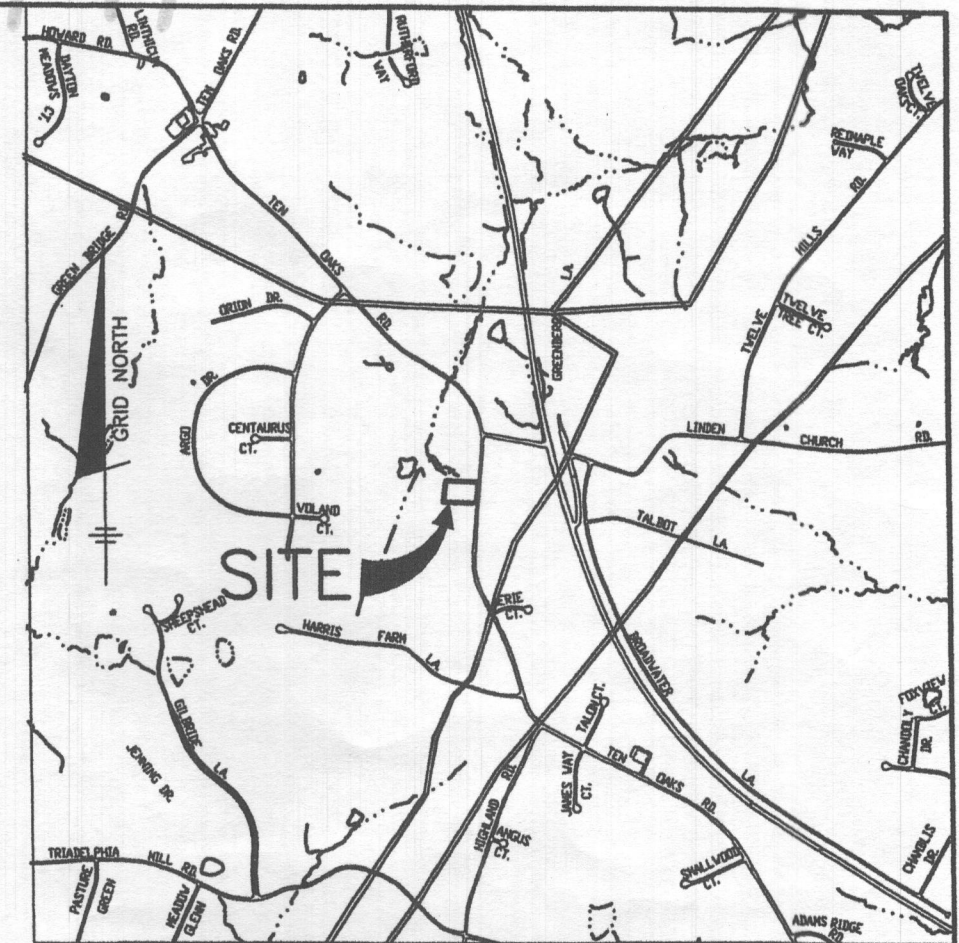
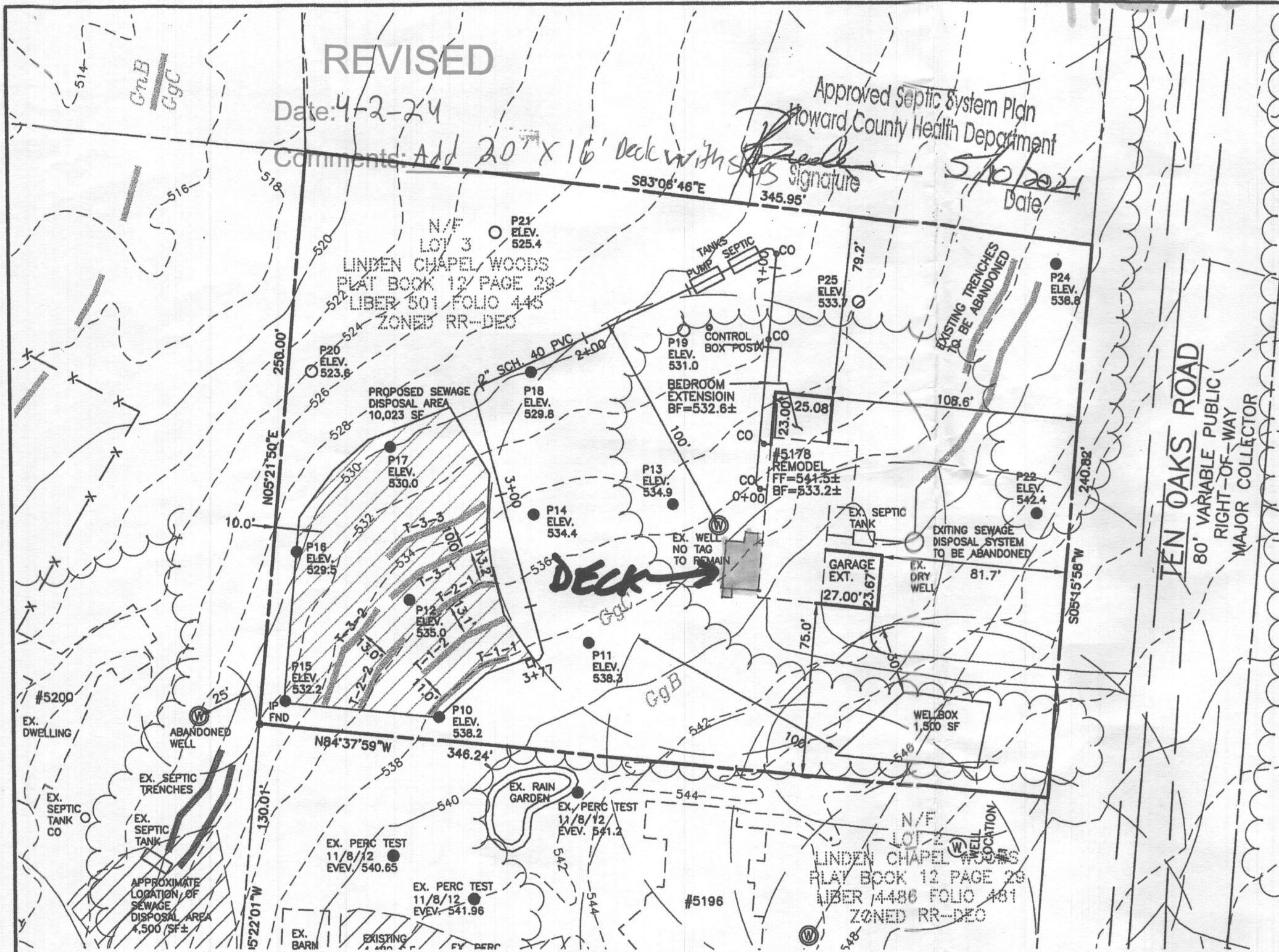


