

*Approved
MRE 3/28/25*

Record Detail (This section is required.)

Permit Type Building/Residential/Addition/SFD Permit Number B23004799 Opened Date 12/10/2023
 Description of Work SFD/ CONSTRUCT 18 X 24 (1)STORY ADDITION FOR FAMILY ROOM/; 1 STORY, Full Basement. 0R, 0FB, 0HB, 0FP, OTHER STRUCTURE = None, 0BR, PORCH/DECK = Optional Deck, ENERGY METHOD = N/A.

[check spelling](#)

Address (This section is required.)

*Online BP assigned to MRE,
gls 4/22/24*

Search Reset Clear Get Parcel & Owner
 Street # 1020 Street Name SUNSET VALLEY Street Type DR
 Unit Type --Select-- Unit # X Coordinate -76.97883 Y Coordinate 39.34252
 City SYKESVILLE State MD Zip Code 21784 Primary Yes

Parcel (This section is required.)

Search Reset Clear Get Address & Owner
 GIS ID 832118 Parcel 305 Parcel Area 3.35 Land Value 243800 Improved Value 498600 Exemption Value 254800 Plan Area RURAL
 Legal Description IMPVLOT 11 3.352 A[]1020 SUNSET VALLEY DR[]SUNSET VALLEY S 2

[check spelling](#)

Block 11 Lot 11 Census Tract 603000 Council Dist 5 Inspection Dist Supervisor Dist Map # DAP Zone
 Plan Area State Tax Id 1403309061 Subdivision Name
 Section Area Tax Map 9
 Grid Zoning District RC-DEO ADC Map 4693-D6
 SDP No. Final Plan No. F-83-057 WP File No.
 Record Plat No. 5356 WS Contract No. FDP No. Primary Yes
 Owner Occupied Year Built 1984 Historic District No
 Historic District Registry No. Stat Area 3-01 Flood Plain No
 Building No

Owner (This section is not required.)

Search Reset Clear
 Name HERBOLDT MARK C
 Address Line 1 1020 SUNSET VALLEY DR
 Address Line 2
 Address Line 3
 Mail City SYKESVILLE Mail State MD Mail Zip Code 21784
 Phone 410-300-5332 Primary Yes
 E-mail countryviewbuilders@yahoo.com
 Cell Number 4103005332 Fax Number

Professionals (This section is not required.)

License #
 08010092160
License Type
 MHC Ind
Primary
 Yes

Business Name
 COUNTRYVIEW BUILDERS INC
First Name Middle Name Last Name
 MARK HERBOLDT
Address Line 1
 1020 SUNSET VALLEY DR
Address Line 2
 1020 SUNSET VALLEY DR
City State ZIP Code
 SYKESVILLE MD 21784-0000
Phone 1 Phone 2 Fax
 4103005332 8662325010
E-mail
 COUNTRYVIEWBUILDERS@YAHOO.COM

Applicant (This section is not required.)

Search As Owner As Lic. Prof As Contact

Type
 Applicant
Relationship
 Applicant
Primary
 No

First Name MI Last Name
 MARK HERBOLDT
Full Name
 MARK HERBOLDT
Organization Name
 COUNTRYVIEW BUILDERS INC
Street Address
 1020 SUNSET VALLEY DR
Address Line 2
 1020 SUNSET VALLEY DR
City State Zip Code
 SYKESVILLE MD 21784-0000
Phone Cell Fax
 4103005332 8662325010
E-mail
 COUNTRYVIEWBUILDERS@YAHOO.COM

Contact (This section is not required.)

Search As Owner As Lic. Prof As Contact

Type
 Contact
Relationship
 Licensed Professional
Primary
 Yes

First Name MI Last Name
 mark herboldt
Full Name
 mark herboldt
Organization Name
 country view builders inc.
Street Address
 1020 Sunset Valley dr
Address Line 2

City State Zip Code
 Sykesville MN 21784
Phone Cell Fax
 410-300-5332
E-mail
 countryviewbuilders@yahoo.com

Addtl Info

Est Construction Cost Housing Units Number of Buildings Public Owned
 40000 0 0 No
Construction Type
 101 - Single Family Houses Detached

RESIDENTIAL ADDITION INFORMATION

RESIDENTIAL ADDITION INFORMATION

Capital Project-No Fee Capital Project Number Fee Exempt Roadside Tree Project Permit Roadside Tree Project Permit #
 Yes No Yes No Yes No

No of Stories Foundation Basement No of Rooms Full Baths Half Baths Existing Use
 1 Full Basement Unfinished 0 0 0 Existing Structure

Model SFD/ CONSTRUCT 18 X 24 (1)STORY ADDITION FOR FAMILY ROOM/
 Condominium Yes No

[check spelling](#)

Other Structure None	Bedrooms 0	Porch Deck Optional Deck	No of Fireplaces 0	Type of Fireplace Prefab	Energy Code N/A		
W & S Fees Paid <input type="radio"/> Yes <input type="radio"/> No	Water Private	Sewage Private	Utilities Electric	Heating System Electric	Sprinkler System None	Road Frontage Private	
1st Floor Width FT	1st Floor Depth FT	2nd Floor Width FT	2nd Floor Depth FT	Basement Width FT	Basement Depth FT	Height FT	Building Construction Type Conventional
Total Square Footage 876	Occupiable Square Footage SQFT 876	Affordable Housing Funding SQFT N/A	Foundation Measurement FT	Footings	MIHU Outside Downtown Columbia <input type="radio"/> Yes <input checked="" type="radio"/> No	MIHU Provided Units 0	Affordable Downtown Columbia <input type="radio"/> Yes <input checked="" type="radio"/> No
Walls	Roof	Change In Use <input type="radio"/> Yes <input checked="" type="radio"/> No	Grading Permit No	Senior Housing <input type="radio"/> Yes <input checked="" type="radio"/> No	MIHU Required Units 0	Plan Submittal Electronically by Invitation from ProjectDox	
Additional Description Info					Expiration Date 10/15/2024		

[check spelling](#)

GREEN INFORMATION

Goal Level --Select--	Actual Level --Select--	Leed Registration Number	Date of Leed Certification [calendar icon]
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STORM WATER MANAGEMENT

Green Roofs A1 <input type="radio"/> Yes <input type="radio"/> No	Permeable Pavements A2 <input type="radio"/> Yes <input type="radio"/> No	Reinforced Turf A3 <input type="radio"/> Yes <input type="radio"/> No	Disconnection of Rooftop Runoff N1	Disconnection of Non Rooftop Runoff N2 <input type="radio"/> Yes <input type="radio"/> No
Sheetflow to Conservation Areas N3	Rainwater Harvesting M1	Submerged Gravel Wetlands M2	Landscape Infiltration M3	Infiltration Berms M4
Dry Wells M5	Micro Bioretention M6	Rain Gardens M7	Swales M8	Enhanced Filters M9

PSWM Certification Received in CID on [calendar icon]

Submit Cancel

Lean Cut

COUNTRY VIEW BUILDERS, INC.

MADE WITH WALT DISNEY
IMAGINATION AND LOVE

Herboldt Residence

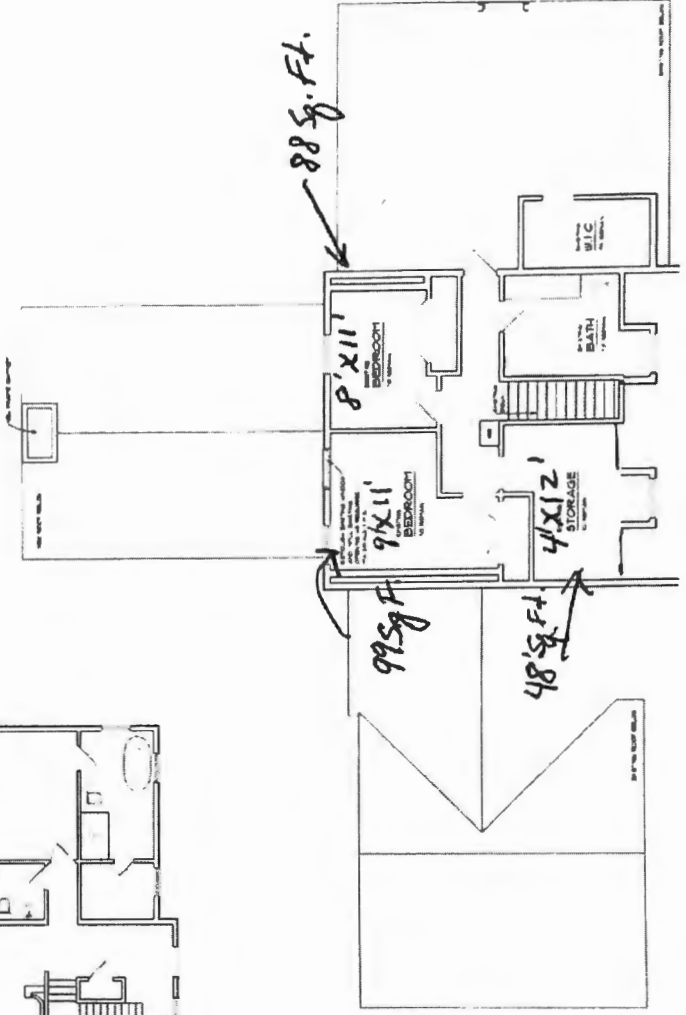
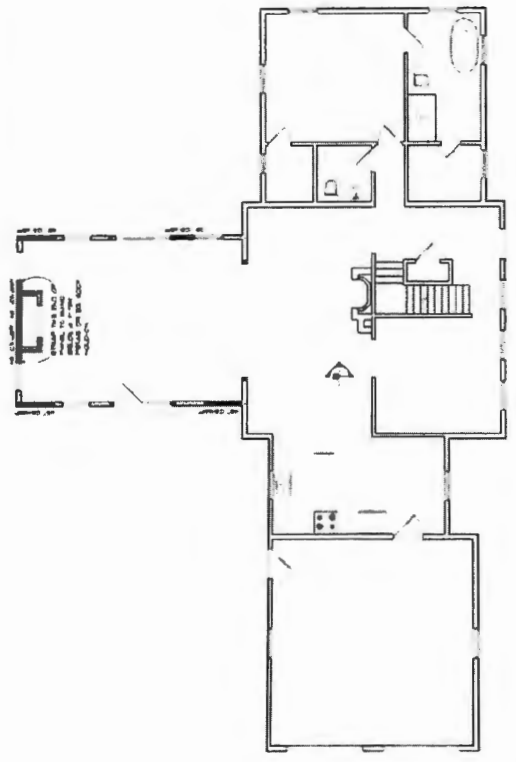
Proposed Addition to the

1001 Summit Valley Dr Sparks, Nevada 89434

FIGURE
A-5

Wall Key

- 1/2" Solid Line: 1/2" Thick Wall
- 1/4" Solid Line: 1/4" Thick Wall
- Dashed Line: 1/2" Thick Wall
- Dotted Line: 1/4" Thick Wall
- Thin Solid Line: 1/2" Thick Wall
- Thin Dotted Line: 1/4" Thick Wall
- Thin Solid Line: 1/2" Thick Wall
- Thin Dotted Line: 1/4" Thick Wall



