

Bureau of Environmental Health
 8930 Stanford Boulevard, Columbia, MD 21045
 Main: 410-313-2640 | Fax: 410-313-2648
 TDD 410-313-2323 | Toll Free 1-866-313-6300
www.hchealth.org
 Facebook: www.facebook.com/hocohealth

Maura J. Rossman, M.D., Health Officer

RECEIPT DATE: 3-17-25 **ONSITE SEWAGE DISPOSAL SYSTEM** P 587984

APPROVAL DATE: 3/27/2025 **PERMIT:** Tank UPGRADE
Replacement A _____

PROPERTY ADDRESS: 1020 Sunset Valley Drive

SUBDIVISION: _____ LOT: _____ TAX ID: _____

CONTRACTOR: South Carroll Backhoe EMAIL: scbackhoe@verizon.net

CONTRACTOR ADDRESS: 4410 Salem Bottom Road, Westminster, MD 21157 PHONE: 410-596-3618

PROPERTY OWNER: Mark Herboldt EMAIL: _____

OWNER ADDRESS: 1020 Sunset Valley Drive, Sykesville, MD 21784 PHONE: _____

SEPTIC TANK SIZE (GALLONS): 2000 TANK MANUFACTURER: Babylon Vault

PUMP MODEL: _____ PUMP SIZE _____ PUMP TANK CAPACITY: _____

DISTRIBUTION SYSTEM: GRAVITY PRESSURE DOSED BEDROOMS: _____ APPLICATION RATE: _____

TRENCHES:	LINEAR FEET REQUIRED: _____	INLET DEPTH: _____
	TRENCH WIDTH: _____	MAXIMUM BOTTOM DEPTH: _____
	MINIMUM SPACE BETWEEN TRENCHES: _____	EFFECTIVE AREA BEGINNING DEPTH: _____
LOCATION:		
NOTES:	Septic tank to existing sewer line. Septic tank will be less than 3' cover and at least 1% fall throughout.	

ISSUED BY: Melanie Esterhuysen MDE ISSUE DATE: 3-17-25 EXPIRATION DATE: 3-17-26

- NOTE: CONTRACTOR MUST SCHEDULE A PRE-CONSTRUCTION INSPECTION PRIOR TO BEGINNING ANY INSTALLATION
- NOTE: CONTRACTOR REGISTERED WITH THE STATE OF MD ON-SITE WASTEWATER PROFESSIONALS BOARD: CONFIRMED
- NOTE: CONTRACTOR MUST SCHEDULE AN INSPECTION AND GAIN APPROVAL OF ALL COMPONENTS PRIOR TO COVERING
- NOTE: STONE MUST BE APPROVED BY HEALTH DEPARTMENT AND GRAVEL TICKET MUST BE AVAILABLE FOR REVIEW.
- NOTE: WATERTIGHT TANKS REQUIRED
- NOTE: ALL PARTS OF SEPTIC SYSTEM SHALL BE AT LEAST 100 FEET DOWNGRADIENT FROM ANY WATER WELL
- NOTE: MANHOLE RISERS REQUIRED ON ALL SEPTIC TANKS AND PUMP CHAMBERS
- NOTE: AN ELECTRICAL PERMIT IS REQUIRED FOR INSTALLATION OF ANY ELECTRICAL COMPONENTS OF THE SYSTEM
 ELECTRICAL PERMIT ISSUED E N/A
- NOTE: MDE RECOMMENDS SEPTIC TANKS, BAT, AND OTHER PRETREATMENT UNITS BE PUMPED AT A FREQUENCY ADEQUATE TO ENSURE THAT SOLIDS ARE NOT DISCHARGED TO THE DISPOSAL AREA

NEITHER THE HOWARD COUNTY COUNCIL NOR THE HEALTH DEPARTMENT IS RESPONSIBLE FOR THE SUCCESSFUL OPERATION OF ANY SYSTEM.
PERMITTEE RESPONSIBLE FOR OBTAINING FINAL APPROVAL ON THIS PERMIT.
CALL 410-313-1771 TO SCHEDULE INSPECTIONS.



