

Record Detail (This section is required.)

Permit Type Building/Residential/Misc/Pavilion Permit Number B24001355 Opened Date 04/15/2024
 Description of Work SFD/ CONSTRUCT 22 x 14 open pavilion, 22X12 and 19X8 irregular shape OPEN DECK, and outdoor kitchen over patio

[check spelling](#)

Online "BP."
 g/s 4/22/24

Address (This section is required.)

Search Reset Clear Get Parcel & Owner
 Street # 2038 Street Name DROVERS Street Type LN
 Unit Type --Select-- Unit # X Coordinate -77.01465 Y Coordinate 39.32282
 City COOKSVILLE State MD Zip Code 21723 Primary Yes

Parcel (This section is required.)

Search Reset Clear Get Address & Owner
 GIS ID 1101572 Parcel 176 Parcel Area 1 Land Value 230000 Improved Value 867600 Exemption Value 637600 Plan Area RURAL
 Legal Description IMPSPLOT 11 1.001 A.[]2038 DROVERS LN[]VISTA RIDGE

[check spelling](#)

Block 11 Census Tract 605601 Council Dist 5 Inspection Dist Supervisor Dist Map # DAP Zone
 Plan Area State Tax Id 1404595476 Subdivision Name Vista Ridge
 Section Area Tax Map 8
 Grid 8-23 Zoning District RC-DEO ADC Map 4692-H9
 SDP No. Final Plan No. F-08-095 WP File No.
 Record Plat No. 22430-2243 WS Contract No. FDP No. Primary Yes
 Owner Occupied Year Built 2017 Historic District
 Historic District Registry No. Stat Area 4-06 Flood Plain
 Building No

Owner (This section is required.)

Search Reset Clear
 Name GOTTPATI SAMPATH
 Address Line 1 2038 DROVERS LN
 Address Line 2
 Address Line 3
 Mail City COOKSVILLE Mail State MD Mail Zip Code 21723
 Phone 662-352-4090 Primary Yes
 E-mail
 Cell Number Fax Number

Professionals (This section is not required.)

License #
 08050134208
License Type
 MHIC Co
Primary
 Yes

Business Name
 RD CONTRACTING LLC
First Name Middle Name Last Name
 KUI LIN
Address Line 1
 3290 PINE ORCHARD LANE SUITE A2
Address Line 2

City State ZIP Code
 ELLICOTT CITY MD 21042-0000
Phone 1 Phone 2 Fax
 4109487948
E-mail
 RDCONTRACTINGMD@GMAIL.COM

Applicant (This section is not required.)

Search As Owner As Lic. Prof As Contact

Type Applicant
Relationship Applicant
Primary Yes

First Name MI Last Name
 KUI LIN
Full Name
 KUI LIN
Organization Name
 RD CONTRACTING LLC
Street Address
 3290 PINE ORCHARD LANE SUITE A2
Address Line 2

City State Zip Code
 ELLICOTT CITY MD 21042-0000
Phone Cell Fax
 4109487948
E-mail
 RDCONTRACTINGMD@GMAIL.COM

Addtl Info

Est Construction Cost 80000
Housing Units 0
Number of Buildings 0
Public Owned No

Construction Type
 434 - Additions, Alterations and Conversions - Residential

PAVILION

PAVILION INFORMATION

Capital Project-No Fee Yes No
Capital Project Number
Fee Exempt Yes No
Roadside Tree Project Permit Yes No
Roadside Tree Project Permit #

Existing Use SFD
Total Square Footage 2000
Water Supply SQFT Private
Sewage Disposal Private
Expiration Date 10/14/2024

