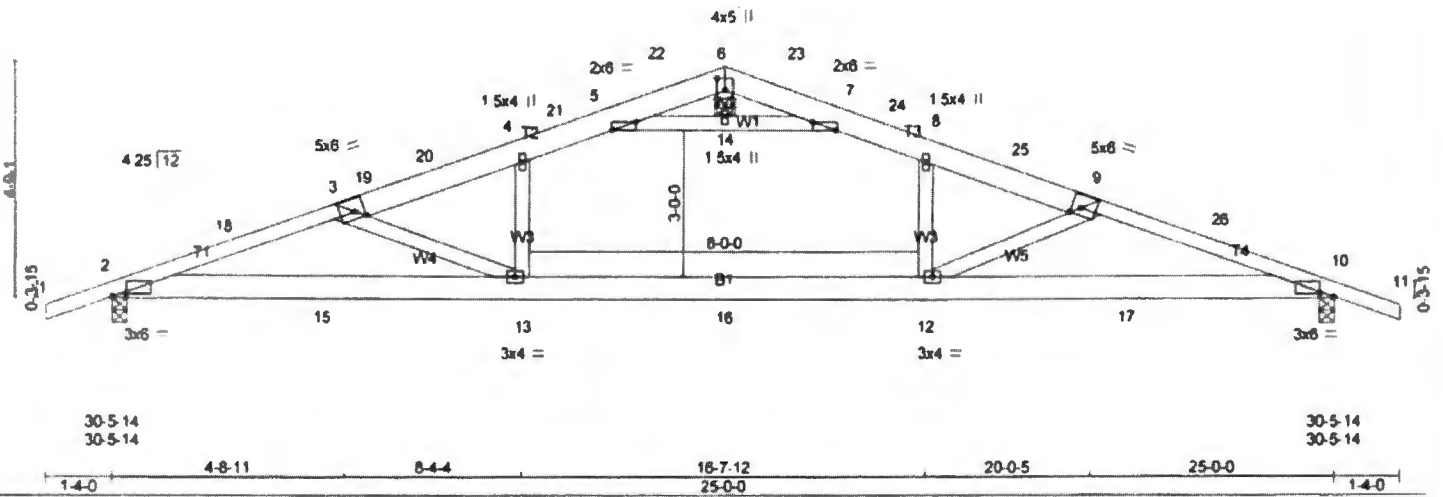


Plate Offsets (X Y) - [2 0-3-7 0-0-12] [3 0-2-4 0-1-12] [5 Edge 0-2-0] [6 0-3-0 0-2-0] [7 Edge 0-2-0] [9 0-2-4 0-1-12] [10 0-3-7 0-0-12]

LOADING (psf)	SPACING-	CSI.	DEFL.	PLATES	GRIP
TCLL (roof) 30 0	Plate Gnp DOL 2-0-0	TC 0 73	in (loc) l/defl L/d	MT20	244/190
Snow (Ps/Pg) 27 7/40 0	Lumber DOL 1 15	BC 0 47	Vert(LL) -0 31 12-13 >965 240		
TCDL 10 0	Rep Stress Incr YES	WB 0 56	Vert(CT) -0 47 12-13 >624 180		
BCLL 0 0	Code IRC2018/TP12014	Matrix-R	Horz(CT) 0 06 10 n/a n/a		
BCDL 10 0			Attic -0 13 12 13 783 360	Weight 143 lb	FT = 0%

LUMBER-
TOP CHORD 2x4 SP No 1 *Except
T3, T2 2x6 SP No 1
BOT CHORD 2x6 SP 2400F 2 OE
WEBS 2x4 SP No 2

BRACING-
TOP CHORD Structural wood sheathing directly applied or 3-0-9 oc purtins
BOT CHORD Rigid ceiling directly applied or 10-0-0 oc bracing
WEBS 1 Row at midpt 5-7

MiTek recommends that Stabilizers and required cross bracing be installed during truss erection in accordance with Stabilizer Installation guide

REACTIONS. (lb/size) 2=1402/0-3-8 (min 0-1-8), 10=1402/0-3-8 (min 0-1-8)
Max Horz 2=-88(LC 13)
Max Uplift 2=-221(LC 8) 10=-221(LC 9)
Max Grav 2=1506(LC 3) 10=1506(LC 3)