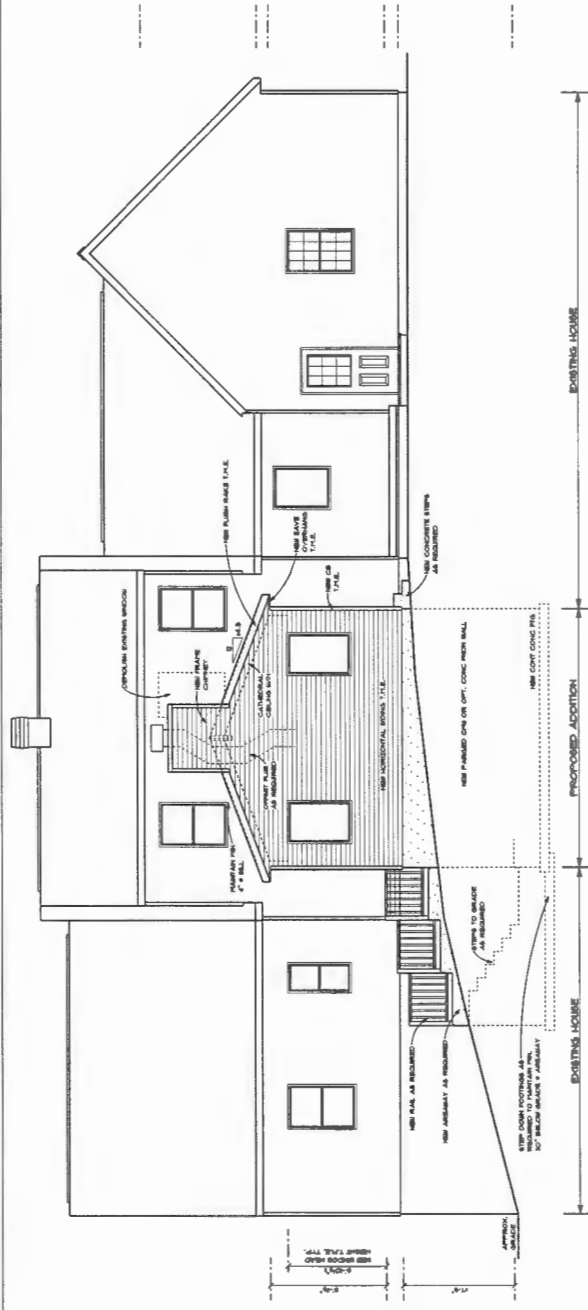
Herboldt Residence

Proposed Addition to the
1020 Sunset Valley Dr., Smealville, Maryland 21154

A-3
0 21074

COUNTRY VIEW BUILDERS, INC.
1000 N. METZ BLVD. #100
FARMERSVILLE, MD 21034

- Wall Key**
- 1/2" Thick Concrete
 - 4" Thick Concrete
 - 6" Thick Concrete
 - 8" Thick Concrete
 - 12" Thick Concrete
 - 16" Thick Concrete
 - 24" Thick Concrete
 - 36" Thick Concrete
 - 48" Thick Concrete
 - 60" Thick Concrete
 - 72" Thick Concrete
 - 84" Thick Concrete
 - 96" Thick Concrete
 - 108" Thick Concrete
 - 120" Thick Concrete
 - 144" Thick Concrete
 - 168" Thick Concrete
 - 192" Thick Concrete
 - 216" Thick Concrete
 - 240" Thick Concrete
 - 288" Thick Concrete
 - 360" Thick Concrete
 - 432" Thick Concrete
 - 504" Thick Concrete
 - 576" Thick Concrete
 - 648" Thick Concrete
 - 720" Thick Concrete
 - 864" Thick Concrete
 - 1008" Thick Concrete
 - 1152" Thick Concrete
 - 1344" Thick Concrete
 - 1584" Thick Concrete
 - 1872" Thick Concrete
 - 2208" Thick Concrete
 - 2640" Thick Concrete
 - 3168" Thick Concrete
 - 3792" Thick Concrete
 - 4512" Thick Concrete
 - 5400" Thick Concrete
 - 6432" Thick Concrete
 - 7608" Thick Concrete
 - 8976" Thick Concrete
 - 10704" Thick Concrete
 - 12816" Thick Concrete
 - 15312" Thick Concrete
 - 18384" Thick Concrete
 - 22032" Thick Concrete
 - 26376" Thick Concrete
 - 31536" Thick Concrete
 - 37536" Thick Concrete
 - 44400" Thick Concrete
 - 53136" Thick Concrete
 - 63840" Thick Concrete
 - 76656" Thick Concrete
 - 91744" Thick Concrete
 - 109200" Thick Concrete
 - 129456" Thick Concrete
 - 152736" Thick Concrete
 - 179856" Thick Concrete
 - 211200" Thick Concrete
 - 247008" Thick Concrete
 - 296640" Thick Concrete
 - 360480" Thick Concrete
 - 440256" Thick Concrete
 - 537312" Thick Concrete
 - 653520" Thick Concrete
 - 790656" Thick Concrete
 - 950880" Thick Concrete
 - 1136880" Thick Concrete
 - 1352640" Thick Concrete
 - 1602000" Thick Concrete
 - 1888800" Thick Concrete
 - 2222400" Thick Concrete
 - 2707200" Thick Concrete
 - 3254400" Thick Concrete
 - 3888000" Thick Concrete
 - 4624800" Thick Concrete
 - 5482800" Thick Concrete
 - 6482400" Thick Concrete
 - 7644000" Thick Concrete
 - 8988000" Thick Concrete
 - 10545600" Thick Concrete
 - 12348000" Thick Concrete
 - 14424000" Thick Concrete
 - 16896000" Thick Concrete
 - 19788000" Thick Concrete
 - 23148000" Thick Concrete
 - 27024000" Thick Concrete
 - 31472000" Thick Concrete
 - 36540000" Thick Concrete
 - 42312000" Thick Concrete
 - 48864000" Thick Concrete
 - 56280000" Thick Concrete
 - 64656000" Thick Concrete
 - 74088000" Thick Concrete
 - 84684000" Thick Concrete
 - 96540000" Thick Concrete
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 - 65497600000000" Thick Concrete
 - 66436000000000" Thick Concrete
 - 67379200000000" Thick Concrete
 - 68326400000000" Thick Concrete
 - 69278400000000" Thick Concrete
 - 70234400000000" Thick Concrete
 - 71194400000000" Thick Concrete
 - 72158400000000" Thick Concrete
 - 73126400000000" Thick Concrete
 - 74098400000000" Thick Concrete
 - 75073600000000" Thick Concrete
 - 76052000000000" Thick Concrete
 - 77033600000000" Thick Concrete
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 - 79004000000000" Thick Concrete
 - 79993600000000" Thick Concrete
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 - 81980000000000" Thick Concrete
 - 82977600000000" Thick Concrete
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 - 84979200000000" Thick Concrete
 - 85983200000000" Thick Concrete
 - 86989600000000" Thick Concrete
 - 87998400000000" Thick Concrete
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 - 90023200000000" Thick Concrete
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 - 368023200000000" Thick Concrete
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 - 384409600000000" Thick Concrete</



Proposed Rear Elevation
SCALE: 1/4" = 1'-0"
EXISTING HOUSE PROPOSED ADDITION

APPLICABLE CODE: 2021 IRC AS AMENDED BY HOWARD COUNTY AND 2021 IECC AS AMENDED BY MARYLAND

NOTES

- 1.0 GENERAL
 - 1.01 THE BUILDER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.
 - 1.02 THE BUILDER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.
 - 1.03 THE BUILDER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.
- 2.0 SITE WORK
 - 2.01 THE BUILDER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.
 - 2.02 THE BUILDER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.
- 3.0 CONCRETE/FOUNDATIONS
 - 3.01 ALL CONCRETE SHALL BE PLACED AND FINISHED IN ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL AUTHORITY.
 - 3.02 ALL CONCRETE SHALL BE PLACED AND FINISHED IN ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL AUTHORITY.
- 4.0 MASONRY
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 - 4.02 ALL MASONRY SHALL BE PLACED AND FINISHED IN ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL AUTHORITY.
- 5.0 METALS
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 - 5.02 ALL METALS SHALL BE PLACED AND FINISHED IN ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL AUTHORITY.
- 6.0 WOOD
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 - 6.02 ALL WOOD SHALL BE PLACED AND FINISHED IN ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL AUTHORITY.
- 7.0 THERMAL AND MOISTURE PROTECTION
 - 7.01 ALL THERMAL AND MOISTURE PROTECTION SHALL BE PLACED AND FINISHED IN ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL AUTHORITY.
 - 7.02 ALL THERMAL AND MOISTURE PROTECTION SHALL BE PLACED AND FINISHED IN ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL AUTHORITY.

- GENERAL CONSTRUCTION NOTES
 - 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.
 - 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.
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2021 IECC ENERGY CODE COMPLIANCE REQUIREMENTS

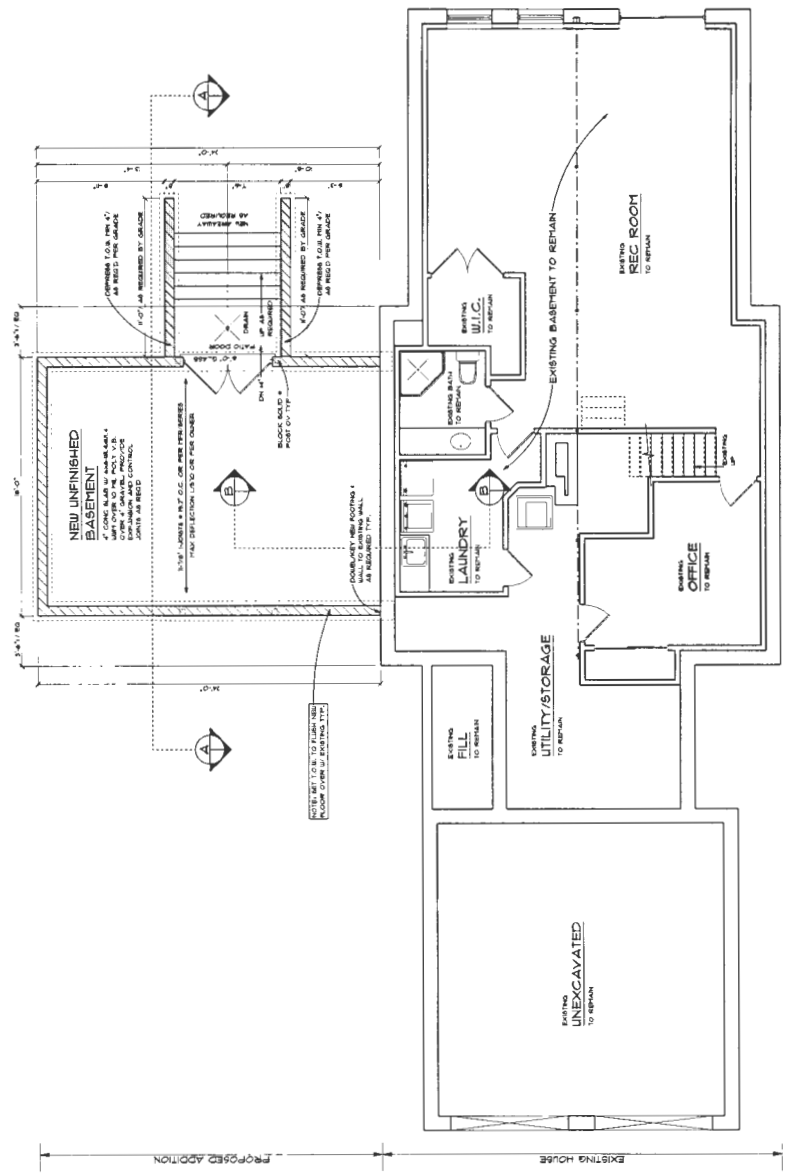
THE BUILDING SHALL CONFORM TO THE FOLLOWING MANDATORY REQUIREMENTS FOR 2021 INTERNATIONAL ENERGY CONSERVATION CODE COMPLIANCE CERTIFICATE