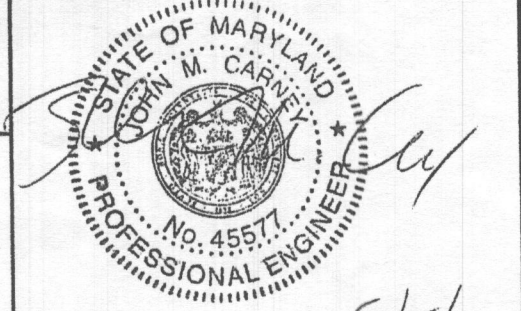
HEALTH



VICINITY MAP
SCALE: 1" = 2000'

PLAN VIEW
1" = 50'

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 45577. Expiration Date: 06-08-2022.



OWNER:
PARK BROTHERS LLC
5200 TEN OAKS ROAD
CLARKSVILLE, MD 21029
443-829-9222

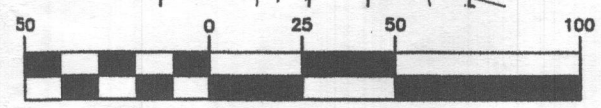
PROJECT: LINDEN CHAPEL WOODS LOT 3
LOCATION: TAX MAP: 28, GRID: 14, PARCEL: 127
5178 TEN OAKS ROAD, TAX ID 05-368316
ELECTION DISTRICT NO. 4, HOWARD COUNTY, MARYLAND