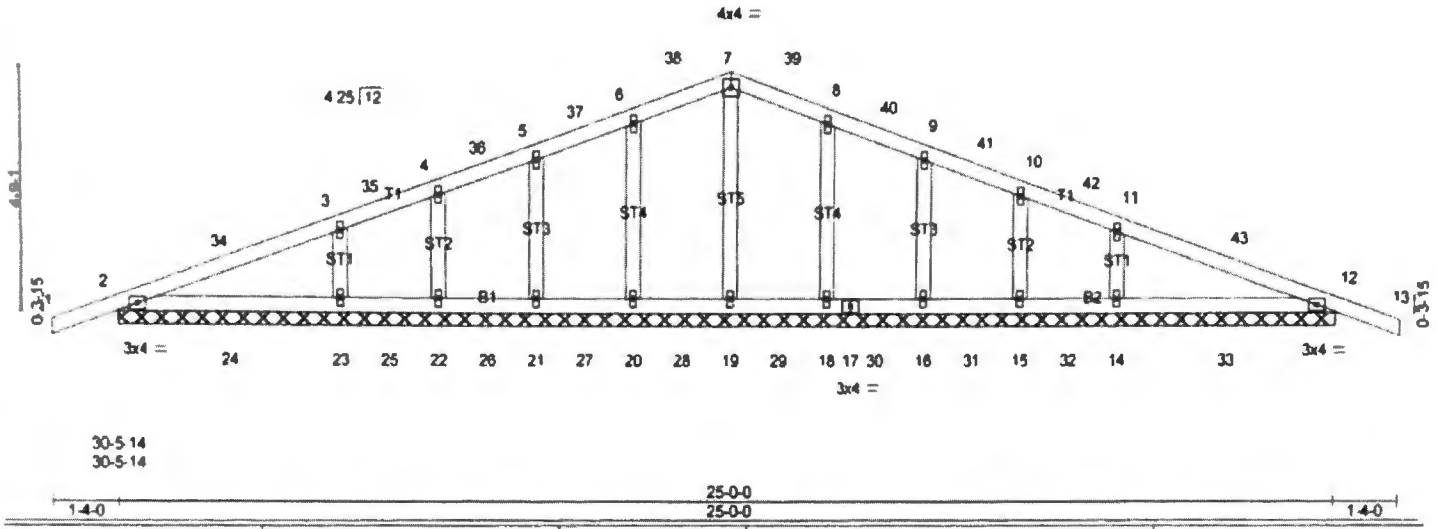
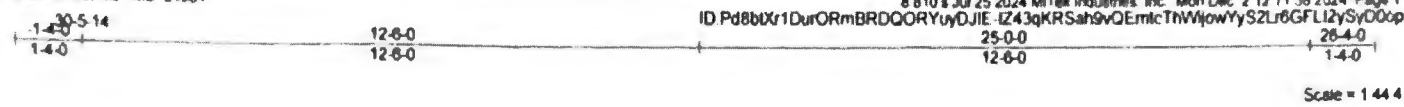
FORCES. (lb) - Max Comp /Max Ten - All forces 250 (lb) or less except when shown
TOP CHORD 2-18=-3751/299 3-18=-3698/311 3-19=-3165/144 19-20=-3128/148, 4-20=-3098/153
4-21=-2827/185 5-21=-2787/192 7-24=-2786/192 8-24=-2626/185 8-25=-3107/154
9-25=-3170/146, 9-26=-3680/303 10-26=-3735/291
BOT CHORD 2-15=-296/3497 13-15=-296/3497, 13-16=-68/2888 12 16=-68/2888 12-17=-214/3479
10-17=-214/3479
WEBS 5-14=-3014/90 7 14=-3014/90 4 13=0/762 8-12=0/797 3-13=-875/265 9-12=-884/261
6-14=0/266

- NOTES-**
- Unbalanced roof live loads have been considered for this design
 - Wind ASCE 7-16 Vult=115mph (3-second gust) Vasd=91mph TCDL=4 2psf BCDL=6 0psf h=30ft, Cat II Exp C, Enclosed MWFRS (envelope) gable end zone, cantilever left and right exposed, end vertical left and right exposed Lumber DOL=1 33 plate gnp DOL=1 33
 - TCLL ASCE 7-16, Pr=30 0 psf (roof LL Lum DOL=1 15 Plate DOL=1 15) Pg=40 0 psf Ps=27 7 psf (Lum DOL=1 15 Plate DOL=1 15) Is=1 0 Rough Cat C Fully Exp Ce=0 9 Cs=1 00 Ct=1 10
 - Roof design snow load has been reduced to account for slope
 - Unbalanced snow loads have been considered for this design
 - This truss has been designed for greater of min roof live load of 12 0 psf or 2 00 times flat roof load of 27 7 psf on overhangs non-concurrent with other live loads
 - As requested plates have not been designed to provide for placement tolerances or rough handling and erection conditions It is the responsibility of the fabricator to increase plate sizes to account for these factors
 - This truss has been designed for a 10 0 psf bottom chord live load nonconcurrent with any other live loads
 - * This truss has been designed for a live load of 20 0psf on the bottom chord in all areas where a rectangle 3-6-0 tall by 2-0-0 wide will fit between the bottom chord and any other members
 - Ceiling dead load (5 0 psf) on member(s) 4-5 7-8 5-14, 7-14 Wall dead load (5 0psf) on member(s) 4-13, 8-12
 - Bottom chord live load (40 0 psf) and additional bottom chord dead load (5 0 psf) applied only to room 12-13
 - Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 100 lb uplift at joint(s) except (jt=lb) 2=221 10=221

Job	Truss	Truss Type	Qty	Ply	Job Reference (optional)
ABW 030508	TIG	GABLE	1	1	

SMT LLC, Jarrettsville MD 21084

ID: Pd8bXr1DurORMBRDQORyUyDJIE-IZ43qKRSAh9vQE.mic:TNVjowYySZLr8GFLI2ySyD00p
 8/10 a Jul 25 2024 MiTek Industries, Inc. Mon Dec 2 12 11 38 2024 Page 1



LOADING (psf)	SPACING-	CSI	DEFL	PLATES	GRIP
TCLL (roof) 30 0	2-0-0	TC 0 27	in (loc) Vdefl L/d	MT20	244/190
Snow (Ps/Pg) 27 7/40 0	Plate Gnp DOL 1 15	BC 0 16	Vert(LL) 0 00 12 n/r 120		
TCDL 10 0	Lumber DOL 1 15	WB 0 06	Vert(CT) 0 01 13 n/r 90		
BCLL 0 0	Rep Stress Incr YES	Matrix-R	Horz(CT) 0 00 12 n/a n/a		
BCDL 10 0	Code IRC2018/TPI2014			Weight 116 lb	FT = 0%