3/27/25 Remains 4' of pipe installed. (M3)

Williams, Jeffrey

From: Williams, Jeffrey
Sent: Monday, March 10, 2025 2:21 PM
To: Mark Herboldt
Subject: RE: 1020 Sunset Valley septic tank plan

Hello. I reviewed the plan and approved. In review, this is not the easiest plan to understand. The latest version you emailed me with all the elevations listed on it is enough to approve, but previous versions were missing that. For future reference, we have an OSDS plan guidance document on our website that can help plan preparers provide a plan to us that has all the components we need for approval.

South Carroll can come pay for and pick up the upgrade permit when they are ready. If you would like to pay and pick it up, just have them contact us saying it is acceptable to give you their permit to transport to them. They will need a copy of the permit and plan onsite. Thanks

Jeff Williams
Deputy Director
Bureau of Environmental Health
Howard County Health Dept.
8930 Stanford Blvd. Columbia, MD 21045
410-313-4261
www.hchealth.org

DISCLAIMER: This e-mail is intended only for the individual to whom it is addressed. It may be used only in accordance with applicable laws. If you are not the intended recipient, you are strictly prohibited from reading, disseminating, distributing, or copying this message. If you received this e-mail by mistake, please notify the sender and destroy this e-mail

From: Mark Herboldt <countryviewbuilders@yahoo.com>
Sent: Monday, March 10, 2025 11:21 AM
To: Williams, Jeffrey <jewilliams@howardcountymd.gov>
Subject: Fwd: 1020 Sunset Valley septic tank plan

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

Hi Mr. Williams,

Would it be possible to review this revised drawing. My septic installer was told the permit would be released last week. Melanie had concerns over the invert angle or drop from the home to the distribution box. We do have at least 37" that seem to be more than adequate. We have been patient but fail to see why this we still cannot get our permit for the tank replacement. Is there any way you can help expedite this process? Our construction of our addition has been on hold since June of 2024.

Thank you

Mark Herboldt
Sales and operations manager
Country View Builders
PH 410-300-5332

Begin forwarded message:

From: Mark Herboldt <countryviewbuilders@yahoo.com>
Date: March 10, 2025 at 11:03:41 AM EDT
To: Melanie Eshenbaugh <MEshenbaugh@howardcountymd.gov>
Subject: Re: 1020 Sunset Valley septic tank plan

Hi Melanie,

Per our last discussion. You had requested the elevation at the entry point of the distribution box (569'.8") also the depth of soil at the old tank 24" and the depth of soil at the new tank 20" and the elevation 572'.1"

We have the main house sewer pipe exiting the house at 572'.9" and a distance to the distribution tank of 74' linear feet and entering the pipe at 569'.8". This gives us an invert or drop of 37" over the 74'. This was your concern. If you calculated a minimum of 1/4" (.250) x 74 linear foot that gives us 18 1/2" and we have 33". I believe we have more than enough drop based on standard guidelines. But of course this is for your department to determine.

As mentioned all of the 4" pipe from exiting the home to the distribution tank will be changed to standard PVC pipe and removing the old thin wall PVC that currently exists. This also allows up to ensure even and consistent drop from the house to the new tank and from the new tank to the distribution tank.

Please advise me if there is any reason at this point that would prevent us from getting our permit to proceed with our tank replacement.

Also please respond when you do receive this email so I know you received my revised drawing.

Thank you

Mark Herboldt
Sales and operations manager
Country View Builders
PH 410-300-5332

On Mar 4, 2025, at 5:24 PM, Mark Herboldt
<countryviewbuilders@yahoo.com> wrote:

Hi Melanie,

Thank you for taking the time to discuss our septic system last week. My wife and I were glad you took the time to answer our questions.