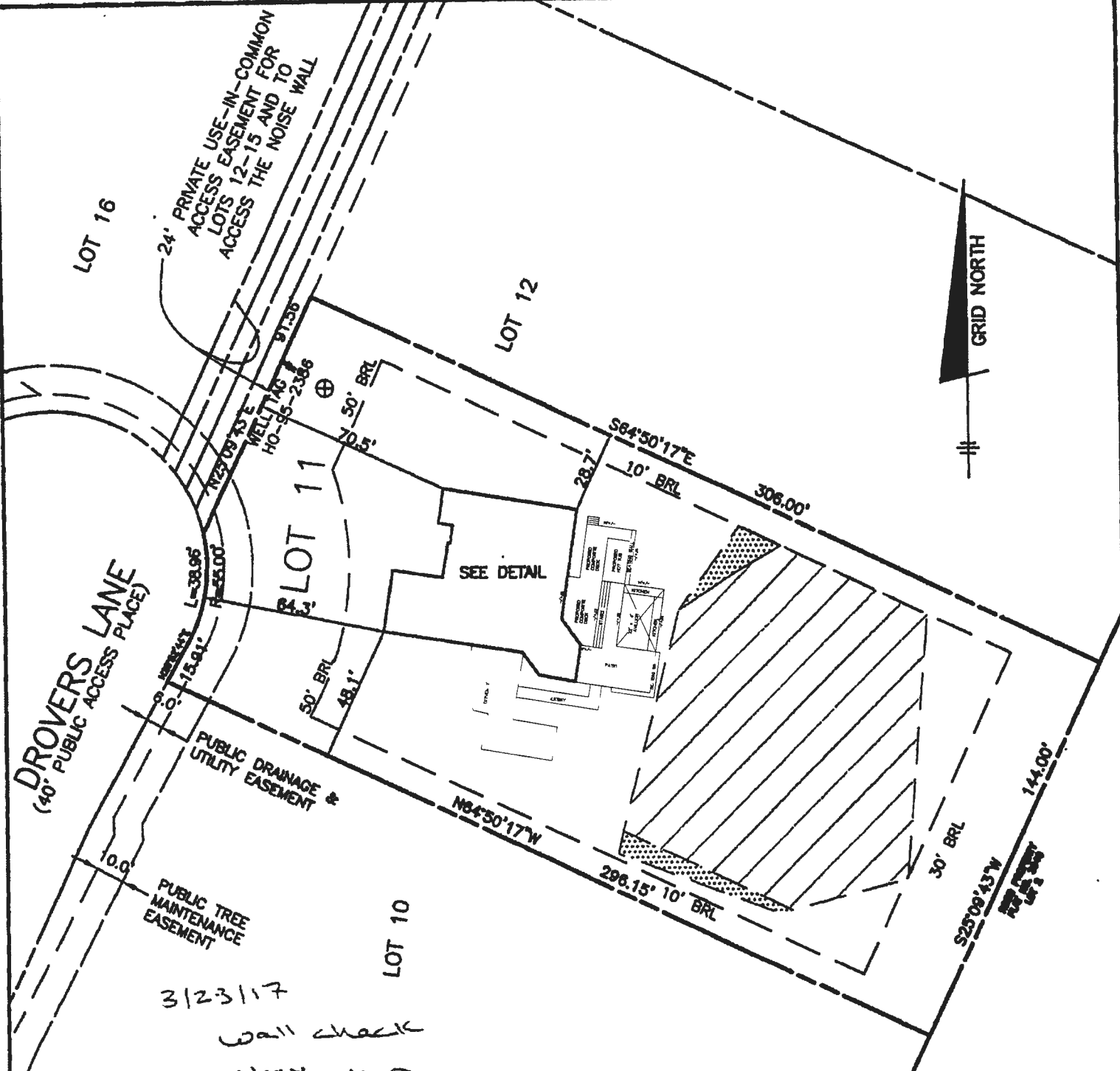
Related Records

Showing 1-2 of 2

Permit Number	Record Type Alias	Status	Number	Street Name	Opened Date	Description
B24001355	Residential Pavilion Permit	Review In Process	2038	DROVERS	04/15/2024	SFD/ CONSTRUCT 22 x 14 open pavilion, 22X12 and 1
E24001980	Residential Electrical Addition Alteration Permit	Ready for Issuance	2038	DROVERS	04/16/2024	Wire new deck (low voltage) & pavilion; Install lighting tr



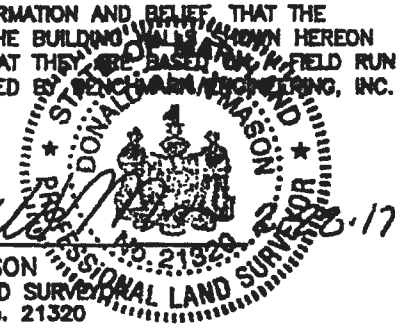
Submit Cancel



312317
 wall check
 okay H.O.

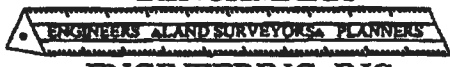
TOP OF FOUNDATION WALL = 635.8'
 OFFSET DIMENSIONS TO PROPERTY LINES ARE ± 0.1'

SURVEYOR'S CERTIFICATE
 I HEREBY CERTIFY THAT THESE DOCUMENTS, WERE PREPARED BY ME OR UNDER MY RESPONSIBLE CHARGE, AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21320, EXPIRATION DATE 1-7-2019 AND TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION AND BELIEF THAT THE DIMENSIONS OF THE BUILDING WALLS SHOWN HEREON ARE CORRECT; THAT THEY ARE BASED ON A FIELD RUN SURVEY PERFORMED BY BENCHMARK ENGINEERING, INC. ON 02/24/2017.