COMPLIANCE CERTIFICATE	REQUIREMENTS
GENERAL REQUIREMENTS	1. THE BUILDING SHALL BE DESIGNED AND CONSTRUCTED TO MEET THE ENERGY EFFICIENCY REQUIREMENTS OF THE 2021 IECC. THE BUILDING SHALL BE DESIGNED AND CONSTRUCTED TO MEET THE ENERGY EFFICIENCY REQUIREMENTS OF THE 2021 IECC. THE BUILDING SHALL BE DESIGNED AND CONSTRUCTED TO MEET THE ENERGY EFFICIENCY REQUIREMENTS OF THE 2021 IECC.
MECHANICAL	1. MECHANICAL SYSTEMS SHALL BE DESIGNED AND CONSTRUCTED TO MEET THE ENERGY EFFICIENCY REQUIREMENTS OF THE 2021 IECC. MECHANICAL SYSTEMS SHALL BE DESIGNED AND CONSTRUCTED TO MEET THE ENERGY EFFICIENCY REQUIREMENTS OF THE 2021 IECC. MECHANICAL SYSTEMS SHALL BE DESIGNED AND CONSTRUCTED TO MEET THE ENERGY EFFICIENCY REQUIREMENTS OF THE 2021 IECC.
ELECTRICAL	1. ELECTRICAL SYSTEMS SHALL BE DESIGNED AND CONSTRUCTED TO MEET THE ENERGY EFFICIENCY REQUIREMENTS OF THE 2021 IECC. ELECTRICAL SYSTEMS SHALL BE DESIGNED AND CONSTRUCTED TO MEET THE ENERGY EFFICIENCY REQUIREMENTS OF THE 2021 IECC. ELECTRICAL SYSTEMS SHALL BE DESIGNED AND CONSTRUCTED TO MEET THE ENERGY EFFICIENCY REQUIREMENTS OF THE 2021 IECC.
PLUMBING	1. PLUMBING SYSTEMS SHALL BE DESIGNED AND CONSTRUCTED TO MEET THE ENERGY EFFICIENCY REQUIREMENTS OF THE 2021 IECC. PLUMBING SYSTEMS SHALL BE DESIGNED AND CONSTRUCTED TO MEET THE ENERGY EFFICIENCY REQUIREMENTS OF THE 2021 IECC. PLUMBING SYSTEMS SHALL BE DESIGNED AND CONSTRUCTED TO MEET THE ENERGY EFFICIENCY REQUIREMENTS OF THE 2021 IECC.
ENVIRONMENTAL	1. ENVIRONMENTAL SYSTEMS SHALL BE DESIGNED AND CONSTRUCTED TO MEET THE ENERGY EFFICIENCY REQUIREMENTS OF THE 2021 IECC. ENVIRONMENTAL SYSTEMS SHALL BE DESIGNED AND CONSTRUCTED TO MEET THE ENERGY EFFICIENCY REQUIREMENTS OF THE 2021 IECC. ENVIRONMENTAL SYSTEMS SHALL BE DESIGNED AND CONSTRUCTED TO MEET THE ENERGY EFFICIENCY REQUIREMENTS OF THE 2021 IECC.

ADDITIONAL ENERGY EFFICIENCY PACKAGE
COMPARISON TO IECC AS AMENDED BY MARYLAND
PLUMBING: 1/2" MIN. INSULATION
ELECTRICAL: 1/2" MIN. INSULATION
MECHANICAL: 1/2" MIN. INSULATION
ENVIRONMENTAL: 1/2" MIN. INSULATION

Wall Key

- EXISTING FOUNDATION
- NEW FOUNDATION
- EXISTING FOUNDATION WITH 4" CONCRETE
- EXISTING FOUNDATION WITH 6" CONCRETE
- EXISTING FOUNDATION WITH 8" CONCRETE
- EXISTING FOUNDATION WITH 10" CONCRETE
- EXISTING FOUNDATION WITH 12" CONCRETE
- EXISTING FOUNDATION WITH 14" CONCRETE
- EXISTING FOUNDATION WITH 16" CONCRETE
- EXISTING FOUNDATION WITH 18" CONCRETE
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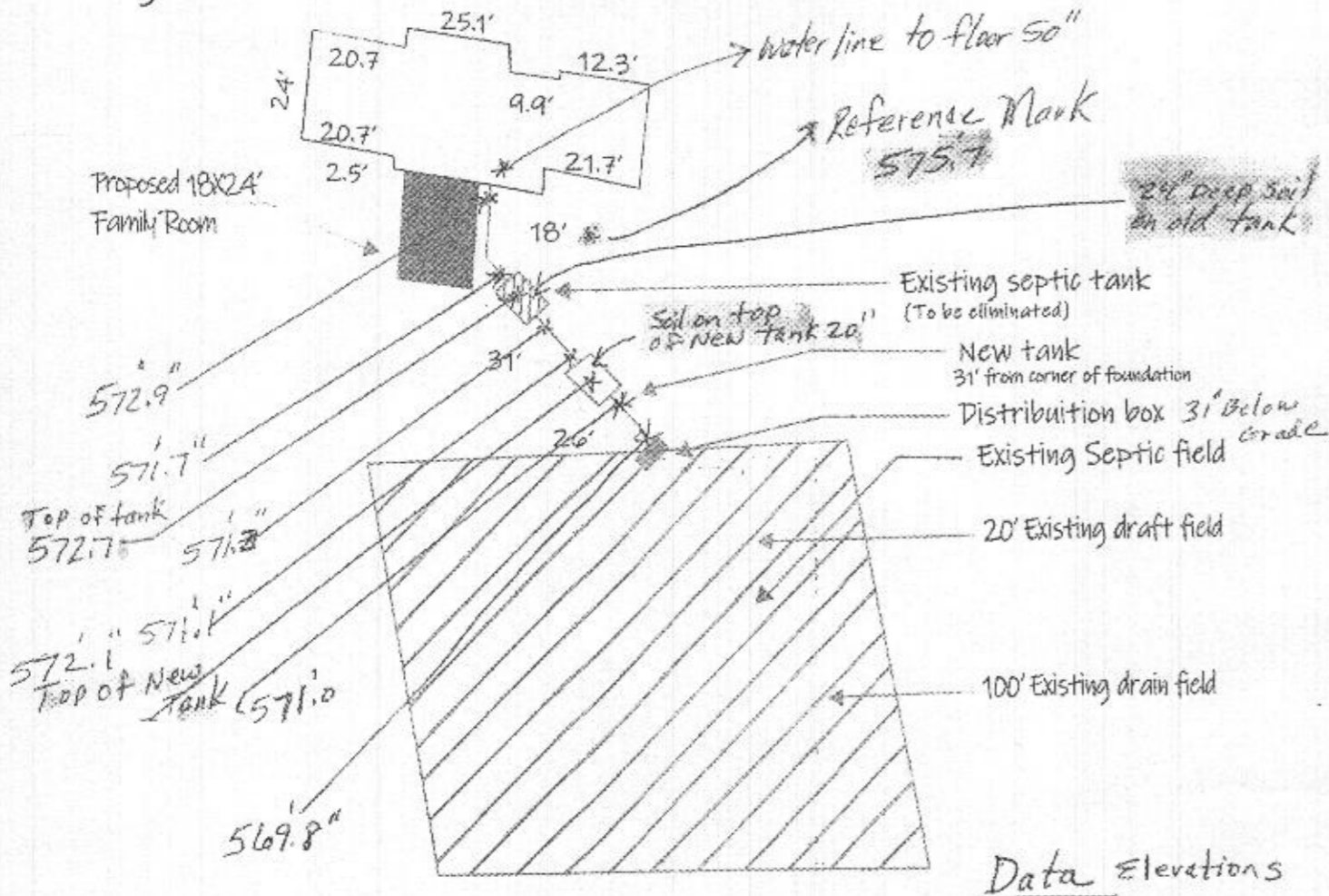
Proposed Foundation/Basement Plan
SCALE: 1/4" = 1'-0"

approved
w/ Babylon 2000 tank, 71% full,
and < 3' cover over new tank

rec'd
3/10/25

Expanded View Site Plan

9/10/25
3/10/25



Data Elevations

- 572.9" - at Home Exit
- 571.7" - Enter old tank
- 572.7" - OLD Tank Elevation
- 571.3" - Exit old tank
- 571.1" - Enter new tank
- 572.1" - Tank Elev
- 571.0" - Exit New tank
- 569.8" - Enter Distribution tank
- * 74' - Distance From house to Dist. Tank,
Scale: 1" = 10'
- 24" - Depth of Soil on old tank
- 20" - Depth of Soil on New tank
- 37" - Drop from Home to Dis. Box

Onsite Sewage Disposal System Design Plan
Property: 1020 Sunset Valley Dr. Sykesville, MD 21784
Property Owner: Mark Herboldt
Contractor: Country View Builders Inc
Plan Designer: South Carroll Backhoe Inc. Ken Schishler
Ken: 410-596-3618 Office: 410-8754197
4410 Salem Bottom RD Westminster, MD 21157
Plat Reference: Section two - Sunset Valley
Lots 1-12, recorded in Platbook 5356

Onsite Sewage Disposal System Design Plan

Property: 1020 Sunset Valley Dr. Sykesville, MD 21784

Property Owner: Mark Herboldt

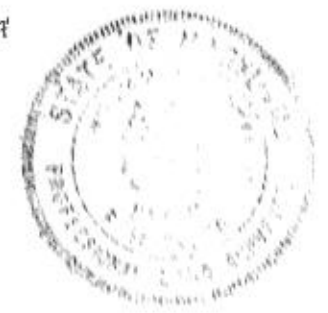
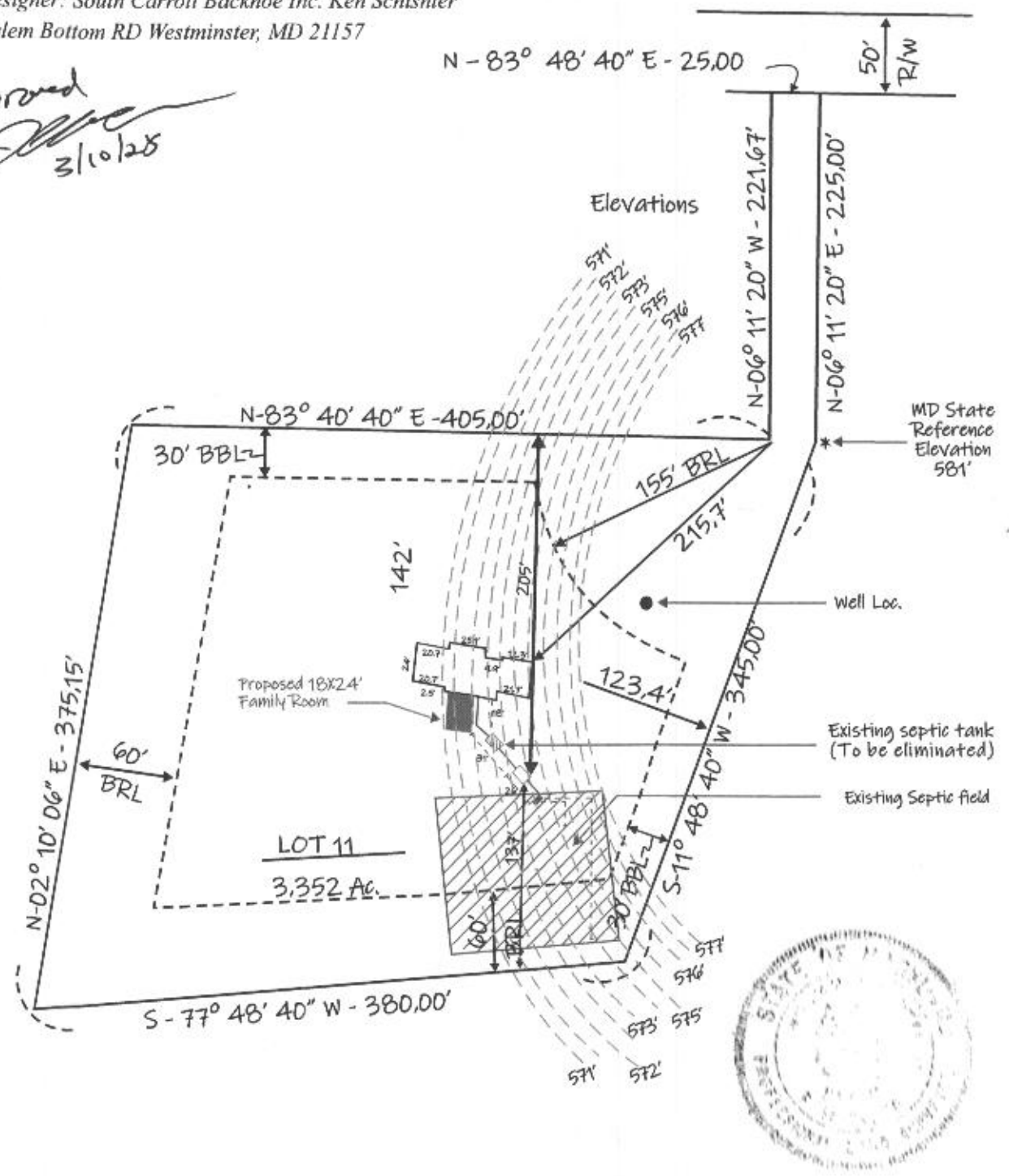
Contractor: Country View Builders Inc