LUMBER-
 TOP CHORD 2x4 SP No 2
 BOT CHORD 2x4 SP No 2
 OTHERS 2x4 SP No 2

BRACING-
 TOP CHORD Structural wood sheathing directly applied or 6-0-0 oc purlins
 BOT CHORD Rigid ceiling directly applied or 10-0-0 oc bracing

MiTek recommends that Stabilizers and required cross bracing be installed during truss erection, in accordance with Stabilizer Installation guide

REACTIONS. All bearings 25-0-0
 (lb) - Max Horz 2=-90(LC 13)
 Max Uplift All uplift 100 lb or less at joint(s) 2 20 21 22 18 16 15 except 23=-113(LC 12) 14=-113(LC 13)
 12=-111(LC 9)
 Max Grav All reactions 250 lb or less at joint(s) 19 22 15 except 2=314(LC 2) 20=267(LC 19) 21=288(LC 19)
 23=428(LC 2) 18=267(LC 20) 16=288(LC 20) 14=428(LC 2), 12=314(LC 2)

FORCES. (lb) - Max Comp /Max Ten - All forces 250 (lb) or less except when shown
WEBS 3-23=-322/150 11-14= 322/150

- NOTES-**
- Unbalanced roof live loads have been considered for this design
 - Wind ASCE 7-16 Vuft=115mph (3-second gust) Vasd=91mph TCDL=4 2psf BCDL=6 0psf h=30ft Cat II, Exp C Enclosed MWFRS (envelope) gable end zone cantilever left and right exposed, end vertical left and right exposed Lumber DOL=1 33 plate gnp DOL=1 33
 - Truss designed for wind loads in the plane of the truss only For studs exposed to wind (normal to the face) see Standard Industry Gable End Details as applicable, or consult qualified building designer as per ANSI/TPI 1
 - TCLL ASCE 7-16 Pr=30 0 psf (roof LL Lum DOL=1 15 Plate DOL=1 15) Pg=40 0 psf Ps=27 7 psf (Lum DOL=1 15 Plate DOL=1 15) Is=1 0 Rough Cat C Fully Exp, Ce=0 9 Cs=1 00, Ct=1 10
 - Roof design snow load has been reduced to account for slope
 - Unbalanced snow loads have been considered for this design
 - This truss has been designed for greater of min roof live load of 12 0 psf or 2 00 times flat roof load of 27 7 psf on overhangs non-concurrent with other live loads
 - As requested plates have not been designed to provide for placement tolerances or rough handling and erection conditions It is the responsibility of the fabricator to increase plate sizes to account for these factors
 - All plates are 1 5x4 MT20 unless otherwise indicated
 - Gable requires continuous bottom chord bearing
 - Gable studs spaced at 2-0-0 oc
 - This truss has been designed for a 10 0 psf bottom chord live load nonconcurrent with any other live loads
 - * This truss has been designed for a live load of 20 0psf on the bottom chord in all areas where a rectangle 3-6-0 tall by 2-0-0 wide will fit between the bottom chord and any other members
 - Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 100 lb uplift at joint(s) 2, 20 21 22, 18, 16, 15 except (if=lb) 23=113, 14=113, 12=111
 - This truss is designed in accordance with the 2018 International Residential Code sections R502 11 1 and R802 10 2 and referenced standard ANSI/TPI 1
 - This truss has been designed for a moving concentrated load of 50 0lb live located at all mid panels and at all panel points along the Top Chord and Bottom Chord nonconcurrent with any other live loads
- Continued on page 2

8/21/97
3:30

PERMIT

SEWAGE DISPOSAL SYSTEM

DEPARTMENT OF HEALTH AND MENTAL HYGIENE

05-376971

HOWARD COUNTY HEALTH DEPARTMENT

BUREAU OF ENVIRONMENTAL HEALTH
467-8993 313-2640

INDEXED

P 58944

A REPAIR

DISTRICT _____

DATE 8/21/97

DATE SYSTEM APPROVED 8/21/97

INSPECTOR DKS/au

Jack Fyock Septic Service IS PERMITTED TO INSTALL _____ ALTER X

ADDRESS 4105 Ten Oaks Road Glenelg, MD 21737 PHONE (410) 988-9270

SUBDIVISION White Oak Estates LOT 14 ROAD 6830 Santa Maria Avenue

PROPERTY OWNER Howard

ADDRESS _____

SEPTIC TANK CAPACITY 1250 GALLONS

NUMBER OF BEDROOMS 4

125 SQUARE FEET PER BEDROOM

LINEAR FEET OF TRENCH REQUIRED 84' ±

REPAIR - PURPOSE - Septic system has failed.

Call for inspection when ground is opened so sanitarian can recommend repair. 08/15/97

Existing drywell and trench to be maintained - repair trench w/ dist. box to be installed off drywell in septic area. Trench to be 2' wide, inlet 4', bottom 10', stone 6'.

PLANS APPROVED BY Donald J. Lee DATE 8/21/97

COVER NO WORK UNTIL INSPECTED AND APPROVED

NEITHER THE HOWARD COUNTY COUNCIL NOR THE HEALTH DEPARTMENT IS RESPONSIBLE FOR THE SUCCESSFUL OPERATION OF ANY SYSTEM

NOTE: CLEANOUT REQUIRED EVERY 70 FEET OF SEWER LINE AND/OR AT 90° SWEEPS IN LINES FROM HOUSE TO DRAIN FIELDS, 90° ELBOWS NOT ACCEPTABLE.