TITLE: ONSITE SEWAGE DISPOSAL PLAN
HOUSE TYPE: CUSTOM REMODEL

DATE: APRIL, 2021 PROJECT NO. 2763
SCALE: AS SHOWN DRAWING 1 OF 4

- GENERAL NOTES**
- THE LOT SHOWN HEREON WAS RECORDED ON THE PLAT FOR WINDEN CHAPEL WOODS, PLAT BOOK 12, PAGE 29. REFER TO THE PLAT FOR LOT DIMENSIONS, LOT AREA, ALL EASEMENTS AND CONDITIONS.
 - THE EXISTING WELL SHOWN ON THIS PLAN (NO TAG) HAS BEEN FIELD LOCATED BY OWNER IN DECEMBER 2020 AND IS ACCURATELY SHOWN.
 - THERE ARE NO EXISTING WELLS OR SEPTIC SYSTEMS WITHIN 100' OF THIS PROJECT'S BOUNDARY EXCEPT AS NOTED.
 - TOPOGRAPHY SHOWN WAS BASED ON HOWARD COUNTY GIS AND WAS FIELD CONFIRMED BY BENCHMARK ENGINEERING, INC. IN NOVEMBER, 2020, FROM FIELD SHOT ELEVATIONS OF THE PERCOLATION TEST LOCATIONS.
 - SEDIMENT AND EROSION CONTROLS WILL BE SUBMITTED BY HOWARD SOILS CONSERVATION DISTRICT AS A STANDARD GRADING PLAN.
 - ALL DRAINAGE AND STORMWATER MANAGEMENT FEATURES USED ON THIS SITE MUST COMPLY WITH THE APPROVED BUILDING PERMIT.
 - ANY CHANGES TO A PRIVATE SEWAGE DISPOSAL AREA OR WELL BOX