In response to your requests I have attached a drawing with the Invert Elevations, tanks depths and interior measurements. Everything is referenced measuring off elevation 575'7" as shown on the drawing. All locations were measured on site to show more accurate data for the Invert dimensions and tank depths. All drain pipe elevations are the "water line" of each pipe or base of the pipe. Please look over this drawing and let me know if you are good with our information. My septic installer is ready to begin the work of moving the tank but of course needs his permit approved. He has also gone over all of the data and confirmed that this should satisfy the missing information. Please get back to us as soon as possible. I look forward to your response.

Thank you

<attachment 1.pdf>

Mark Herboldt
Sales and operations manager
Country View Builders
PH 410-300-5332

On Feb 28, 2025, at 11:06 AM, Eshenbaugh, Melanie
<MEshenbaugh@howardcountymd.gov> wrote:

Good morning Mark,

I wanted to ensure you received the information that we spoke about yesterday and to clarify some details discussed regarding the elevations on the plan. First I have provided the link for the HC GIS and the reference datum is NAD83 (North American Datum of 1983). See the link for access @ <https://data.howardcountymd.gov/InteractiveMap.html> and I have provided the maps to more accurately reflect the contour lines for your property (see attached). In regard to the plan that provided the elevations, I pulled the record file for your property and the plan with the elevations was a design plan, but the septic tank elevations are based off of that and not where the tank was installed in the field as

you have shown on your sketch plan as well as our as-built sketch. As previously mentioned the invert elevations will need to be provided for both the existing tank and new tank location as well as the depths of the tanks. Our inspection supervisor stated he is fine with the contour data shown even though it doesn't show a true representation of the property topography. In other words, there is no need to worry about revising the topographic lines. As for the new tank location this has a **20'** setback to your proposed addition and does not need to be 30' away as currently shown. If the septic contractor believes that the new tank location should be closer than the 30' shown than you can get as close as 20' away to the proposed addition. Kevin spoke to your contractor Ken Schisler this morning to relay the elevation information we need to complete our review and hopefully have this plan approved soon. Please work with your licensed septic contractor to get us the information needed for the new septic tank installation. Please let me know if you have any other questions and thank you kindly.

Melanie Eshenbaugh
Bureau of Environmental Health
Howard County Health Dept.
8930 Stanford Blvd. Columbia, MD 21045
www.hchealth.org