NOTE: ALL PARTS OF SEPTIC SYSTEMS (I.E. TANK, DISTRIBUTION BOX TRENCHES) TO BE 100 FEET FROM WELL (UNLESS OTHERWISE SPECIFICALLY AUTHORIZED)

NOTE: IF DEEP TRENCH(ES) ARE USED CALL FOR INSPECTION BEFORE AND AFTER PLACING GRAVEL IN TRENCH(ES)

NOTE: NO DRY WELL SHALL EXCEED 15 FOOT IN DIAMETER NO ABSORPTION TRENCH TO EXCEED 100 FEET IN LENGTH

NOTE: ALL PIPE FROM HOUSE TO SEPTIC TANK MUST BE CAST IRON OR SCHEDULE 35/40 PVC OR ABS

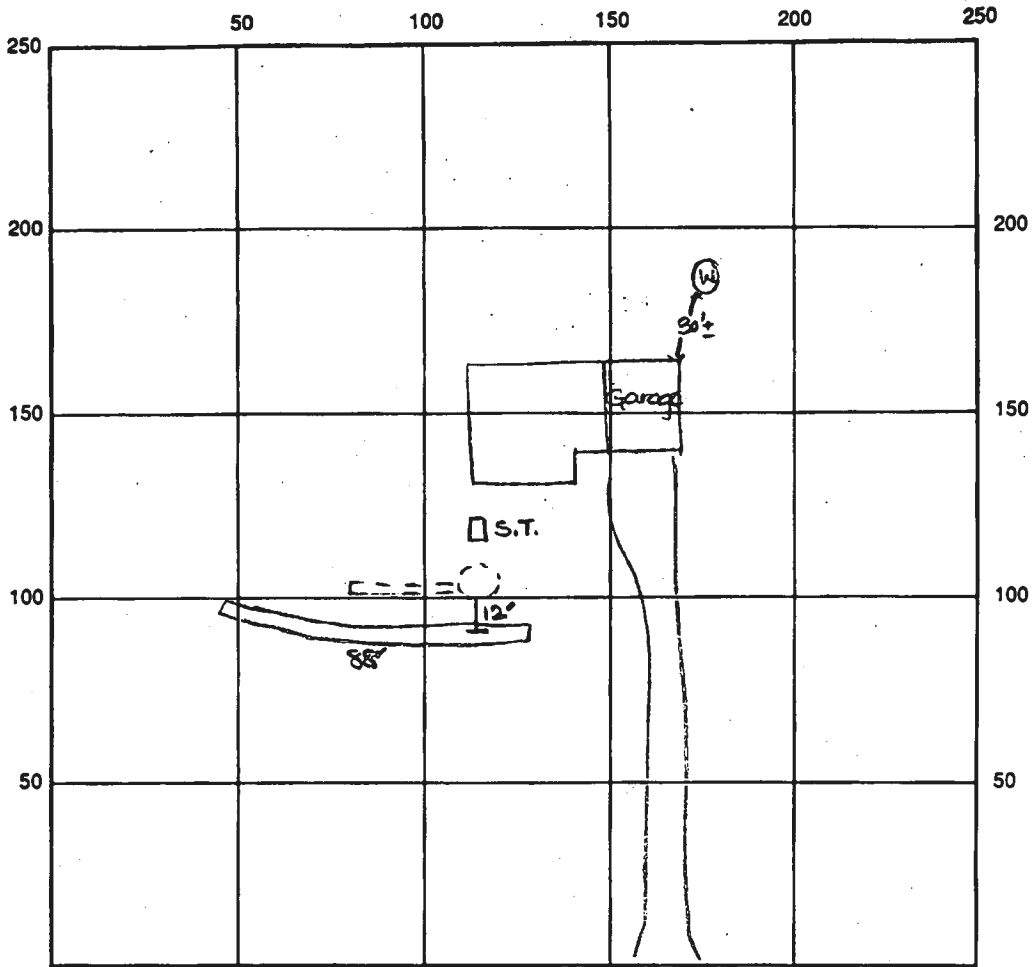
PERMIT VOID AFTER TWO YEARS

NOTE: INSTALL STAND PIPE ON SEPTIC TANK AND DRY WELL STAND PIPES MUST BE 6 INCHES IN DIAMETER CAST IRON. CONCRETE OR TERRA COTTA OR PVA OR ABS ACCEPTED. IF TOP OF SEPTIC TANK IS DEEPER THAN 3 FEET. MANHOLE TO GRADE REQUIRED.

NOTE: DISTRIBUTION BOXES MUST HAVE BAFFLES

***INSTALLER IS RESPONSIBLE FOR OBTAINING FINAL APPROVAL ON THIS PERMIT**

P 58944



INDICATE NORTH - NAME ADJOINING ROADWAY AS BASE LINE

Santa Maria Ave.

SEPTIC TANK LEVEL Existing CLEANOUTS one on s.t., one on d.w.

DISTRIBUTION BOX LEVEL N/A

DRAIN FIELD/TITLE DEPTH 10 FT. TRENCH WIDTH 2 FT. INLET DEPTH 3.5 FT.

EFFECTIVE GRAVEL DEPTH 6.5 FT. TOTAL LENGTH 88 FT.