Plan Designer: South Carroll Backhoe Inc. Ken Schishler

4410 Salem Bottom RD Westminster, MD 21157

Drafted 10-29-2024

approved
[Signature]
3/10/25



Plat Reference: Lot 11 Section 2 - Sunset Valley

Lots 1-12, recorded in Platbook 5356

Scale: 1/8" = 12'

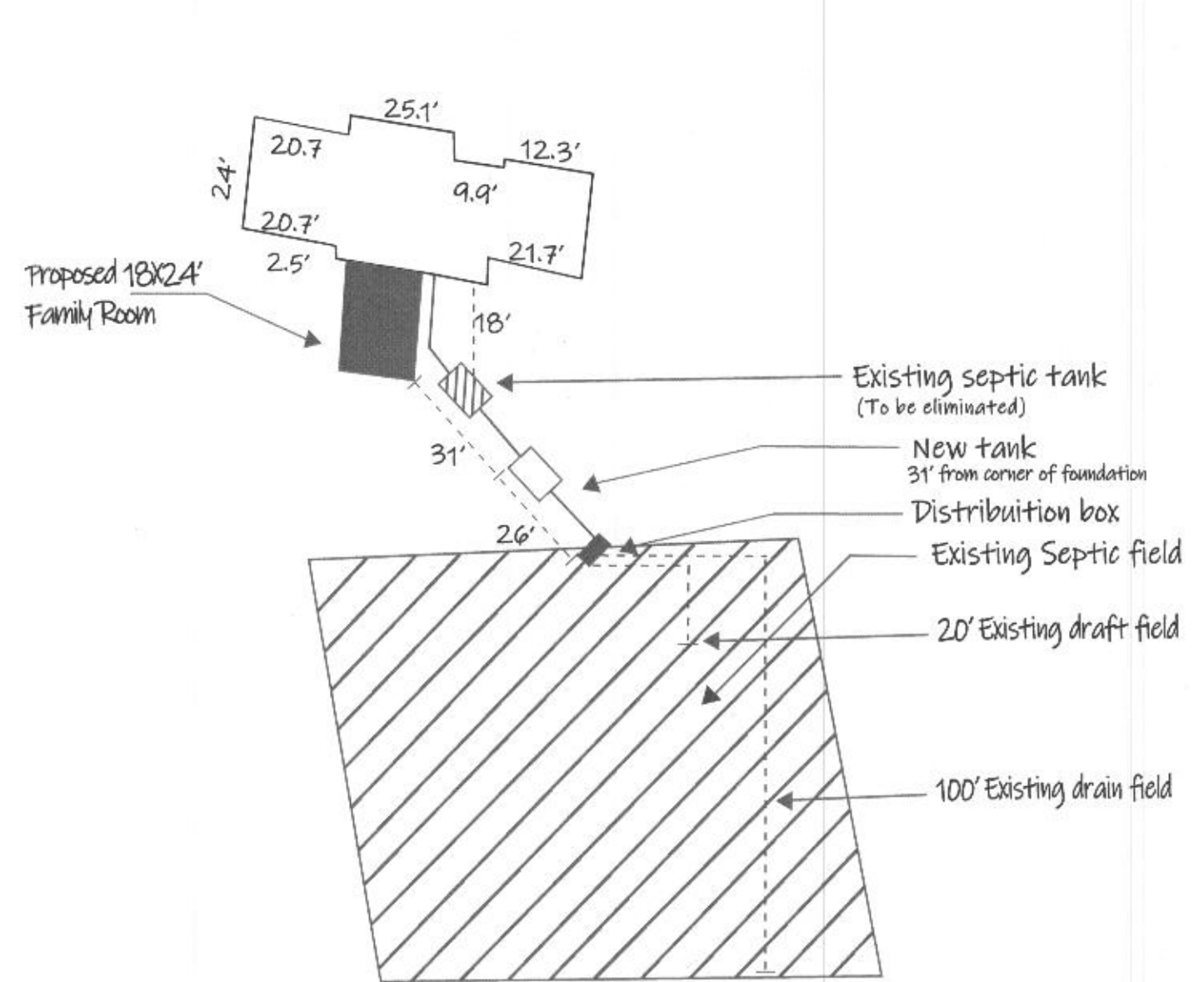
Home Details:

Number of bedrooms 4

Tank Info:

2000 gallon septic tank, top seam, 2-compartment
MFG. by Babylon Vault *see attached spec. sheet

Expanded View Site Plan



Onsite Sewage Disposal System Design Plan

Property: 1020 Sunset Valley Dr. Sykesville, MD 21784

Property Owner: Mark Herboldt

Contractor: Country View Builders Inc

Plan Designer: South Carroll Backhoe Inc. Ken Schishler

Ken: 410-596-3618 Office: 410-8754197

4410 Salem Bottom RD Westminster, MD 21157

Plat Reference: Section two - Sunset Valley

Lots 1-12, recorded in Platbook 5356

Scale: 1/4" = 10'

Williams, Jeffrey

From: Williams, Jeffrey
Sent: Monday, July 1, 2024 8:50 AM
To: Mark Herboldt
Subject: RE: B23004799 1020 Sunset Valley Dr

Hello.

The state regulations state a 4 foot buffer. Since a septic contractor will be onsite anyway to install the new tank, it will be easy for them to dig a test hole near the trenches down to 14'.

The topo lines can come from county GIS, which show 2' lines with elevations above sea level. The other items you mention can be shown on the plan. Remember that the plan designer must be a licensed onsite wastewater professional from the state board. We frequently see Babylon tanks, the designer can just put the tank details on the plan or make it an attachment.

Thanks
Jeff

From: Mark Herboldt <countryviewbuilders@yahoo.com>
Sent: Friday, June 28, 2024 3:47 PM
To: Williams, Jeffrey <jewilliams@howardcountymd.gov>
Subject: Re: B23004799 1020 Sunset Valley Dr

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

Hi Mr. Williams,

Thank you for the response after our phone conversation last tuesday June 25th. I appreciate that I am finally getting some solid direction and clarity involving the new requirements for septic permits in Howard County. In response to your questions and requirements, I have listed these topics by number to help me organize the different items regarding our property.

#1 I understand what you say about the 14' depth requirement but we know for sure the trenches were recorded at 13' . Is that not really close enough since we know our existing septic system meets requirements and is functioning fantastic, or do we really need to do a test trench next to the existing trenches to show that extra foot?

#2 The current basement office does not have a window. Just 2 entrance doors one leading into the family room and another leading to our back unfinished storage area. This does leave us back to a 4BR home and requiring a 2000 gallon top seam tank.

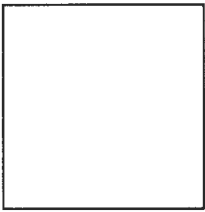
#3 The topography lines in the area of the tank and drain field. Do they need to be shown just in the drain field? Do we need elevations (above sea level) or can we list reference heights in relation to top footing height of home, basement floor height, sewer pipe height leaving the basement, sewer pipe height entering the existing tank, sewer height exiting the tank, fall per foot exiting the tank on the main run heading to the drain field?
We intend to list all of this information on the existing Plat drawing showing the home, driveway, well location, foundation size and location, old tank location, new tank location 30 from new addition foundation and drain field.

#4 Tank manufacturer information attached to this email MFG Babylon Vault 2000 gallon 2-compartment septic tank installed with both risers and lids for both compartments. ** See attached drawings and specifications.

Please let me know answers for any above questions and additionally any data I did not mention you feel is relevant to our property.

Thank you again for your time and effort. I look forward to moving forward with our permit.

Mark Herboldt



On Tuesday, June 25, 2024 at 09:49:58 AM EDT, Williams, Jeffrey <jewilliams@howardcountymd.gov> wrote:

Hello Mr. Herboldt. I reviewed the file after our phone call yesterday. I do believe there are some errors in our response to you that I can explain and clarify below. I do have a question or two as well. To start: the proposed addition is just large enough to trigger the requirement for us to evaluate the existing system to verify it is adequate for the existing and proposed use. It also requires that the property have a sewage disposal area established via a perc certification plan.

In looking at the file, I do see the plan establishing your area and I do see the perc notes. While the notes are not quite as detailed as we would like, they do have just enough info to know the depths at which the suitable soil starts and ends. I think they are acceptable to confirm the existing sewage disposal area. As for the existing system, I do have the septic permit and as-built drawing from the installation. The trenches are not equal length, which is not how we would install them today, but otherwise they seem to be constructed according to current standards. The permit states it was installed for 3 bedrooms. The tank is sized for 3, but a calculation of the trench sizing using our current sizing formula has them adequate for 4 bedrooms. The one issue is that the trenches were installed to 10' depth while the perc tests stopped at 13' depth. Current regulation requires 4' of suitable soil beneath a trench bottom.

I also took a look at your floor plan. I see two bedrooms on the second floor and one on the first floor. The office in the basement could be counted as a bedroom if it had a window in it (any size, not just egress size), but the floor plan seems to show no window. Is there no window in that room? I see a sheet showing the second floor layout with room measurements provided. Did that come from you? The measurements do not seem to line up with the dimensions from the drawing, but it's hard to tell. Is the storage space truly only 4' wide? It looks wider than that as drawn. If it is truly that small, it would not be big enough to count as a bedroom by our code definition.

If the office has no window and the storage space is that small, I would count only 3 bedrooms in the house. That would mean the trenches are big enough for the proposed use. We would just be left with not knowing if the soil is good to 14' in the area. For your project, I think we could check the soil depth when the new tank is installed. IF the contractor digs a test hole near the trenches down to 14' with good soil, we can confirm the trenches as suitable for the building permit.

The last point is regarding the tank replacement. A 2000 gallon tank is more than enough size for the proposed use. It is true that we cannot issue a septic permit to a contractor without having an approved design plan on file. That is why Melanie could not give the contractor anything when he came to the office. As we discussed, that is a requirement instituted by MDE in 2023 to the local health departments.