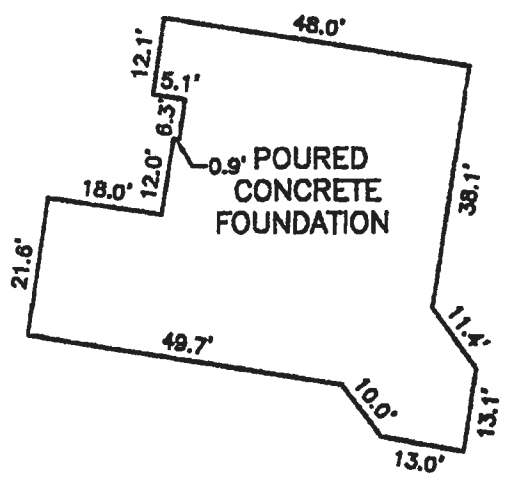


DONALD A. MASON
 PROFESSIONAL LAND SURVEYOR
 MARYLAND REG. No. 21320
 FEMA FIRM No. 24027C0035D
 ZONE: X
 DATED: 11/06/2013

BENCHMARK



ENGINEERING, INC.
 8480 BALTIMORE NATIONAL PKCE SUITE 315
 ELLICOTT CITY, MARYLAND 21043
 (P) 410-485-6105 & (F) 410-485-6444
 WWW.BEI-CIVILENGINEERING.COM



FOUNDATION DETAIL
 SCALE: 1" = 30'

WALL CHECK

VISTA RIDGE
PLAT No.22432
 LOT No.11

2038DROVERS LANE
 4TH ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND

FIELD OBS. BY PJ
 COMP. BY EWF
 DRAWN BY EWF SCALE: 1" = 50' DATE: 02/24/2017

Oswald Jr, Woodin

From: Oswald Jr, Woodin
Sent: Wednesday, April 24, 2024 11:09 AM
To: 'RDCONTRACTINGMD@GMAIL.COM'
Subject: B24001355_2038 Drovers Lane
Attachments: septic record.pdf; Well and On-site Sewage Disposal System Setbacks 10-2402018 (1).pdf

Hi Mr. Lin,

Good morning. Please revise the site plan for building permit # B24001355 (2038 Drovers Lane) to show the well and septic system components. You may want to use the "wall check" located on page #3 of the septic record (attached) as the basis of the site plan, because it already shows the existing well, house location, and the sewage disposal area (SDA). You will need to print the plan to scale prior to adding in the septic components and proposed structures. The as-built drawing on page #2 of the septic record shows the location of the septic system components. Lastly, does the outdoor kitchen have plumbing? If yes, then we will need the details regarding water and sewer connections.

In the end, all proposed structures must meet the required well and septic setback distances (see attached). Should you have any questions, please don't hesitate to ask.

Regards,

Hank

Hank Oswald
Licensed Environmental Health Specialist
Bureau of Environmental Health
Howard County Health Department
8930 Stanford Blvd. Columbia, MD 21045
(410) 313 - 1786
www.hchealth.org

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Oswald Jr, Woodin

From: Sampath Gottipati <gottipati@gmail.com>
Sent: Wednesday, April 24, 2024 3:16 PM
To: Oswald Jr, Woodin
Cc: rdcontractingmd@gmail.com
Subject: Re: B24001355_2038 Drovers Lane

*Approved
JW
4/24/24*

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

Hi Mr. Hank,

Yes. I would like to request the waiver as mentioned below and per the design provided. Please let me know if anything is needed from our end in addition to this email request.

Thanks
Sampath Gottipati

Sent from my iPhone

On Apr 24, 2024, at 2:57 PM, Oswald Jr, Woodin <hoswald@howardcountymd.gov> wrote:

Hello Mr. Gottipati:

As I mentioned to your contractor, the south edge of the pavilion/kitchen structure appears to be less than 5 feet (approx. 3 feet) from the edge of the sewage disposal area. The south edge of the patio seating wall appears to be within a foot of the edge of the SDA. The waiver request should include both structures.

Let me know if you have any questions.

Regards,

Hank

Hank Oswald
Licensed Environmental Health Specialist
Bureau of Environmental Health
Howard County Health Department
8930 Stanford Blvd. Columbia, MD 21045
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From: Sampath Gottipati <gottipati@gmail.com>
Sent: Wednesday, April 24, 2024 2:23 PM
To: Oswald Jr, Woodin <hoswald@howardcountymd.gov>
Cc: rdcontractingmd@gmail.com
Subject: Re: B24001355_2038 Drovers Lane

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

Hi Mr. Hank

I am the owner of the property 2038 Drovers Ln and as per the conversation with RD Contracting and the attached patio proposal, I would like to kindly request a Waiver to reduce setback from 5' to 3' for the proposed patio.