<image001.png>

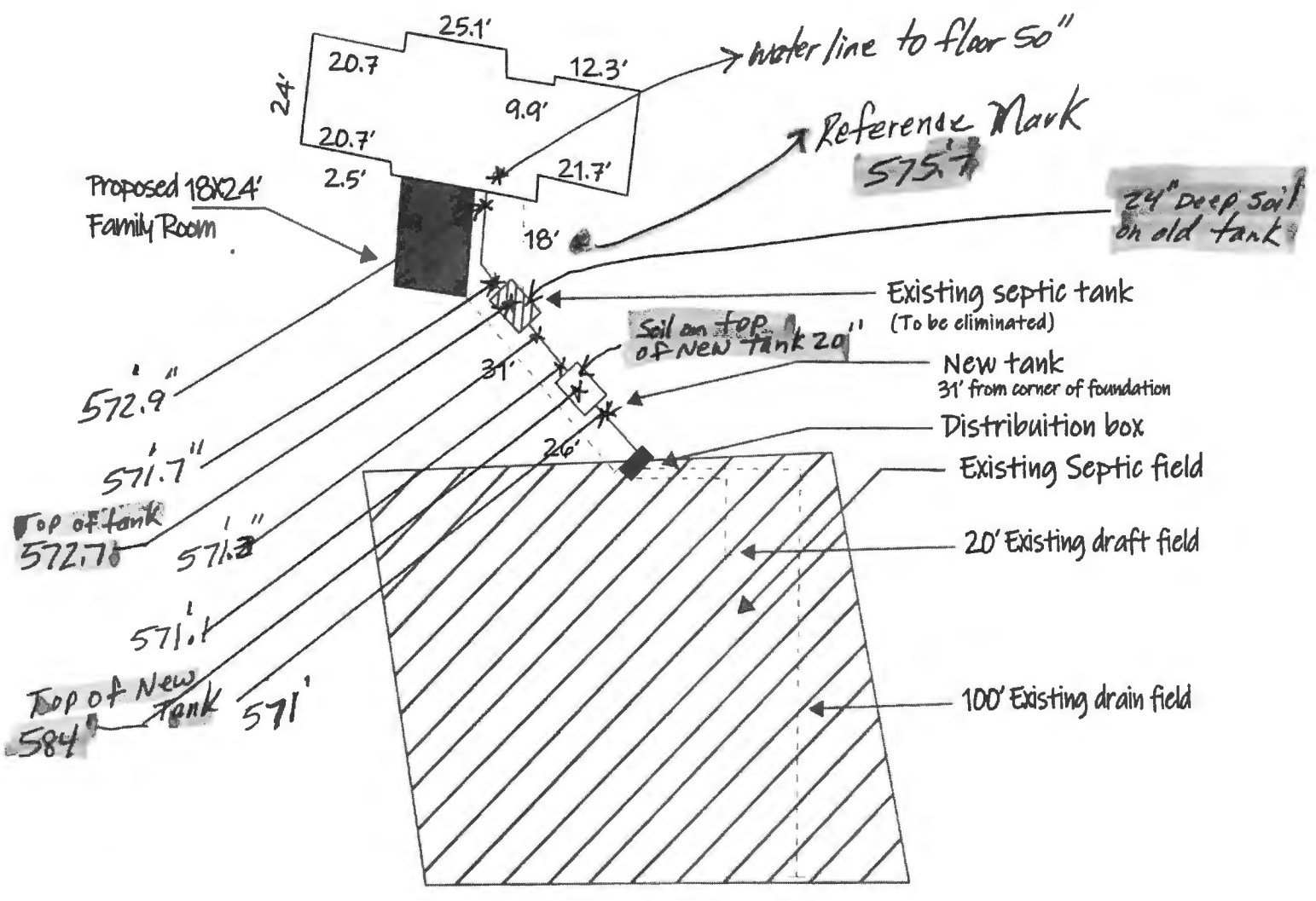
CONFIDENTIALITY NOTICE

This message and the accompanying documents are intended only for the use of the individual or entity to which they are addressed and may contain information that is privileged, confidential, or exempt from disclosure under applicable law. If the reader of this email is not the intended recipient, you are hereby notified that you are strictly prohibited from reading, disseminating, distributing, or copying this communication. If you have received this email in error, please notify the sender immediately and destroy the original transmission.

<1020 Sunset Valley.pdf>

<1020 Sunset Valley 1.png>

Expanded View Site Plan



Onsite Sewage Disposal System Design Plan

Property: 1020 Sunset Valley Dr. Sykesville, MD 21784
 Property Owner: Mark Herboldt
 Contractor: Country View Builders Inc
 Plan Designer: South Carroll Backhoe Inc. Ken Schishler
 Ken: 410-596-3618 Office: 410-8754197
 4410 Salem Bottom RD Westminster, MD 21157
Plat Reference: Section two - Sunset Valley
Lots 1-12, recorded in Platbook 5356

Scale: 1/4" = 10'

Williams, Jeffrey

From: Williams, Jeffrey
Sent: Tuesday, June 25, 2024 9:50 AM
To: countryviewbuilders@yahoo.com
Subject: B23004799 1020 Sunset Valley Dr
Attachments: OSDS Design Plan Requirements 10-25-2018.pdf

Hello Mr. Herboldt. I reviewed the file after our phone call yesterday. I do believe there are some errors in our response to you that I can explain and clarify below. I do have a question or two as well. To start: the proposed addition is just large enough to trigger the requirement for us to evaluate the existing system to verify it is adequate for the existing and proposed use. It also requires that the property have a sewage disposal area established via a perc certification plan.