We cannot issue a septic permit for the tank replacement without first getting a design plan to approve. The contractor can attempt to produce one or you can hire a surveyor/engineer company that has worked with our office to produce one. The OSDS plan guidance fact sheet from our website is attached. For a tank replacement only, we need a plan showing the proposed location with 2' topography contour lines shown. It must show the sewer profile with the depth of the existing sewer lines and the proposed tank. It must also have a cross section of the tank from the tank manufacturer. The critical piece for your property will be the depths. It looks like the ground elevation is a little uphill at the trenches from where the sewer line leaves the house. The trench inlets are listed as 4.5' below grade. The plan preparer will need to know the field verified elevation of the sewer line where it leaves the house and where the tank is being proposed. They should be able to do that by checking the depths of the line leaving the house and the depth of the current tank. This is important here because the line needs to have at least 1% fall and the maximum tank depth is 3' to the lid. That will be tight in this case. We've had tank replacements in the past where assumptions were made about depths and during installation they were found to be wrong and the tank could not be installed as planned. The purpose of the detailed plan is to avoid those problems.

To sum up, in order to issue a septic permit, we need the design plan as described above. While the new tank is installed, we will need the contractor to dig a test hole near the trenches to 14'. If the soil is good and once we approve the septic permit, we can sign off on the building permit. This is also assuming the answers to the bedroom questions above. Let me know those answers and if you have any questions. Thanks

Jeff Williams

Deputy Director

Bureau of Environmental Health

Howard County Health Dept.

8930 Stanford Blvd. Columbia, MD 21045

410-313-4261

www.hchealth.org

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Eshenbaugh, Melanie

From: Eshenbaugh, Melanie
Sent: Tuesday, May 28, 2024 5:03 PM
To: Mark Herboldt
Subject: RE: B23004799 1020 Sunset Valley Drive
Attachments: Bedroom defintion.pdf

Good afternoon Mr. Mark Herboldt,

Your project was thoroughly discussed with my supervisor, the submitted building permit proposed/existing floor plans and all Health Department well & septic records for the property were reviewed. It has been determined that in order to move forward with HD building permit approval there will be many more requirements that need to be met beside an upgraded septic tank replacement. Due to the age of the existing septic system, the outdated period of time when perc testing was first conducted, and the current/proposed floor plans submitted with the building permit: all these factors demonstrate that the existing septic system is inadequate by today's standards and current regulations.

The requirements for permit approval involves confirmatory percolation testing (within the area previously established as a private sewage easement) and possibly an evaluation of the existing septic system, which would then hopefully lead to an approved perc certification plat establishing a revised Sewage Disposal Area (SDA) for the property plus highlight any necessary septic system upgrades. The size of the proposed living space addition being greater than 425 sq.ft., as well as the undersized septic system (based on the existing number of bedrooms), initiates a couple requirements with the Health Department. This property will need to have an SDA established for future septic replacement systems and provide an existing septic system that would be adequate for the current use of the residence. Howard County Code requires establishment of an SDA per two replacement systems at minimum. This process starts with submitting a perc test application and a perc test plan provided by a licensed engineer (see Well & Septic link down below for application guidance documents).

The second requirement would be to evaluate the existing system to verify whether or not it would be adequate for the existing and proposed use. When the septic system installation took place in 1984, the septic record shows that it was intended to be sized for three bedrooms only, but the existing floor plans now show 5 distinct rooms that fall under the definition of a bedroom according to Howard County Code. The existing tank is 1000 gallons and a five bedroom requires at least a 1500 gal. tank (1500 GAL is today's standard size). After approval of the perc certification plat, an onsite sewage disposal system (OSDS) design plan for the 5 bedroom residence will need to be submitted by the hired engineer and approved by the Health Department. Lastly, the septic system will need to be installed by a licensed septic contractor prior to building permit approval. It will be installed according to the approved OSDS plan.

As aforementioned, it is recommended to first submit the required engineered perc plan, along with the perc application and perc test fee to the Health Department. Please utilize the Health Department website for guidance as the content of this email will be reiterated and can go more in-depth: <https://gcc02.safelinks.protection.outlook.com/?url=https%3A%2F%2Fwww.howardcountymd.gov%2Fsites%2Fdefault%2Ffiles%2Fmedia%2F2016-01%2FHCHDBuildingPermitApplicationWellSeptic.pdf&data=05%7C01%7CMEshenbaugh%40howardcountymd.gov%7C119e2de4c3bd4df628ab08db159f5444%7C0538130803664bb7a95b95304bd11a58%7C1%7C0%7C638127546658030493%7CUnknown%7CTWFpbGZsb3d8eyJWljojMC4wLjAwMDAiLCJQIjoiV2luMzliLCJBTil6lk1haWwiLCJXVCi6Mn0%3D%7C3000%7C%7C&sdata=XhnVhGdODngC9ZhfHC%2Bk%2BkV3rSvwNPov9sUZyDUkvtA%3D&reserved=0> .

Thank you kindly and please let us know if you have any questions.

Melanie Eshenbaugh

Bureau of Environmental Health
Howard County Health Dept.
8930 Stanford Blvd. Columbia, MD 21045
www.hchealth.org



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From: Mark Herboldt <countryviewbuilders@yahoo.com>
Sent: Sunday, May 26, 2024 11:05 AM
To: Eshenbaugh, Melanie <MEshenbaugh@howardcountymd.gov>
Subject: Re: B23004799 1020 Sunset Valley Drive

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

Hi Melanie,
Just checking in to see if you got my last email?

Mark Herboldt

Mark Herboldt
President
Country View Builders
PH 410-300-5332



On May 23, 2024, at 9:45 AM, Mark Herboldt <countryviewbuilders@yahoo.com> wrote:

Hi Melanie,

I'm just checking in to see what the status is for our building permit. Once you give me your requirements I'm going to have my Company submit their permit for the tank relocation. Have you completed your review for our property?

Mark

Mark Herboldt
President

Country View Builders
PH 410-300-5332



On May 14, 2024, at 9:59 AM, Mark Herboldt <countryviewbuilders@yahoo.com> wrote:

<attachment 1.pdf>

Mark Herboldt
President
Country View Builders
PH 410-300-5332



On May 13, 2024, at 4:43 PM, Eshenbaugh, Melanie
<MEshenbaugh@howardcountymd.gov> wrote:

Good afternoon Mark,

I received the 1st page of the attached, but the 2nd page is completely blurry. Please rescan and send the 2nd page of the floor plans. Thanks.

Melanie Eshenbaugh
Bureau of Environmental Health
Howard County Health Dept.
8930 Stanford Blvd. Columbia, MD 21045
www.hchealth.org

<image001.png>

CONFIDENTIALITY NOTICE

This message and the accompanying documents are intended only for the use of the individual or entity to which they are addressed and may contain information that is privileged, confidential, or exempt from disclosure under applicable law. If the reader of this email is not the intended recipient, you are hereby notified that you are strictly prohibited from reading, disseminating, distributing, or copying this communication. If you have received this email in error, please notify the sender immediately and destroy the original transmission.

From: Mark Herboldt <countryviewbuilders@yahoo.com>
Sent: Monday, May 13, 2024 3:53 PM
To: Eshenbaugh, Melanie <MEshenbaugh@howardcountymd.gov>
Subject: Re: B23004799 1020 Sunset Valley Drive

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

Hi Melanie,

Per our last conversation last Friday. I have noted the bedroom and office dimensions on the attached PDF drawings. I have also listed the square footage of each room. I hope we are able to move forward with our project and this satisfies your office requirements. Please let me know if you have any additional questions.

Thank you

Mark Herboldt
President
Country View Builders
PH 410-300-5332

On May 9, 2024, at 10:22 AM, Mark Herboldt
<countryviewbuilders@yahoo.com> wrote:

Hi Mrs Eshenbaugh,

I would like to ask some questions if you have a minute?
Please contact me at 410-300-5332

Thank you

Mark Herboldt
President
PH : 410-300-5332
Fax: 866-232-5010



On Monday, May 6, 2024 at 05:11:18 PM EDT,
Eshenbaugh, Melanie
<meshenbaugh@howardcountymd.gov> wrote:

Good afternoon,

After review of the floor plans and health department records, we will need to see all 2nd floor rooms labeled properly with dimensions (labels, windows, doors & perimeter) and the room labeled an office in the basement. Please revise the floor plans with these necessary changes in order to complete our review and determine the Health Department requirements to move forward with the building permit approval process. Thank you kindly and hope you have a nice evening.

Melanie Eshenbaugh

Bureau of Environmental Health

Howard County Health Dept.

8930 Stanford Blvd. Columbia, MD 21045

www.hchealth.org

<image001.png>

CONFIDENTIALITY NOTICE

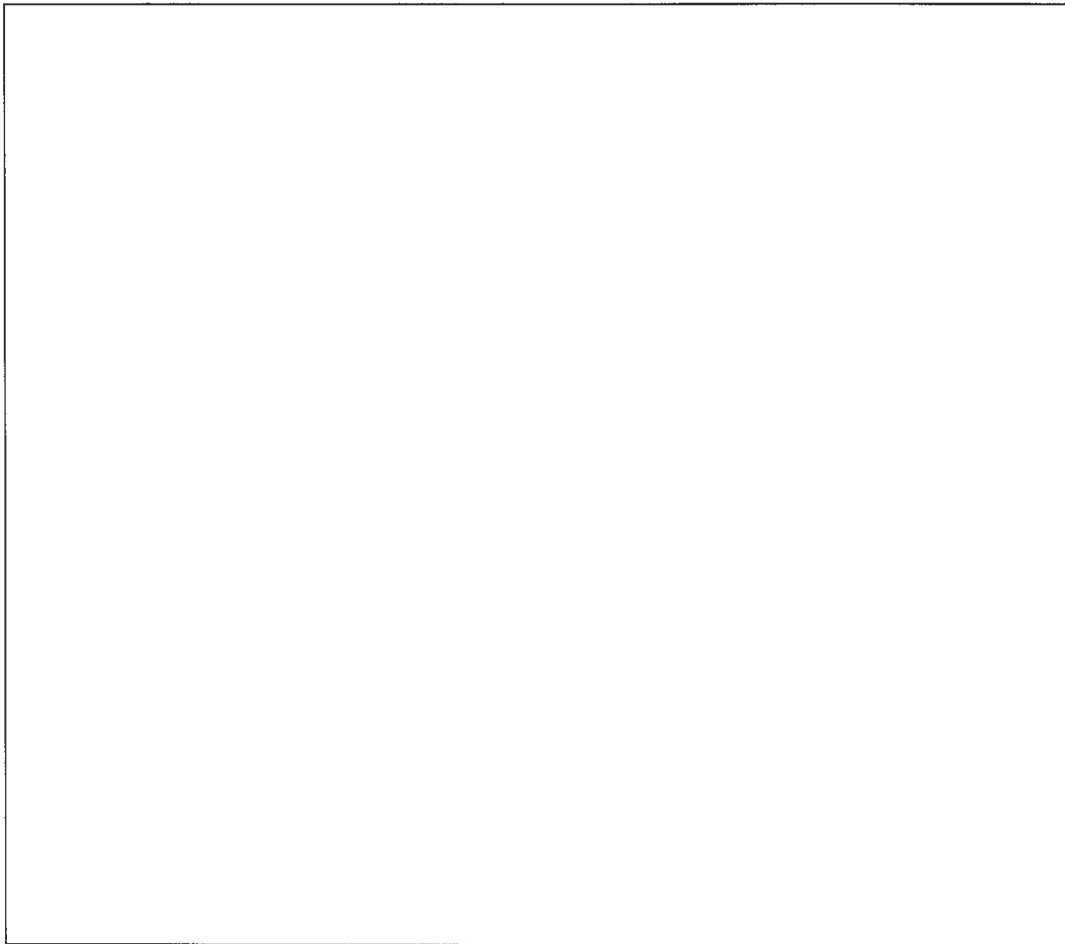
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SITE INSPECTION SHEET

OWNER: _____ PHONE #: _____
ADDRESS: 1020 Sunset Valley Pl CONTRACTOR: _____
WELL TAG #: H0-81-0192
SUBDIVISION: _____ LOT: _____ COUNTY #: Haverd
PROPOSAL: Living Space addition & garage