Thanks
Sampath Gottipati
443-797-9411

Sent from my iPhone

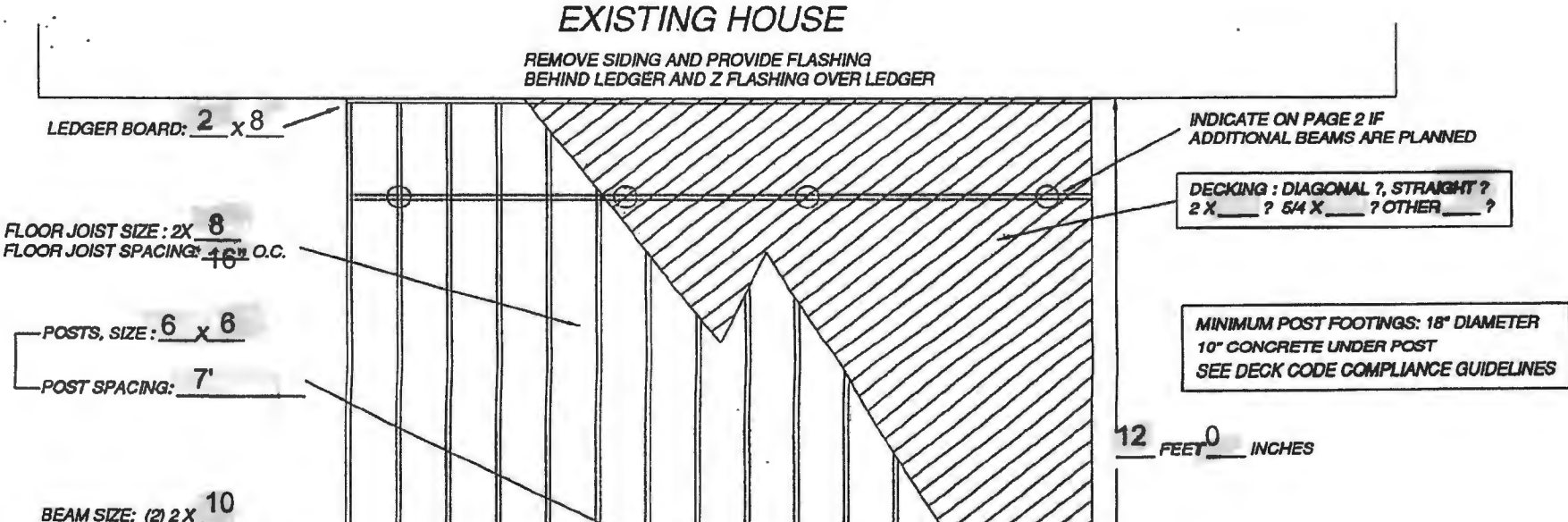
STORY
ELLING



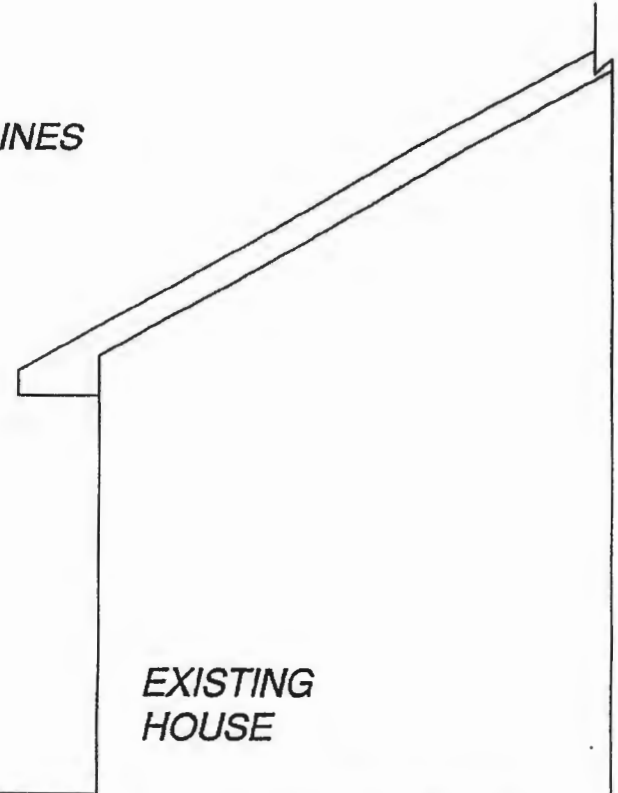
PROPOSED DECK AT
 2038 DROVER LANE, COOKESVILLE
 SCALE: 1" = 10'