NUMBER OF TRENCHES 1 ONE SIDEWALL/BOTTOM AREA 572 SQ. FT.

DRYWALL INSIDE DIAMETER Exist. FT. EFFECTIVE DEPTH BELOW INLET Ex FT.

ABSORBENT AREA 572 SQ. FT. + EX.

REMARKS: 8/21/97 OK to start work as specified. DKS

8/21/97 FINAL INSP - OK to cover all work. DKS

DATE SYSTEM APPROVED

8/21/97

INSPECTOR

[Signature]

PERMIT

SEWAGE DISPOSAL SYSTEM

MARYLAND STATE DEPARTMENT OF HEALTH

HOWARD COUNTY

ELLICOTT CITY

INDEXED

DISTRICT 1

DATE 3/8/76

File
-22922
~~20520~~
A 20520

Jack Fyock IS PERMITTED TO INSTALL X ALTER

ADDRESS Ten Oaks Road, Dayton, Maryland PHONE 286-2939

A SEWAGE DISPOSAL SYSTEM LOCATED AT _____

SUBDIVISION White Oaks Estates ROAD Unnamed LOT 14, Sec. 1

PROPERTY OWNER David Payne, Builder

ADDRESS _____

SPECIFICATIONS - 4 bedrooms

DRAIN FIELD _____ DEPTH _____ FEET, BOTTOM AREA _____ SQ. FT.

SEEPAGE PITS _____ ABSORBENT SIDE WALL AREA _____ SQ. FT.

SEPTIC TANK CAPACITY 1,250 GALLONS

FOR GARBAGE GRINDER, INCREASE DISPOSAL AREA 20% & TANK CAPACITY 50%.

OTHER Dry well to have 135 sq. ft. effective absorbent sidewall area per bedroom below

the first 5 ft. of original soil. Inlet can come in at 4 ft. and maximum depth 12 ft. below

original soil, Location: 85 ft. from right property line and 95 ft. from unnamed road

when facing lot from unnamed road, (Per hole 1 & 1A).

NOTE: ALL PIPE FROM HOUSE TO DISPOSAL AREA MUST BE CAST IRON.

PERMIT VOID AFTER THREE YEARS.

NOTE: INSTALL STAND PIPE ON SEPTIC TANK AND DRY WELL. STAND PIPE MUST BE 6" IN DIA.,

PLANS APPROVED BY C. B. Streaker/H. J. Zbar DATE 7/11/75

CAST IRON, CONCRETE OR TERRA COTTA ACCEPTED.

FILL SEPTIC TANK AND DISTRIBUTION BOX WITH WATER BEFORE CALLING FOR AN INSPECTION. COVER ND WORK

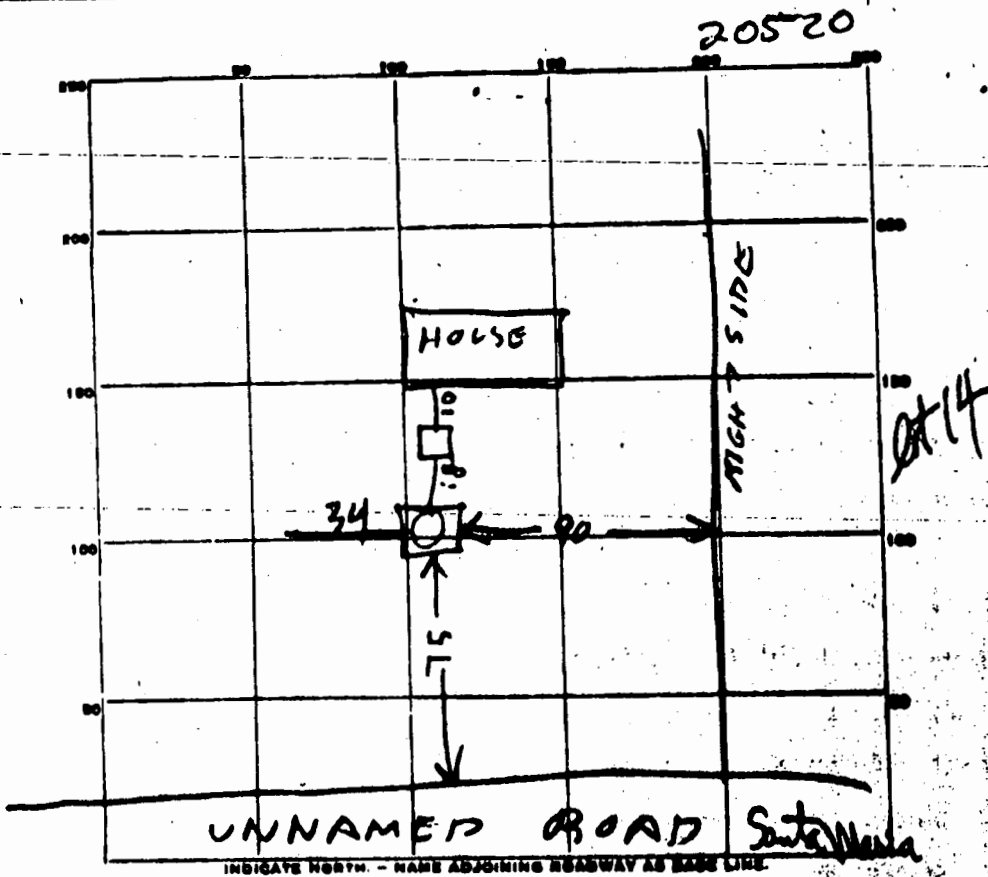
UNTIL INSPECTED AND APPROVED.