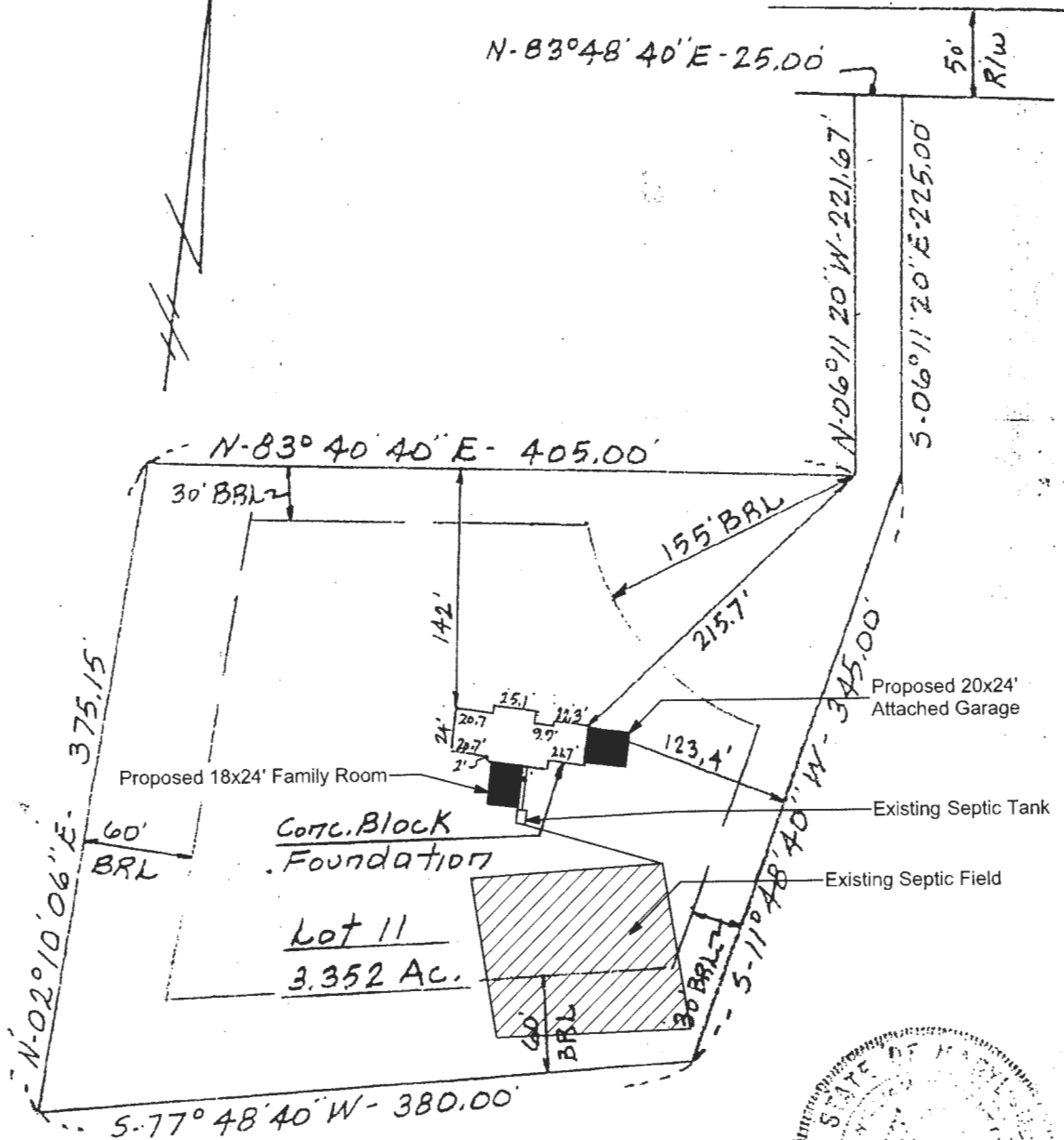
LOCATION DIAGRAM



COMMENTS: Well Missing Corrodit well need repaired.
Tank will need to be replaced in advance of
SP approval. Down gradient well at 1030
Sunset Valley

DATE: 5/6/24 INSPECTOR: Melanie Fisherbuff

SUNSET VALLEY DR.



Plat Reference: "Section Two - Sunset Valley
 Lots 1-12," recorded in Platbook 5356

Scale: 1" = 100'

HOUSE

1 ST FLOOR ELEV 123'
BASEMENT ELEV 114'

24' X 27'
Proposed
Addition

- ① INVERT OUT OF HOUSE 116'8" ELEV.
- ② INVERT INTO SEPTIC TANK 116'4" ELEV.

SEPTIC TANK 1,000 GAL MIN
EXIST ELEV 118

- ③ INVERT OUT OF SEPTIC TANK 116' ELEV.
- ④ DEEP TRENCH INLET 115 1/2' ELEV.

ORIG. ELEV
AT TIME OF
PERC TEST
120'

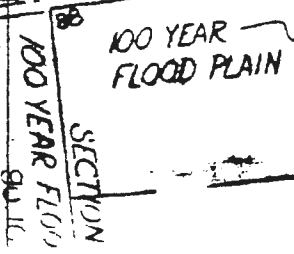
EXISTING
ELEV 120'

DEEP TRENCH
200 SQ. FT ONE
SIDEWALL X
3 BEDROOMS.
2 FT WIDE,
10 FT DEEP, INLET
1/2' BELOW ORIGINAL
GRADE, FILLED
WITH 5 1/2' OF STONE.
LENGTH 110'.

(APPROX ELEV)

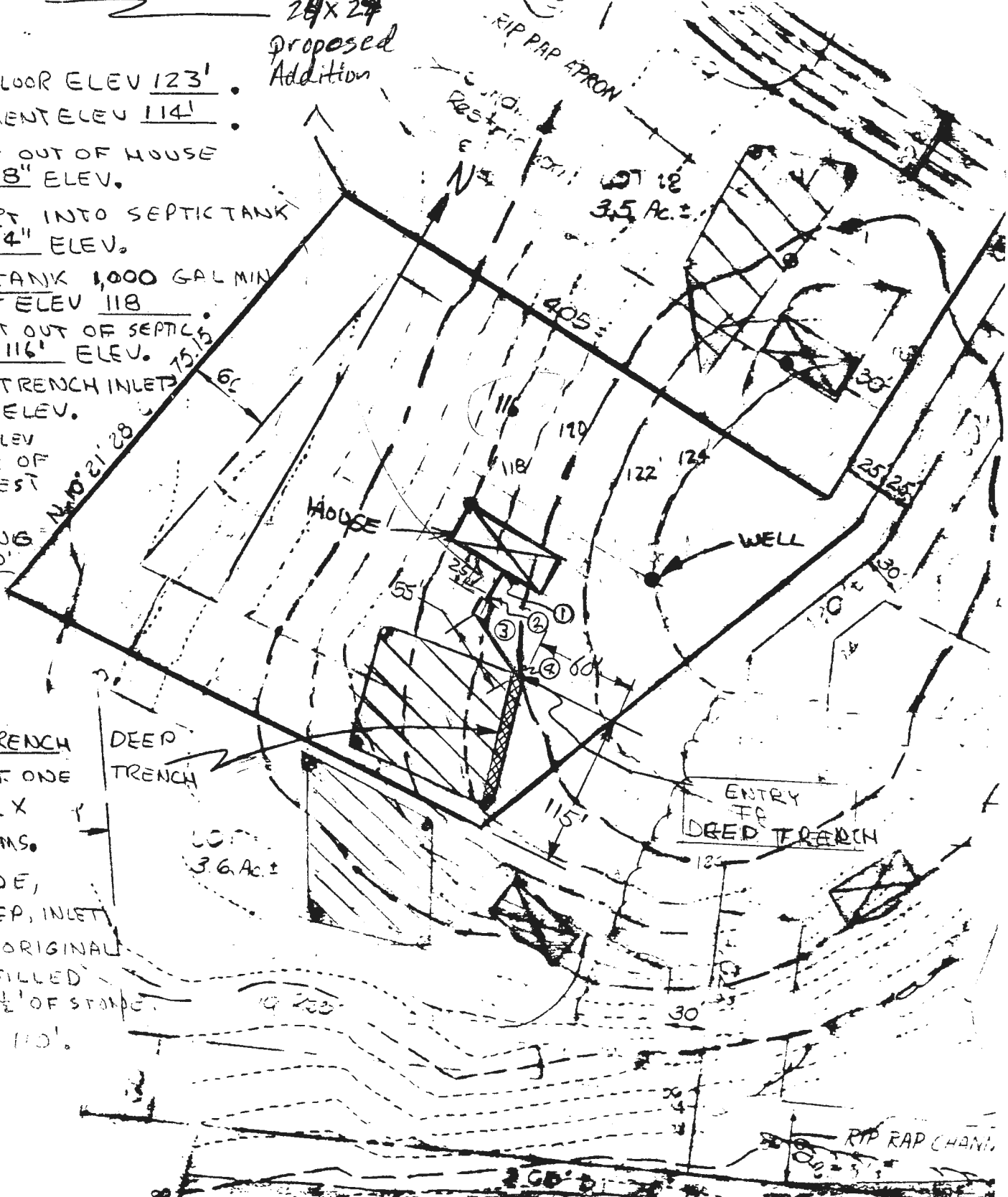
LOT 11 SEC 2
SUNSET VALLEY

JEANNETTE &
ROSS CHRISTMAN



35
20.0

REV 9/18/7



HOUSE

1st FLOOR ELEV 123'
BASEMENT ELEV 114'

24' X 24'
Proposed
Addition

① INVERT OUT OF HOUSE
116' 8" ELEV.

② INVERT INTO SEPTIC TANK
116' 4" ELEV.

SEPTIC TANK 1,000 GAL MIN
EXIST ELEV 118

③ INVERT OUT OF SEPTIC
TANK 116' ELEV.

④ DEEP TRENCH INLET
115 1/2' ELEV.

ORIG. ELEV
AT TIME OF
PERC. TEST
120'

EXISTING
ELEV 120'

DEEP TRENCH
200 SQ. FT ONE
SIDEWALL X
3 BEDROOMS.
2 FT WIDE,
10 FT DEEP, INLET
1/2' BELOW ORIGINAL
GRADE, FILLED
WITH 5 1/2' OF STONE.
LENGTH 110'.