2021 IRC Residential Code
40psf Ground Snow Load for Roof Design

*** SEE DECK CODE COMPLIANCE GUIDELINES FOR MINIMUM SPECIFICATIONS

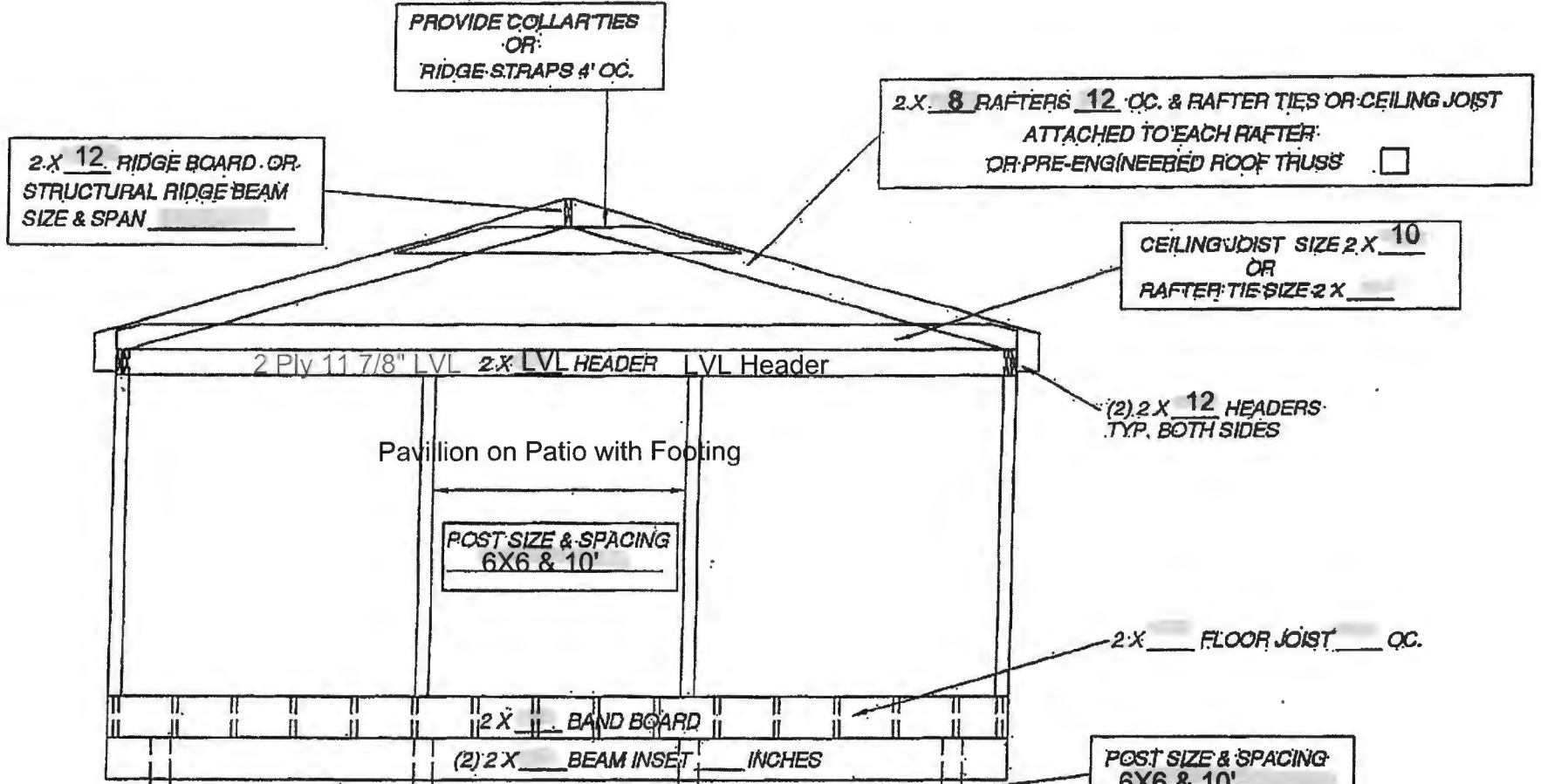


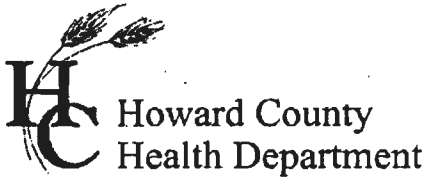
***** SEE DECK CODE COMPLIANCE GUIDELINES
FOR MINIMUM SPECIFICATIONS**



**EXISTING
HOUSE**

IF ADDITIONAL BEAMS ARE PLANNED





Bureau of Environmental Health
 8930 Stanford Boulevard, Columbia, MD 21045
 Main: 410-313-2640 | Fax: 410-313-2648
 TDD 410-313-2323 | Toll Free 1-866-313-6300
www.hchealth.org
 Facebook: www.facebook.com/hocohealth

Maura J. Rossman, M.D., Health Officer

RECEIPT DATE: 3/23/17 **ONSITE SEWAGE DISPOSAL SYSTEM** P 560580

APPROVAL DATE: 7/21/17 **PERMIT: CONSTRUCTION** A _____

PROPERTY ADDRESS: 2038 Drovers Lane

SUBDIVISION: Vista Ridge LOT: 11 TAX ID: 04-595476

CONTRACTOR: _____ EMAIL: _____

CONTRACTOR ADDRESS: _____ PHONE: _____

PROPERTY OWNER: DR Horton, Inc. EMAIL: _____

OWNER ADDRESS: 1356 Beverly Road Suite 300, McLean, VA 22101 PHONE: 571-723-0813

SEPTIC TANK SIZE (GALLONS): 2000 TANK MANUFACTURER: Mayer Bro, Inc.