In looking at the file, I do see the plan establishing your area and I do see the perc notes. While the notes are not quite as detailed as we would like, they do have just enough info to know the depths at which the suitable soil starts and ends. I think they are acceptable to confirm the existing sewage disposal area. As for the existing system, I do have the septic permit and as-built drawing from the installation. The trenches are not equal length, which is not how we would install them today, but otherwise they seem to be constructed according to current standards. The permit states it was installed for 3 bedrooms. The tank is sized for 3, but a calculation of the trench sizing using our current sizing formula has them adequate for 4 bedrooms. The one issue is that the trenches were installed to 10' depth while the perc tests stopped at 13' depth. Current regulation requires 4' of suitable soil beneath a trench bottom.

I also took a look at your floor plan. I see two bedrooms on the second floor and one on the first floor. The office in the basement could be counted as a bedroom if it had a window in it (any size, not just egress size), but the floor plan seems to show no window. Is there no window in that room? I see a sheet showing the second floor layout with room measurements provided. Did that come from you? The measurements do not seem to line up with the dimensions from the drawing, but its hard to tell. Is the storage space truly only 4' wide? It looks wider than that as drawn. If it is truly that small, it would not be big enough to count as a bedroom by our code definition.

If the office has no window and the storage space is that small, I would count only 3 bedrooms in the house. That would mean the trenches are big enough for the proposed use. We would just be left with not knowing if the soil is good to 14' in the area. For your project, I think we could check the soil depth when the new tank is installed. IF the contractor digs a test hole near the trenches down to 14' with good soil, we can confirm the trenches as suitable for the building permit.

The last point is regarding the tank replacement. A 2000 gallon tank is more than enough size for the proposed use. It is true that we cannot issue a septic permit to a contractor without having an approved design plan on file. That is why Melanie could not give the contractor anything when he came to the office. As we discussed, that is a requirement instituted by MDE in 2023 to the local health departments.

We cannot issue a septic permit for the tank replacement without first getting a design plan to approve. The contractor can attempt to produce one or you can hire a surveyor/engineer company that has worked with our office to produce one. The OSDS plan guidance fact sheet from our website is attached. For a tank replacement only, we need a plan showing the proposed location with 2' topography contour lines shown. It must show the sewer profile with the depth of the existing sewer lines and the proposed tank. It must also have a cross section of the tank from the tank manufacturer. The critical piece for your property will be the depths. It looks like the ground elevation is a little uphill at the trenches from where the sewer line leaves the house. The trench inlets are listed as 4.5' below grade. The plan preparer will need to know the field verified elevation of the sewer line where it leaves the house and where the tank is being proposed. They should be able to do that by checking the depths of the line leaving the house and the depth of the current tank. This is important here because the line needs to have at least 1% fall and the maximum tank depth is 3' to the lid. That will be tight in this case. We've had tank replacements in the past where assumptions were made about

depths and during installation they were found to be wrong and the tank could not be installed as planned. The purpose of the detailed plan is to avoid those problems.

To sum up, in order to issue a septic permit, we need the design plan as described above. While the new tank is installed, we will need the contractor to dig a test hole near the trenches to 14'. If the soil is good and once we approve the septic permit, we can sign off on the building permit. This is also assuming the answers to the bedroom questions above. Let me know those answers and if you have any questions. Thanks

Jeff Williams
Deputy Director
Bureau of Environmental Health
Howard County Health Dept.
8930 Stanford Blvd. Columbia, MD 21045
410-313-4261
www.hchealth.org

DISCLAIMER: This e-mail is intended only for the individual to whom it is addressed. It may be used only in accordance with applicable laws. If you are not the intended recipient, you are strictly prohibited from reading, disseminating, distributing, or copying this message. If you received this e-mail by mistake, please notify the sender and destroy this e-mail