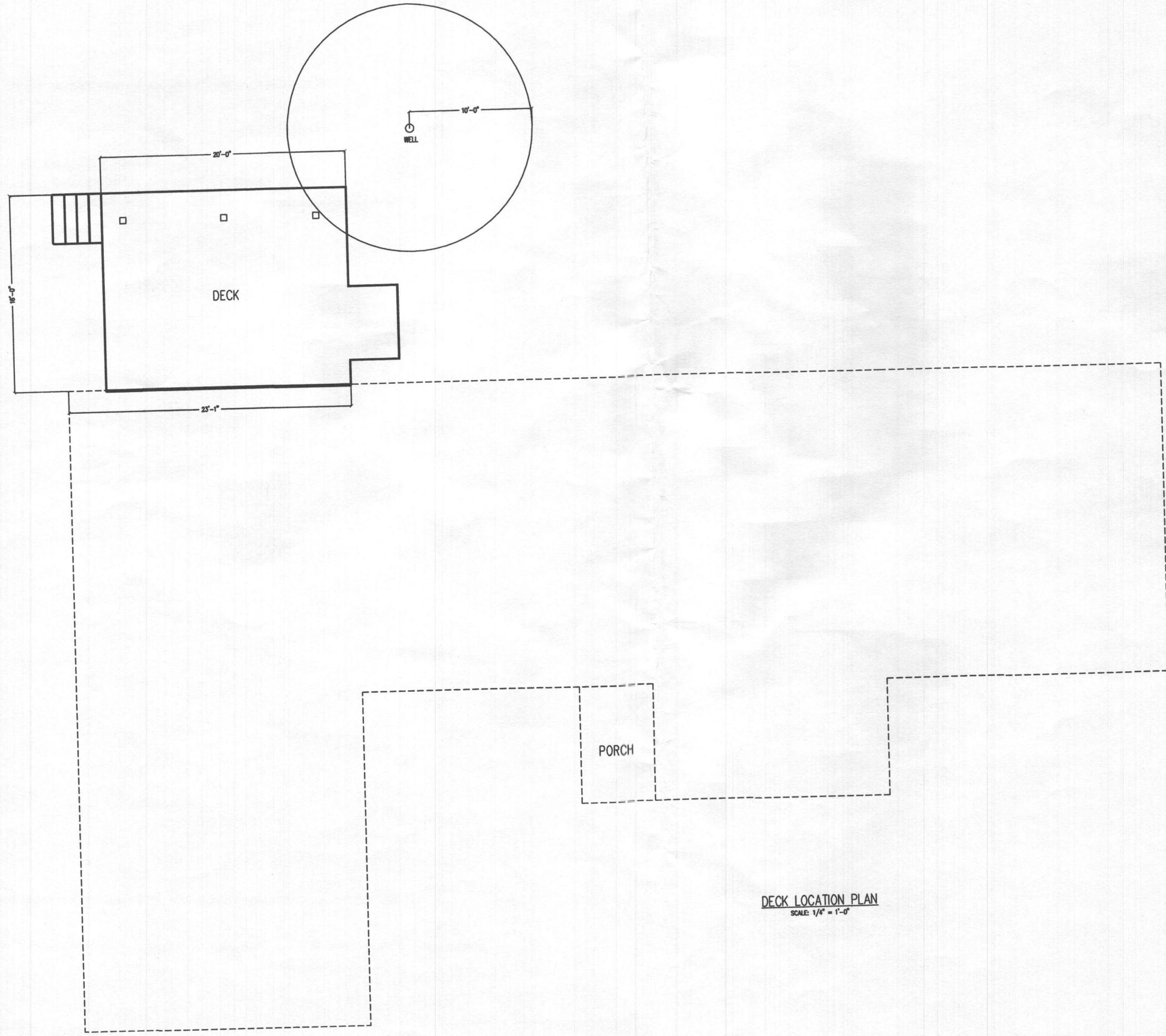
- SHALL REQUIRE A REVISED PERCOLATION CERTIFICATION PLAN.
- ANY CHANGES TO THE LOCATIONS OR DEPTHS TO ANY COMPONENTS MUST BE APPROVED BY THE ENGINEER AND THE HOWARD COUNTY HEALTH DEPARTMENT PRIOR TO INSTALLATION. A REVISED SITE PLAN MAY BE REQUIRED.
- ANY ELECTRICAL WORK FOR THE INSTALLATION MUST BE PERFORMED BY A LICENSED ELECTRICIAN.
- THE SEPTIC TANK WILL BE A 2000 GALLON TWO COMPARTMENT TANK. THE PUMP TANK WILL BE A 2000 GALLON ONE COMPARTMENT TANK.
- THE MAXIMUM EARTH COVER OVER THE TANK IS 3 FEET. GREATER EARTH COVER WILL REQUIRE A HEAVY LOAD BEARING TANK.
- ALL WELLS AND SEPTIC SYSTEMS LOCATED WITHIN 100' OF THE PROPERTY BOUNDARIES AND 200' DOWN GRADIENT OF ANY WELLS/OR SEPTIC SYSTEM HAVE BEEN SHOWN.
- THE ENVIRONMENTAL SANITARIAN ATTENDING THE SEPTIC SYSTEM INSTALLATION HAS THE PREROGATIVE TO REQUIRE WATERTIGHT TESTS, OR TANK STABILIZING FIXTURES, SHOULD SOIL CONDITIONS INDICATE POTENTIAL FOR GROUNDWATER INFILTRATION OR TANK FLOTATION.



(IN FEET)
1 inch = 50 ft.