PUMP MODEL: N/A PUMP SIZE: N/A PUMP TANK CAPACITY: N/A

DISTRIBUTION SYSTEM: GRAVITY PRESSURE DOSED BEDROOMS: 6 APPLICATION RATE: 0.8

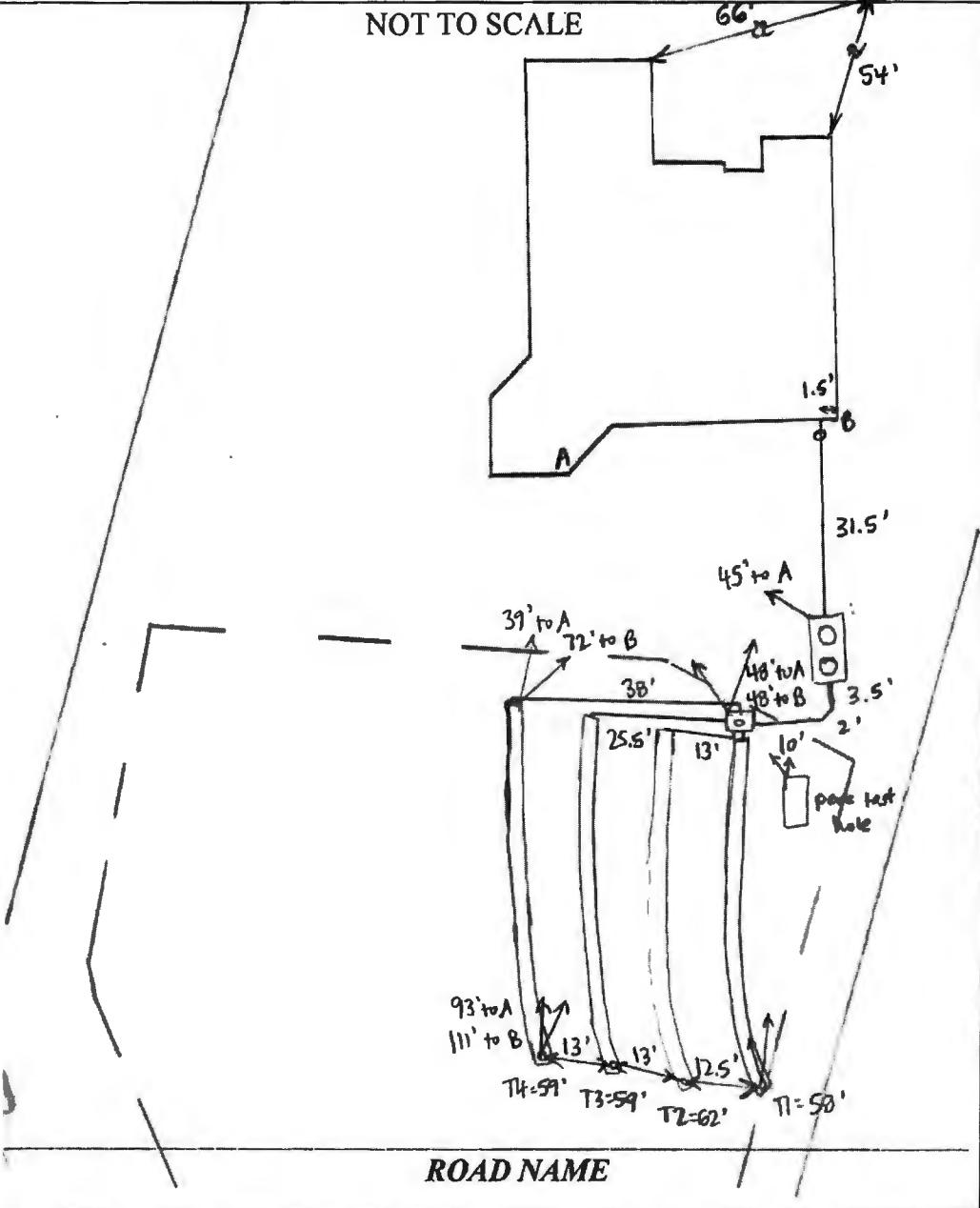
TRENCHES:	LINEAR FEET REQUIRED: <u>234</u>	INLET DEPTH: <u>4'5"</u>
	TRENCH WIDTH: <u>3</u>	MAXIMUM BOTTOM DEPTH: <u>8</u>
	MINIMUM SPACE BETWEEN TRENCHES: <u>10</u>	EFFECTIVE AREA BEGINNING DEPTH: <u>6</u>
LOCATION:	PER APPROVED SITE PLAN. SEWAGE DISPOSAL AREA AND TANK LOCATIONS MUST BE STAKED BY LICENSED SURVEYOR PRIOR TO PRE-CONSTRUCTION INSPECTION.	
NOTES:	Install 4x59' trenches	

ISSUED BY: Robert Freeman ISSUE DATE: 3/23/17 EXPIRATION DATE: 3/23/18

- NOTE: CONTRACTOR MUST SCHEDULE A PRE-CONSTRUCTION INSPECTION PRIOR TO BEGINNING ANY INSTALLATION
- NOTE: CONTRACTOR MUST SCHEDULE AN INSPECTION AND GAIN APPROVAL OF ALL COMPONENTS PRIOR TO COVERING
- NOTE: STONE MUST BE APPROVED BY HEALTH DEPARTMENT AND GRAVEL TICKET MUST BE AVAILABLE FOR REVIEW.
- NOTE: WATERTIGHT TANKS REQUIRED
- NOTE: ALL PARTS OF SEPTIC SYSTEM SHALL BE AT LEAST 100 FEET DOWNGRADIENT FROM ANY WATER WELL
- NOTE: MANHOLE RISERS REQUIRED ON ALL SEPTIC TANKS AND PUMP CHAMBERS
- NOTE: AN ELECTRICAL PERMIT IS REQUIRED FOR INSTALLATION OF ANY ELECTRICAL COMPONENTS OF THE SYSTEM
 ELECTRICAL PERMIT ISSUED E _____
- NOTE: MDE RECOMMENDS SEPTIC TANKS, BAT, AND OTHER PRETREATMENT UNITS BE PUMPED AT A FREQUENCY ADEQUATE TO ENSURE THAT SOLIDS ARE NOT DISCHARGED TO THE DISPOSAL AREA