NEITHER THE HOWARD COUNTY COMMISSIONERS NOR THE HEALTH DEPARTMENT IS RESPONSIBLE FOR THE

SUCCESSFUL OPERATION OF ANY SYSTEM.

*11x11x11 35' long 1 ft stone
7 ft 11" hole -> 1 ft long
slit*

20520



PERMIT CARD OK

SEPTIC TANK, LEVEL OK 1250 CLEANOUTS OK

DISTRIBUTION BOX, LEVEL ↔

DITCH
FIELD, DEPTH 11 FT. TRENCH WIDTH 2 FT.
GRAVEL DEPTH: 8 1/2 IN. TOTAL LENGTH: 34 FT.
NUMBER OF TRENCHES 1 TOTAL BOTTOM AREA -

PERIMETRY 48 FT. DEPTH BELOW INLET 8 FT.
ABSORBENT AREA 336 SQ. FT. BELOW

REMARKS
3/15/76 4 BED ROOM HOUSE 540 SQ FT REQUIRED
3/15/76 DW INLET 4 FT BELOW GRADE
DITCH INLET TO BE 4 FT "

3/15/76 245 PM - DITCH TANK & DRY WELL COVERED
NOTE ON CARD INDICATED THAT I WAS INSPECTED
BY CBS TODAY (Trench checked only!!) they not check!!

DATE SYSTEM APPROVED 3/15/76 INSPECTOR C. B. [Signature]

3818

WATER RESOURCES ADMINISTRATION
TAVES STATE OFFICE BLDG., ANNAPOLIS, MD. 21401
WELL COMPLETION REPORT

COUNTY NUMBER 20520

DATE RECEIVED (THIS USE ONLY)
DATE WELL COMPLETED Oct 29, 1975

DEPTH OF WELL 185
TO NEAREST FOOT

WELL NO. FROM "HEAVY LOGGING WELL"
110-73-11217

OWNER Payne 14501 Home Crest Dr. POST OFFICE Liberty Springs, Md.

WELL LOG
STATE THE KIND OF FORMATION PENETRATED, THEIR COLOR, DEPTH, THICKNESS AND IF WATER BEARING

DESCRIPTION (USE APPROPRIATE CODES)	DEPTH		WATER BEARING
	FROM	TO	
<u>Sand</u>	<u>0</u>	<u>60</u>	
<u>Shale (Block)</u>	<u>60</u>	<u>185</u>	<input checked="" type="checkbox"/>

GRouting RECORD
WELL HAS BEEN GROUTED (CIRCLE APPROPRIATE BOX)

NO. OF BAGS 14 NO. OF POUNDS 1316
BALLONS OF WATER 84
DEPTH OF GROUT SEAL (TO NEAREST FOOT)
FROM 0 TO 40

CASING RECORD
MAIN CASING TYPE 5 7 6 63
OTHER CASING (IF USED)
DIAMETER (INCH) DEPTH (FEET)

SCREEN RECORD
DIAMETER OF SCREEN (INCH) DEPTH (FEET)

DEPTH (NEAREST WHOLE FOOT)
1 61 185

PUMPING TEST
PUMPING TEST (CIRCLE APPROPRIATE BOX)

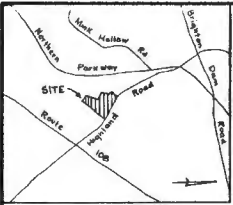
WATER LEVEL (DISTANCE FROM LAND SURFACE)
DEPTH OF PUMPING 45
TYPE OF PUMP USED (CIRCLE APPROPRIATE BOX)

PUMP INSTALLATION
TYPE OF PUMP (CIRCLE APPROPRIATE LETTER)