(APPROX ELEV)

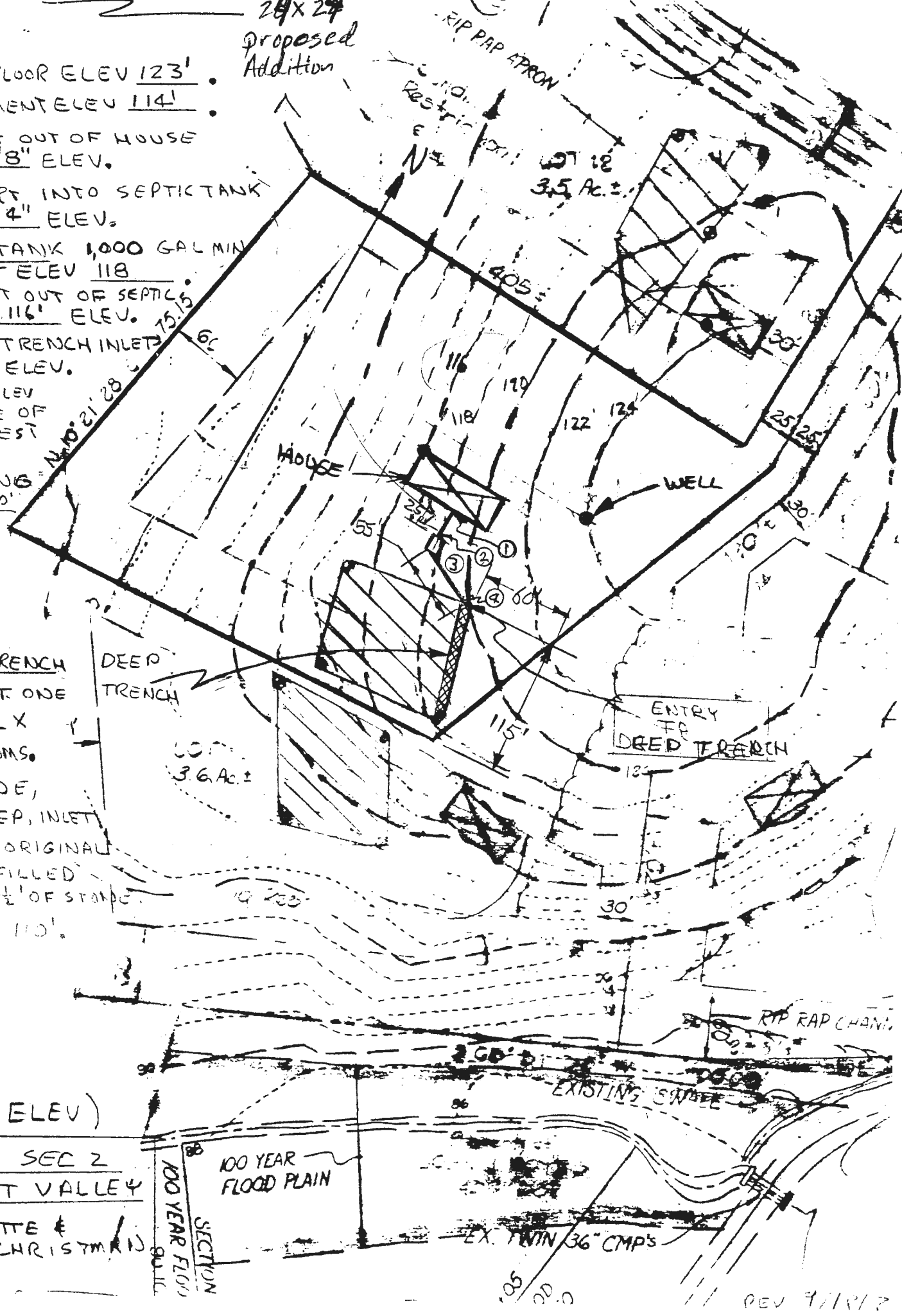
LOT 11 SEC 2
SUNSET VALLEY

JEANNETTE &
ROSS CHRISTMAN

100 YEAR
FLOOD PLAIN

EX. TWIN 36" CMP'S

REV 9/18/77



Oswald, Hank

From: Oswald, Hank
Sent: Monday, November 9, 2020 9:47 AM
To: countryviewbuilders@yahoo.com
Subject: B20003756_1020 Sunset Valley Drive
Attachments: A29172_P34355_1020_Sunset_Valley_Drive.pdf

Hello Mr. Herboldt:

Please revise the site plan to scale between 1:30 to 1:100 showing all existing structures plus proposed addition, the well and septic system components including the sewage disposal area. The revised site plan should be submitted to the permits office with one copy labeled for Health.

Should you have any questions, please don't hesitate to ask.

Thanks,

Hank

Hank Oswald, L.E.H.S.
Howard County Health Department
Bureau of Environmental Health
Well & Septic Program
8930 Stanford Boulevard
Columbia, MD 21045
(410) 313 - 1786
hoswald@howardcountymd.gov

PERMIT NUMBER: B 20003756

DATE ACCEPTED:

OCT 20 2020

LICENSES & PERMITS DIVISION

RESIDENTIAL BUILDING PERMIT APPLICATION

HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES, AND PERMITS

3430 COURT HOUSE DRIVE, ELLICOTT CITY, MD 21043 - PHONE: (410) 313-2455 OPTION #4

www.howardcountymd.gov

BUILDING SITE ADDRESS REQUIRED

Street Address: 1020 Sunset Valley Dr. Unit:
City: Sykesville State: MD Zip Code: 21784
Subdivision/Village/Complex Name: "Section two" Sunset Valley Lots 1-12 flat Book 5356 SDP/WP/BA #:
Lot: 11 Tax Map: Parcel: Grading Permit #:

DESCRIPTION OF WORK REQUIRED

Existing Use: Residential Proposed Use: Estimated Cost: \$ 20,000
Trade Work to Be Completed (Separate Permits Required): Mechanical (HVACR) Electrical Plumbing None

24' X 40' DETACHED GARAGE (PER PLAN)

PROPERTY OWNER INFORMATION REQUIRED

Owner(s) Name(s) (As it appears on tax records): Mark Herboldt Primary Residence: Yes No
Owner's Street Address: 1020 Sunset Valley Dr.
City: Sykesville State: MD Zip Code: 21784
Phone: 410-300-5332 Email: Countryviewbuilders@yahoo.com

APPLICANT NAME REQUIRED - INDIVIDUAL WHO SIGNS THIS APPLICATION

Business Name: Country View Builders Contact Name: Mark Herboldt
Street Address: 1020 Sunset Valley Dr.
City: Sykesville State: MD Zip Code: 21784
Phone: 410-300-5332 Email: countryviewbuilders@yahoo.com

CONTRACTOR INFORMATION REQUIRED

Business Name: Country View Builders
Licensee's Name: 92160 Mark Herboldt License #: 92160
Street Address: 1020 Sunset Valley Dr.
City: Sykesville State: MD Zip Code: 21784
Phone: 410-300-5332 Email: CountryViewbuilders@yahoo.com

ARCHITECT/ENGINEER INFORMATION INDIVIDUAL WHO SIGNED PLANS, IF APPLICABLE

Business Name: Name: REE
Street Address:
City: State: Zip: OCT: 20 2020
Phone: Email: LICENSES & PERMITS

BUILDING CHARACTERISTICS REQUIRED

Primary Structure: SF Dwelling SF Townhouse SF Duplex Mobile Home Multi-Family Dwelling (MF*) Condo: Yes No
Utilities: Electric Gas Water Supply: Public Private (Well) Sewage Disposal: Public Private (Septic)
Heating System: Electric Natural Gas Propane Other: Roadside Tree Project: No Yes: #
Sprinkler System: NFPA 13 NFPA 13R NFPA 13D None Fire Alarm System: Yes No Voice Evac

ADDITIONAL RESIDENTIAL INFORMATION (PLEASE SELECT, COMPLETE ALL THAT APPLY)

Model Name & Options:
of Bedrooms (SF): # of efficiency units (MF*): # of 1 BR (MF*): # of 2 BR (MF*): # of 3 BR (MF*):
Rooms: # Full Baths: # Half Baths: # Fireplaces:
Garage/Carport Info: Attached Garage Detached Garage Integral Garage Carport None
Basement/Foundation Info: Slab on Grade Post & Pier Unfinished Basement Finished Basement: Full or Partial
1st Fl Width: 1st Fl Depth: 2nd Fl Width: 2nd Fl Depth: Bsmt Width: Bsmt Depth:

AGREEMENT/ DISCALIMER REQUIRED

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

APPLICANT'S ORIGINAL SIGNATURE

DATE SIGNED

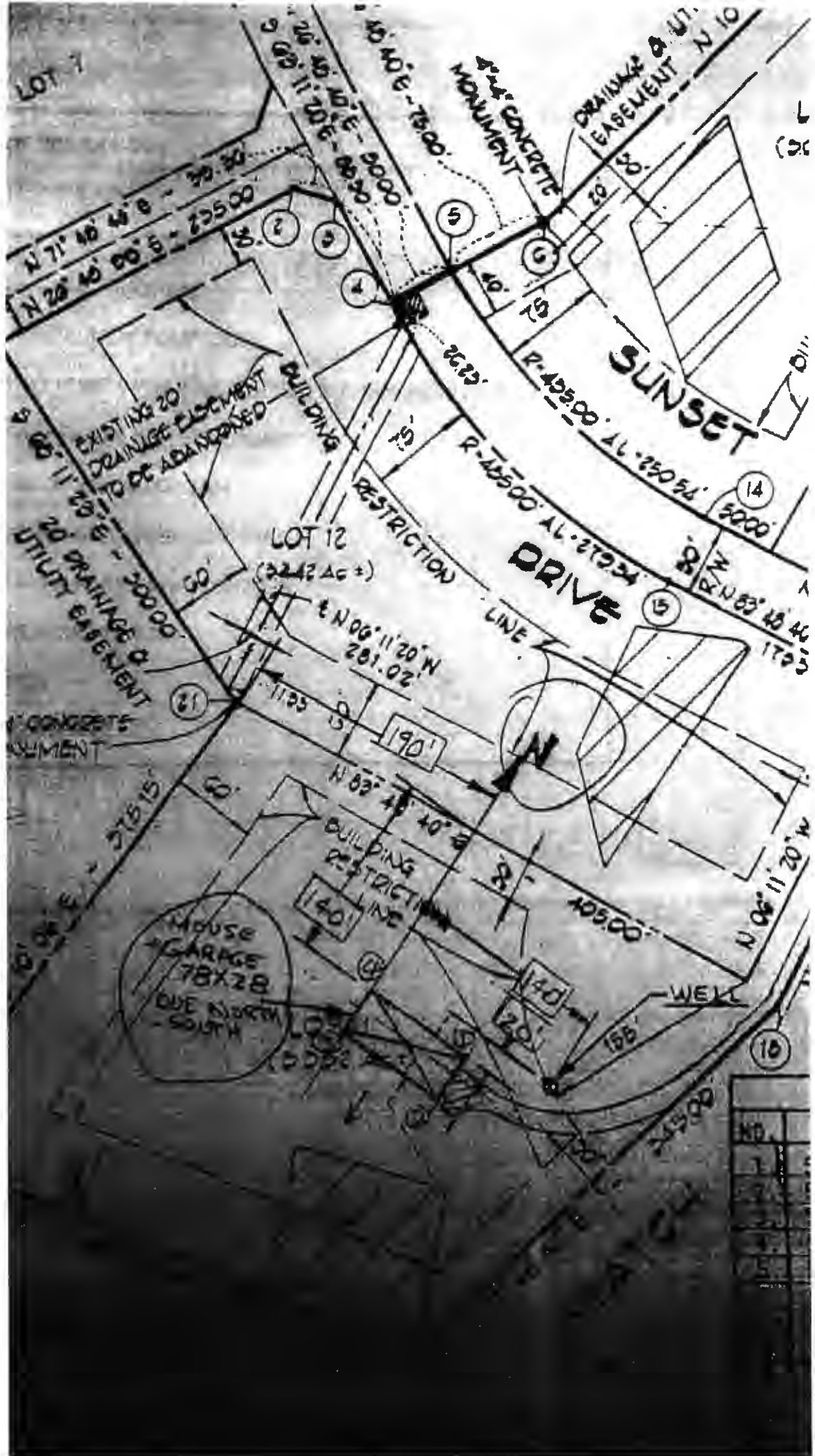
FOR OFFICE USE ONLY

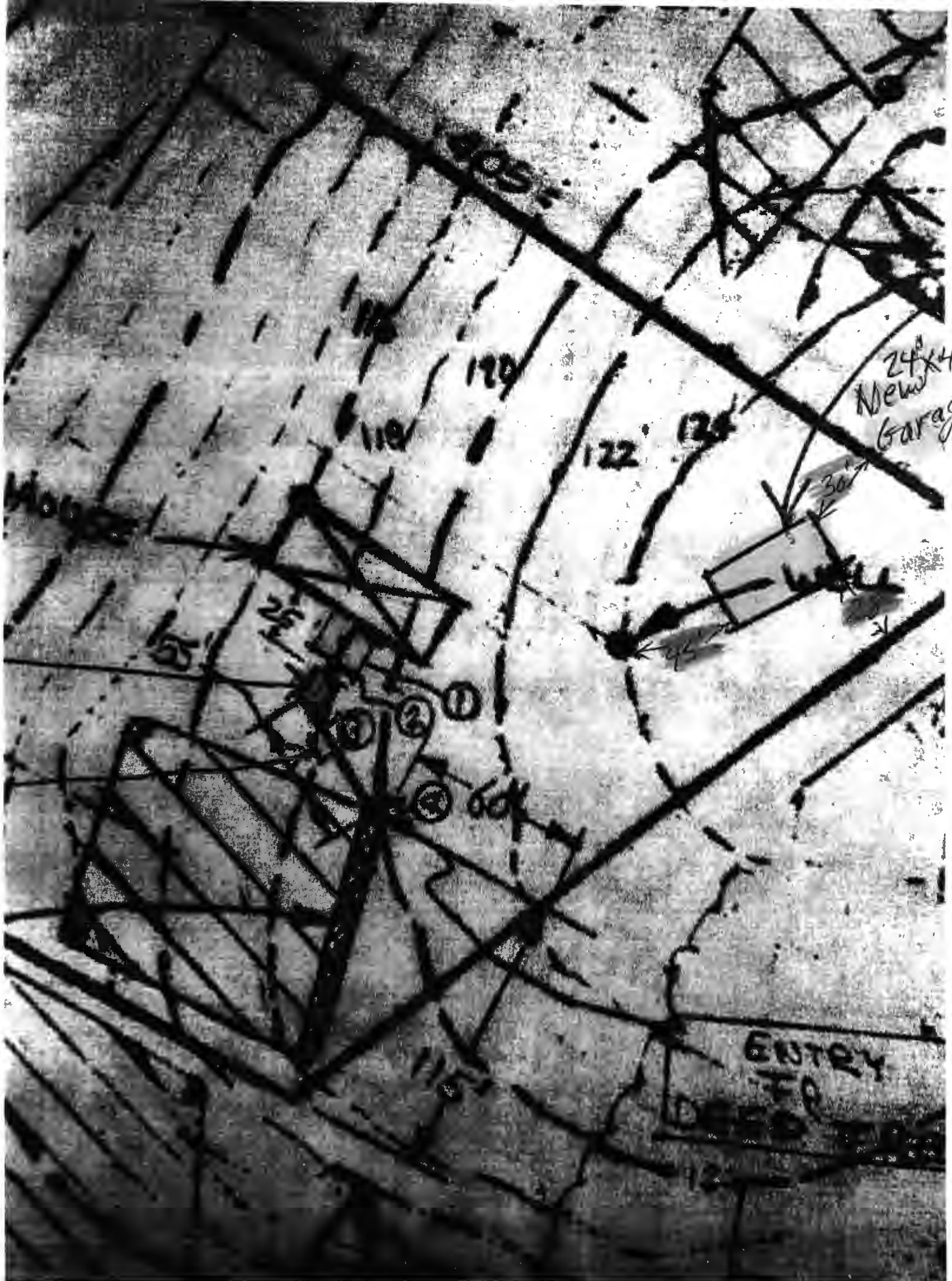
CHECKS PAYABLE TO: DIRECTOR OF FINANCE OF HOWARD COUNTY

AGENCIES REQUIRED/APPROVALS:

PR DPZ DED Health SHA CID

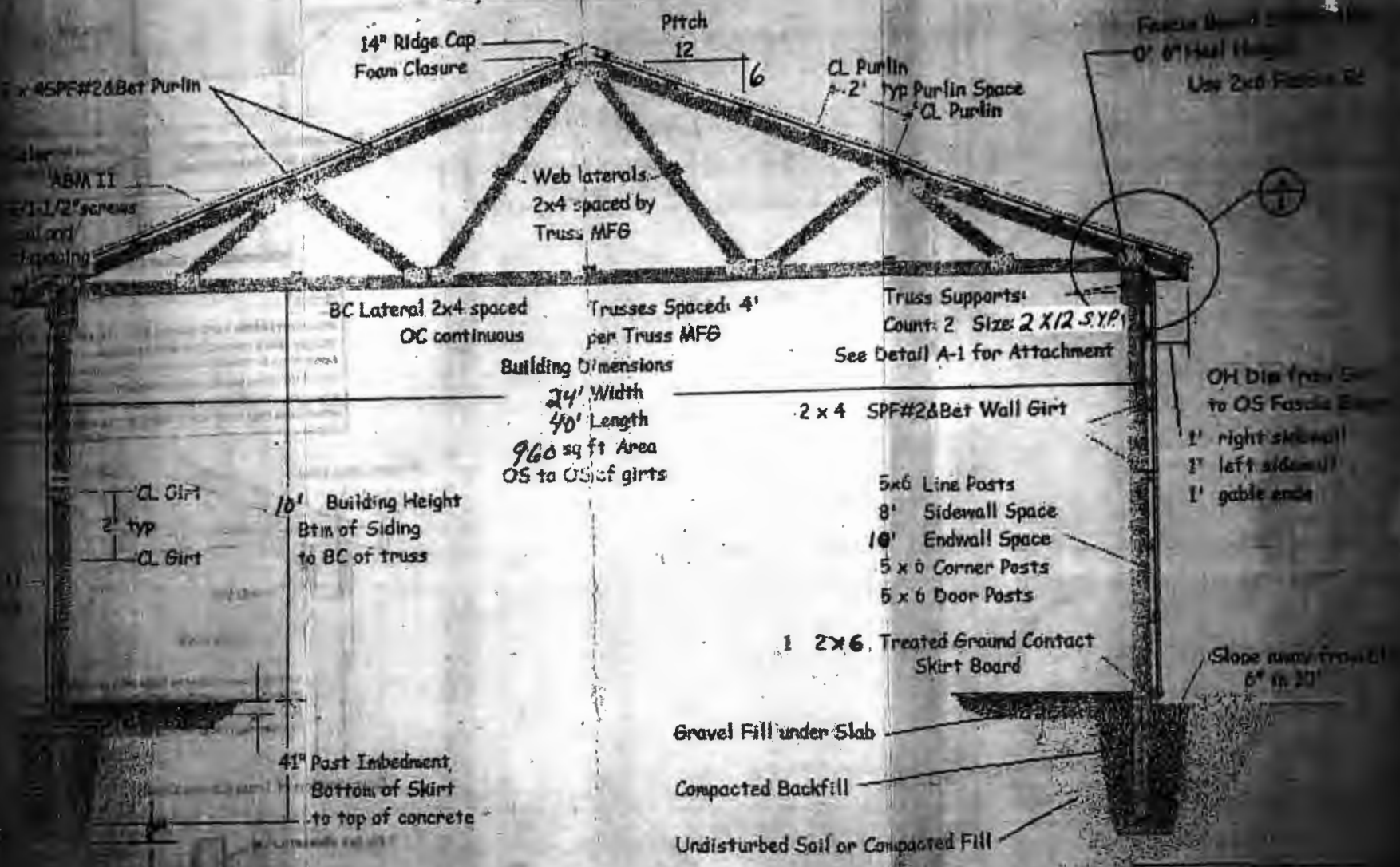
SUBMITTAL FEES: \$25.00 PAYMENT: NONE SUBMITTED ACCEPTED BY: DropBox





sample

BUILDING CROSS SECTION



14" Ridge Cap
Foam Closure

Pitch
12
6

CL Purlin
2" typ Purlin Space
CL Purlin

Fascia Board
0' 6" Head Height
Use 2x4 Fascia Board

2x4 SPF#2&Bet Purlin

ABM II
2-1/2" screws
cal and
lap joint

Web laterals
2x4 spaced by
Truss MFG

BC Lateral 2x4 spaced
OC continuous

Trusses Spaced: 4'
per Truss MFG

Truss Supports:
Count: 2 Size: 2 X 12 SYP
See Detail A-1 for Attachment

Building Dimensions
24' Width
40' Length
960 sq ft Area
OS to OS of girts

2 x 4 SPF#2&Bet Wall Girt

OH Dim from 5' to OS Fascia Board
1' right sidewall
1' left sidewall
1' gable end

CL Girt
2" typ
CL Girt

10' Building Height
Btm of Siding
to BC of truss

5x6 Line Posts
8' Sidewall Space
10' Endwall Space
5x6 Corner Posts
5x6 Door Posts

1 2x6 Treated Ground Contact
Skirt Board

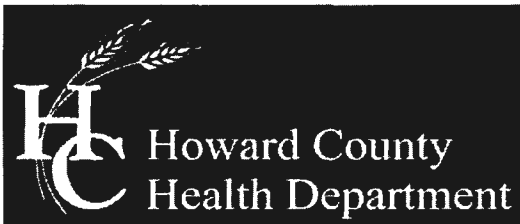
Slope away from building
6" in 30'

4" Post Imbedment
Bottom of Skirt
to top of concrete

Gravel Fill under Slab

Compacted Backfill

Undisturbed Soil or Compacted Fill



Bureau of Environmental Health

8930 Stanford Boulevard, Columbia, MD 21045

Main: 410-313-2640 | Fax: 410-313-2648

TDD 410-313-2323 | Toll Free 1-866-313-6300

www.hchealth.org

Facebook: www.facebook.com/hocohealth

Twitter: HowardCoHealthDep

Maura J. Rossman, M.D., Health Officer

MEMORANDUM

TO: Mark Herboldt
1020 Sunset Valley Dr.
Sykesville 21784-0000

FROM: Robert Freemon *RF*
Well & Septic Program

RE: 1020 Sunset Valley Dr.
Sykesville 21784-0000
"Future Building Permit"

DATE: 10/19/16

On 10/7/16 you inquired about well and septic regulations regarding future construction of a 1st floor living room bump out (Approx. 24'X24') along with an extended basement directly underneath (Approx. 24'X24'). Initially the Health Dept. requires a site plan drawn to scale accurately showing the well and septic system (Tank, Trenches, Sewage Disposal Area "SDA") and floor plans of the existing house along with floor plans for the proposed addition. With this information we would compare it to the records we have on file and determine if the septic system is adequate to handle the existing house and proposed addition.

From our records the septic system (Tank & Trenches) for 1020 Sunset Valley Dr. is sized for a 3 bedroom house. If we receive floor plans that contain a total of more than 3 bedrooms a septic system upgrade which would include a BAT Unit (Best Available Technology) will be required. The Health Dept. uses Howard County Code, Sec. 3.801, to define a bedroom. If there is currently more than 3 bedrooms in the existing house changes can be made so the Health Department does not consider particular rooms bedrooms. As for the site plan setbacks to the well and septic system must be met.

If you wish to move the tank and there is no proposal for bedroom additions at the time, a Tank Replacement Permit can be applied for. This permit would initially require a site plan drawn to scale accurately showing the existing well and septic system (Tank, Trenches, Sewage Disposal Area "SDA") and the proposed well and septic system. This permit would allow you to enlarge the Tank size and relocate it without having to upgrade to a BAT Unit. However the septic system would still not be adequate for more than 3 bedrooms considering additional

trenching would also be needed. Current regulations do not allow for trench upgrades/replacements in support of a building permit to increase the wastewater flow without triggering the BAT requirement. If the septic system is failing however, replacement trenching can be done without requiring a BAT unit. Though, regulations encompassing residential BAT unit requirements may change in the next several months to a year. These changes could possibly allow you to upgrade the trenching of your septic system without triggering the BAT requirement.

You had also mentioned wanting to put in your own replacement septic tank once the permit was approved. There are no certifications/licenses needed to perform a conventional septic tank installation. However it is advised against doing so for possible issues/complications that an experienced septic contractor would be trained to resolve or avoid.

I have attached our website address with which you can find much of this information including setbacks, property information (Well and Septic), and regulations. I hope this helps, let me know if anything is still unclear.