**NEITHER THE HOWARD COUNTY COUNCIL NOR THE HEALTH DEPARTMENT IS RESPONSIBLE FOR THE SUCCESSFUL OPERATION OF ANY SYSTEM.
 PERMITTEE RESPONSIBLE FOR OBTAINING FINAL APPROVAL ON THIS PERMIT.
 CALL 410-313-1771 TO SCHEDULE INSPECTIONS.**

NOT TO SCALE

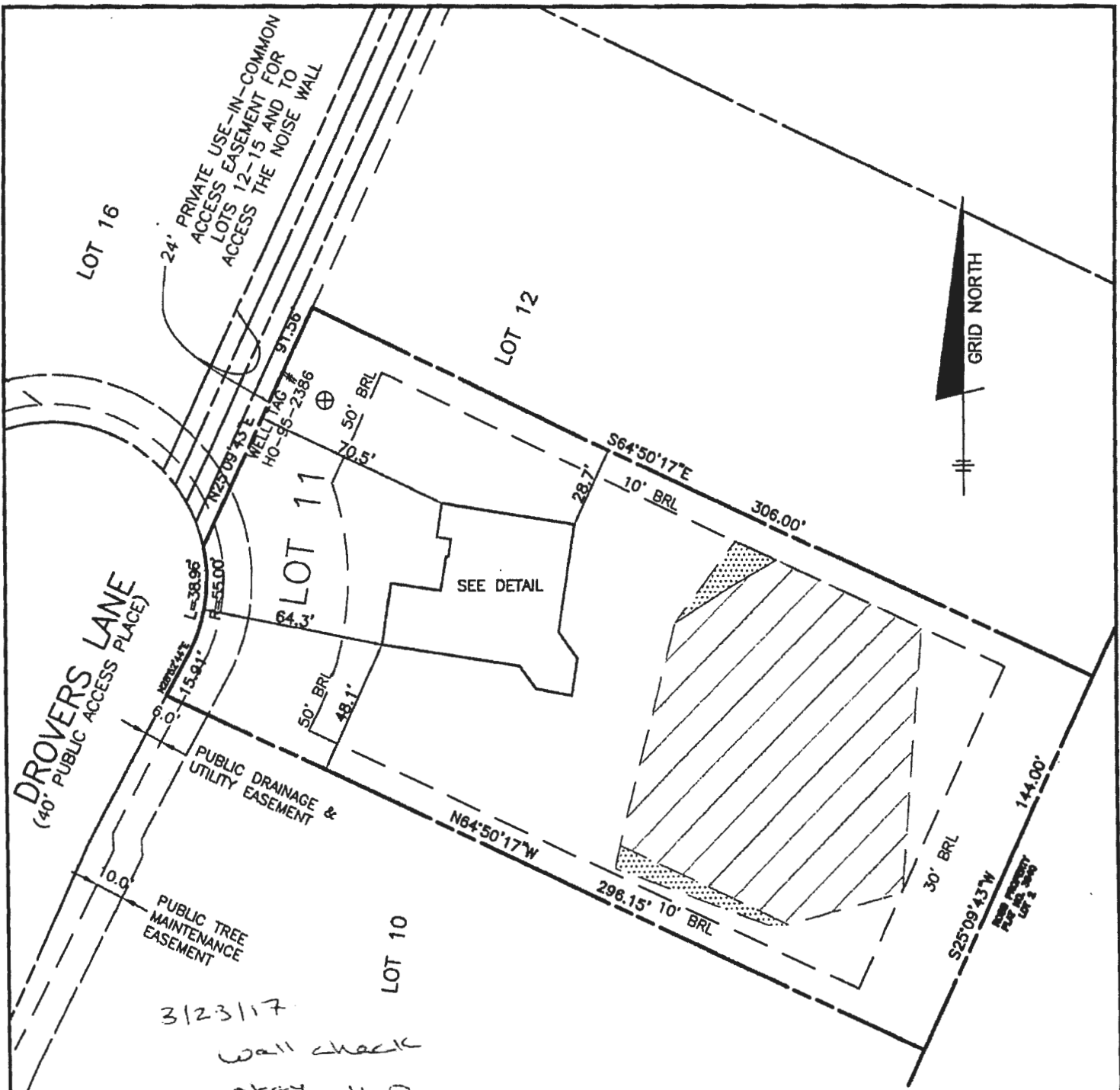


TRENCH/DRAINFIELD DATA		
WIDTH	INLET	BOTTOM
3'	4.5-5'	8'
NUMBER OF TRENCHES		4
TOTAL LENGTH		236'
ABSORPTION AREA		708' + SIDEWALL
DISTRIBUTION BOX LEVEL		YES
DISTRIBUTION BOX BAFFLE		YES
DISTRIBUTION BOX PORT		YES