LOCATION OF WELL ON LOT
15 ft
right lot line
170 ft
170 ft lot line

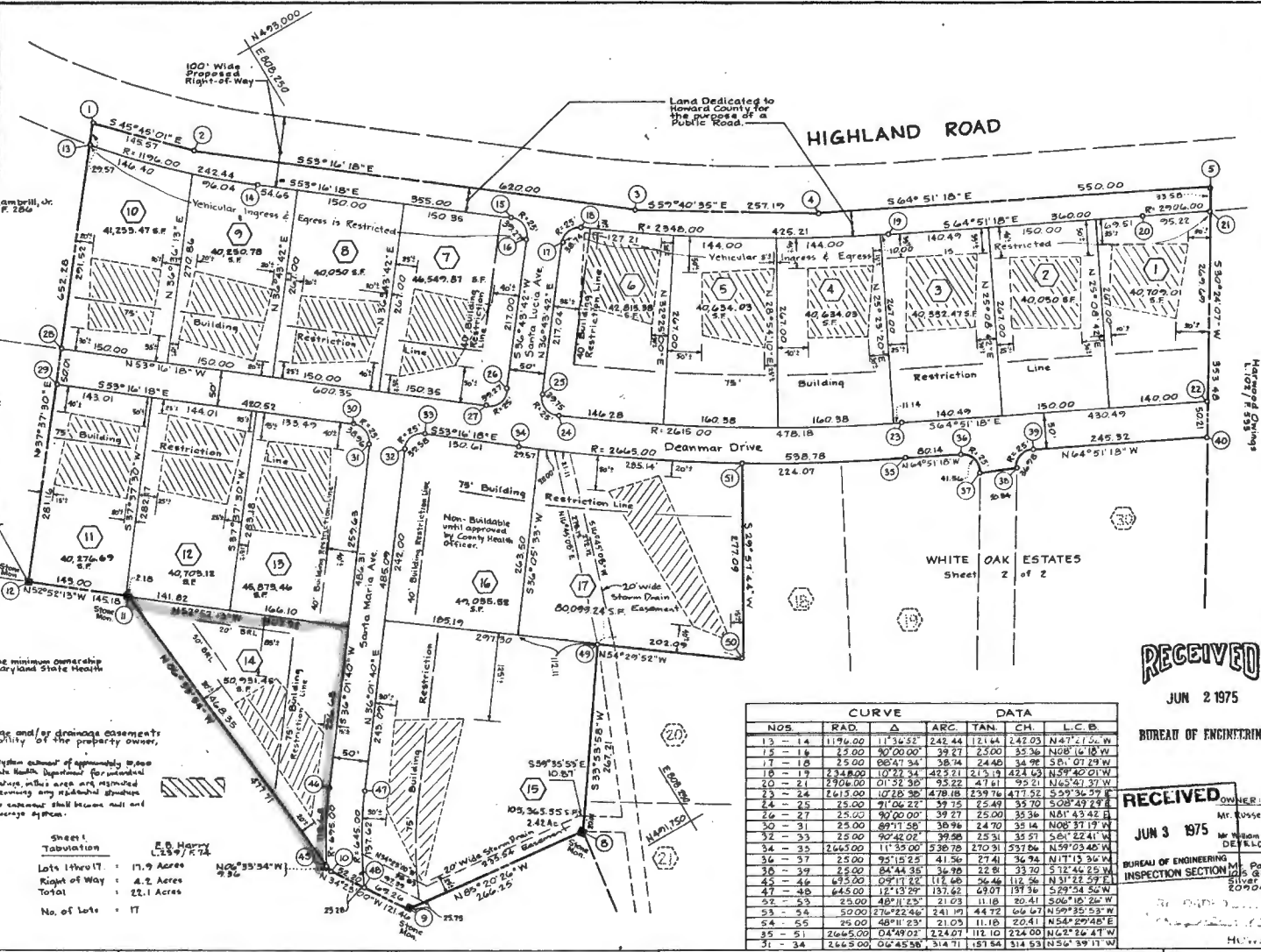
CIRCLE APPROPRIATE BOXES
A WELL WAS ABANDONED AND SEALED WHEN THIS WELL WAS COMPLETED
B ELECTRIC LOG OBTAINED
C TEST WELL CONVERTED TO PRODUCTION WELL
I I HAVE COMPLIED WITH ALL CONDITIONS STATED ON THE ABOVE CAPTIONED "PERMIT TO DRILL WELL" AND THAT INFORMATION CONTAINED IN THIS REPORT IS TRUE, ACCURATE, AND COMPLETE TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF.
DRILLER'S NAME: ...
SIGNATURE: ...

WELL IDENTIFICATION NO. 138
DATE RECEIVED (THIS USE ONLY)
DATE WELL COMPLETED
WELL NO. FROM "HEAVY LOGGING WELL"
OWNER
STREET OR RFD
POST OFFICE
CIRCLE APPROPRIATE BOXES
WELL HAS BEEN GROUTED
NO. OF BAGS
NO. OF POUNDS
BALLONS OF WATER
DEPTH OF GROUT SEAL
CASING RECORD
SCREEN RECORD
PUMPING TEST
PUMP INSTALLATION
LOCATION OF WELL ON LOT



VICINITY MAP Scale: 1"=1000'
 R. & H. Gambrell, Jr.
 L. 225 / P. 286

Note: Maryland State and Coordinate System used.



The lots shown herein comply with the minimum ownership shown herein and the responsibility of the property owner, their successors or assigns.

Maintenance of all storm drainage and/or drainage easements shown herein are the responsibility of the property owner, their successors or assigns.
 This area designates a private storm drainage system of approximately 2.000 square feet of ground, by the Maryland State Health Department, for residential sewage disposal. Improvements shown on this area are intended to provide public drainage facilities and prevent any individual structures constructed on these building sites. This easement shall become null and void upon connection to a public sewerage system.

Sheets 1 & 2
TABULATION

All Lots	40.9 Acres	Lots Herein	17.9 Acres
Right-of-Way	5.3 Acres	Right-of-Way	4.2 Acres
Total	46.2 Acres	Total	22.1 Acres
No. of Lots	30	No. of Lots	17

Sheet Tabulation
 Lots Herein 17.9 Acres
 Right-of-Way 4.2 Acres
 Total 22.1 Acres
 No. of Lots 17

APPROVED: For Drains Water and Private Sewerage Systems, Howard County Health Department
 County Health Officer: *[Signature]* Date: *[Date]*

APPROVED: Howard County Office of Planning and Zoning
 Planning Director: *[Signature]* Date: *[Date]*

APPROVED: Storm Drainage Systems and Roads, Howard County Department of Public Works
 Director: *[Signature]* Date: *[Date]*

OWNER'S DEDICATION

We, Russell Maske and William C. Mitchell, owners of the property shown and described hereon, hereby adopt this plan of subdivision and reserve the fee simple title to the beds of the streets shown hereon, and in consideration of the approval of this plan by the Office of Planning and Zoning of Howard County, I, Myself, my heirs, or assigns do hereby give and grant unto Howard County, Maryland, the right and option to acquire for the consideration of One Dollar, the fee simple title to the beds of the streets and/or roads shown hereon, within the period of 5 years from the date of the recording of this plan among the Land Records of Howard County, including the land dedicated hereon for the widening of Highland Road.