SEPTIC TANK DATA	
SEPTIC TANK I LEVEL	YES
MANUFACTURER	BABYLON
CAPACITY	2000 GAL
SEAM LOC	TOP
TANK LID DEPTH	2.5-3.5'
BAFFLES	
BAFFLE FILTER	NONE
MANHOLE LOC	FRONT + REAR
6" PORT LOC	NONE
WATERTIGHT TEST	NJ
SLOTTED	YES
DATE ON LID	6-14-17

PUMP/SEPTIC TANK LEVEL	
MANUFACTURER	
CAPACITY	GAL
SEAM LOC	
TANK LID DEPTH	
BAFFLES	
BAFFLE FILTER	
MANHOLE LOC	
6" PORT LOC	
WATERTIGHT TEST	
SLOTTED	
DATE ON LID	

PRE-CONSTRUCTION:
 7/13/17 Met Fogle's + superintendent Jason on site for layout. SDA corner staked, tank not staked. Set tank location per plan - will need a traffic-bearing tank. Trees must be cleared in upper part of SDA prior to doing trench layout. OK to set tank. (SC)
 7/18/17 Shot contour + laid out 4x59' trenches. Contour not as shown - trenches have less curvature. Dug a test hole in SDA above T1, little rock (see perc notes). Must use laser while digging trenches. (SC)
INSTALLATION: 7/17/17 Fogle's digging tank hole, hitting rock from surface to bottom. House connection made. (SC) 7/17/17 On site for setting tank - took some adjustments to get it level. NO obvious cracks on bottom or sides. (SC) 7/18/17 T1 dug. Fogle's adding stone, 3' wide, 5' inlet, 8' bottom. Little rock in spoil piles. (SC) 7/19/17 T2 + T3 complete + left open @ ends for inspection - 3' wide, 4-4.5' to stone. Fogle's digging T4 + using laser, 8' bottom. (SC) 7/20/17 T4 complete + left open for inspection, 3' wide, 4' to stone. Levelled speed levelers in D-box - outlet pipe to T4 is leaking. Other pipes backfilled @ box, couldn't tell if they leaked. Seal all with hydraulic cement, plus crack near T4 pipe upper part. (SC) 7/21/17 D-box pipes sealed w/ hydraulic cement, crack sealed. Levelled speed levelers in D-box. (SC)
 FINAL INSPECTOR Sarah Collins DATE OF APPROVAL 7/21/17



3123117
 wall check
 okay H.O.

TOP OF FOUNDATION WALL = 635.8'
 OFFSET DIMENSIONS TO PROPERTY LINES ARE ± 0.1'

SURVEYOR'S CERTIFICATE

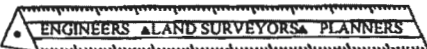
I HEREBY CERTIFY THAT THESE DOCUMENTS, WERE PREPARED BY ME OR UNDER MY RESPONSIBLE CHARGE, AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21320, EXPIRATION DATE 1-7-2019 AND TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION AND BELIEF, THAT THE DIMENSIONS OF THE BUILDING WALLS SHOWN HEREON ARE CORRECT; THAT THEY ARE BASED ON FIELD RUN SURVEY PERFORMED BY BENCHMARK ENGINEERING, INC. ON 02/24/2017.



DONALD A. MASON
 PROFESSIONAL LAND SURVEYOR
 MARYLAND REG. No. 21320

FEMA FIRM No. 24027C0035D
 ZONE: X
 DATED: 11/06/2013

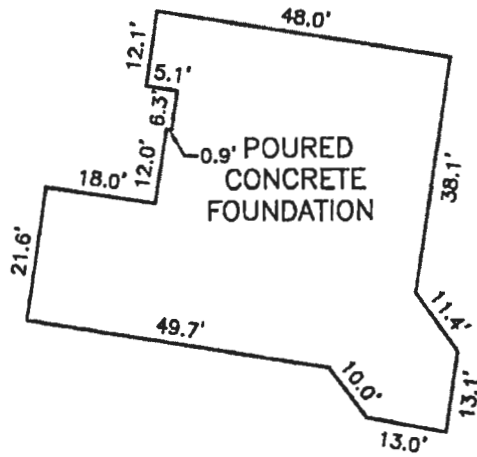
BENCHMARK



ENGINEERING, INC.

8480 BALTIMORE NATIONAL PIKE SUITE 315
 ELLICOTT CITY, MARYLAND 21043
 (P) 410-485-6105 (F) 410-485-8844

WWW.BE-CIVLENGINEERING.COM



FOUNDATION DETAIL
 SCALE: 1" = 30'

WALL CHECK

VISTA RIDGE
PLAT No.22432
LOT No.11

2038DROVERS LANE

4TH ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND

FIELD OBS. BY PJ
 COMP. BY EWF
 DRAWN BY EWF SCALE: 1" = 50' DATE: 02/24/2017