Signature: _____ Date: _____

SURVEYOR'S CERTIFICATE

I hereby certify that the Final Plat shown hereon is correct; that it is a subdivision of all of the lands conveyed by Harwood W. Owens to Russell Maske, M.C.M. & W.C. deed dated 8/31/75, and recorded in the Land Records of Howard County, in Liber 460 Folio 23, and that all monuments are in place as shown, in accordance with the Annotated Code of Maryland, as amended.

Date: 5-6-75
Richard P. Browne
 Registered Land Surveyor #5238

CURVE DATA

NO.	RAD.	ARC.	TAN.	CH.	L.C.B.
13 - 14	1196.00	11°36'52"	242.44	121.44	242.03 N47°15'56"W
15 - 16	15.00	90°00'00"	39.27	25.00	35.36 N08°16'18"W
17 - 18	25.00	88°47'34"	38.74	24.40	34.98 S61°07'29"W
18 - 19	234.00	10°22'34"	423.21	215.19	421.63 N59°40'01"W
20 - 21	2306.00	01°52'30"	95.22	47.61	95.91 N65°57'37"W
23 - 24	2615.00	10°28'38"	478.18	239.76	477.52 S59°36'57"E
24 - 25	25.00	91°06'22"	39.75	25.49	35.70 S08°49'29"E
26 - 27	25.00	90°00'00"	39.27	25.00	35.36 N61°43'42"E
30 - 31	25.00	89°11'58"	38.94	24.70	35.14 N08°31'19"E
32 - 33	25.00	90°42'02"	39.96	25.31	35.57 S61°22'41"W
34 - 35	2665.00	11°35'00"	538.78	270.31	537.06 N59°03'45"W
36 - 37	25.00	95°15'25"	41.56	27.41	36.94 N11°12'36"W
38 - 39	84.44	38°38'	22.81	33.70	51.24 S25°34'W
45 - 46	65.00	09°11'22"	112.48	36.46	112.56 N31°32'59"E
47 - 48	645.00	12°13'29"	137.62	69.07	137.36 S29°34'36"W
49 - 53	25.00	48°11'25"	21.03	11.18	20.41 S06°18'26"W
53 - 54	50.00	27°22'44"	24.19	44.72	64.07 N59°55'53"W
54 - 55	29.00	48°11'25"	21.03	11.18	20.41 N54°29'45"E
55 - 51	2665.00	04°49'02"	224.07	112.10	224.00 N62°26'47"W
51 - 34	2665.00	06°45'58"	314.71	157.84	314.53 N56°39'11"W

COORDINATE SCHEDULE

No.	NORTH	EAST
1	493017.157	808006.539
2	492915.580	808110.812
3	492544.807	808607.789
4	492414.954	808829.732
5	492181.255	809327.612
6	490621.930	808412.090
7	490839.858	807975.425
8	491816.468	808112.666
9	491838.097	807847.296
10	491938.335	807778.704
11	492412.912	807724.088
12	492500.548	807608.357
13	492993.738	807788.487
14	492830.114	808166.828
15	492617.817	808431.353
16	492582.829	808456.440
17	492553.350	808496.829
18	492558.747	808531.391
19	492344.498	808897.892
20	492191.330	809223.777
21	492152.291	809310.617
22	491919.681	809174.135
23	492102.600	808784.441
24	492344.121	808372.508
25	492379.994	808376.032
26	492408.908	808326.669
27	492409.822	808291.682
28	492762.843	807810.514
29	492723.237	807779.986
30	492471.759	807117.022
31	492437.018	808122.290
32	492406.620	808162.070
33	492411.952	808197.176
34	492333.847	808301.855
35	492025.559	808763.196
36	492025.285	808855.745
37	491988.002	808846.884
38	491970.635	808894.464
39	491980.614	808926.651
40	491876.374	807146.725
45	491947.628	807777.655
46	492043.719	807836.250
47	492014.310	807876.687
48	491895.254	807808.184
49	492038.255	808261.497
50	491920.896	808426.215
51	492160.956	808564.603
52	491299.475	808500.468
53	491279.186	808489.825
54	491312.923	808440.725
55	491324.778	808457.545

RECEIVED
 JUN 2 1975
 BUREAU OF ENGINEERING

RECEIVED
 JUN 3 1975
 BUREAU OF ENGINEERING
 INSPECTION SECTION

OWNER:
 Mr. Russell Maske 4505 Baltimore Ave. Hyattsville, Md.
 DEVELOPER:
 Mr. William C. Mitchell 5611 Landover Road Hyattsville, Md.
 SURVEYOR:
 Mr. Paul Kottis
 1155 Gadsden Ave.
 Silver Spring, Md.
 20904

RICHARD P. BROWNE ASSOCIATES
 ENGINEERS SURVEYORS PLANNERS ARCHITECTS
 COLUMBIA, MD.
 PEACHTREE CITY, GA. WAYNE, N. J.

WHITE OAK ESTATES
 HIGHLAND ROAD
 CLARKSVILLE, MD
 5th Election District Howard County, Md.
 SHEET 1 of 2
 DATE: 5-6-75 SCALE: 1"=100'

#437

1-75-14 y.p.