BENCHMARK
ENGINEERS • LAND SURVEYORS • PLANNERS

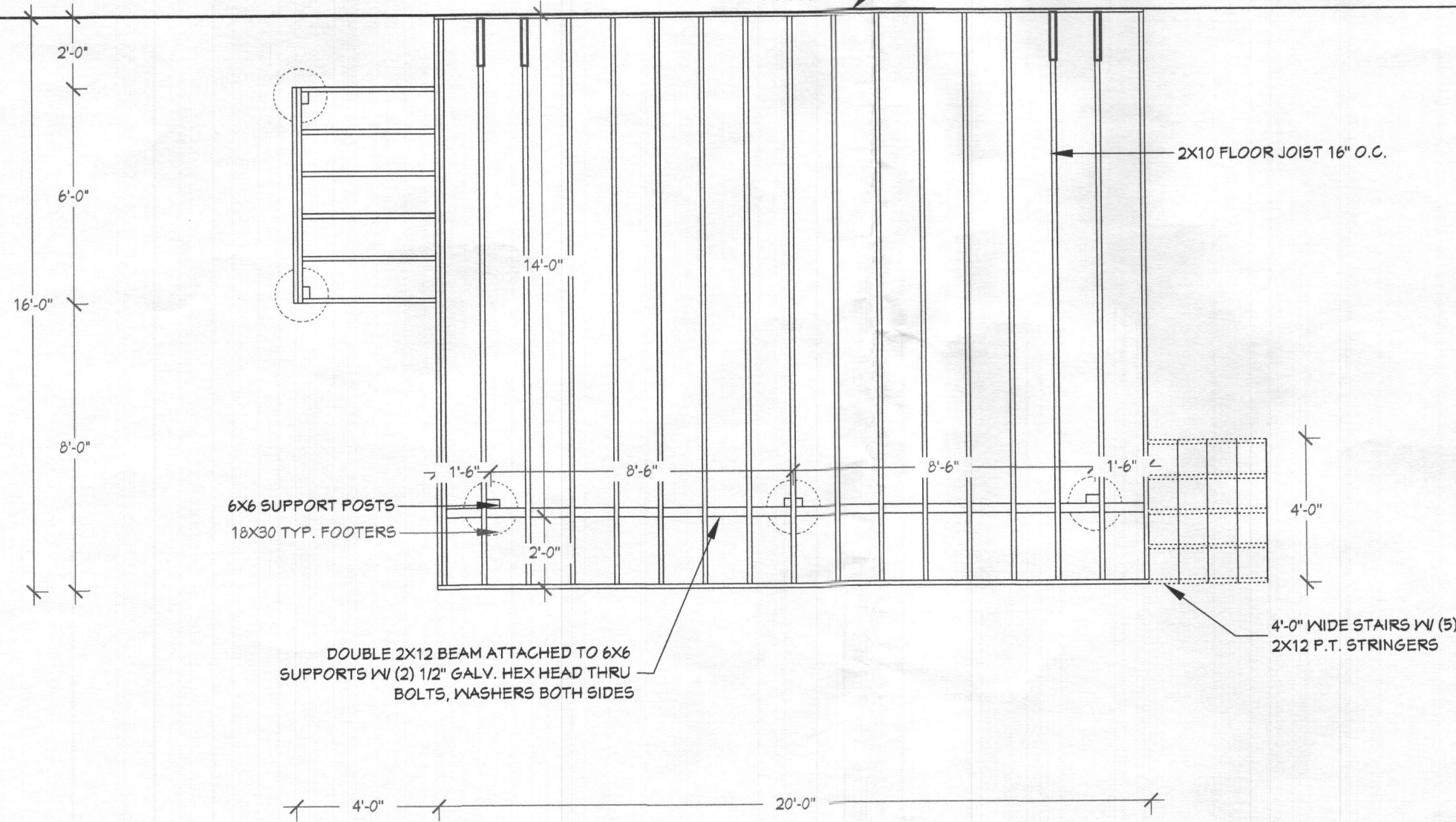
ENGINEERING, INC.
8480 BALTIMORE NATIONAL PIKE SUITE 315
ELLCOTT CITY, MARYLAND 21043
(P) 410-465-6105 (F) 410-465-6644
WWW.BEI-CIVILENGINEERING.COM



DECK LOCATION PLAN
SCALE: 1/4" = 1'-0"

(4) SIMPSON LTT19 TENSION TIES ATTACHED TO OUTSIDE TWO FLOOR JOISTS ON BOTH SIDES OF DECK AND ATTACHED TO HOUSE W/ 1/2" GALV. LAG BOLT

2X10 LEDGER BOARD ATTACHED TO HOUSE W/ GRK STRUCTURAL SCREWS 3/16"x4" 4" O.C. (3 PER JOIST BAY) IN A DIAGONAL PATTERN W/ ALL NECESSARY FLASHING TO HOUSE WALL



DECK FRAMING

Scale: 1/4" = 1'-0" NTS

Sheet Index

- 1 Deck Framing
- 2 Deck Layout
- 3 Front Elevation
- 4 Right Elevation
- 5 Details

Job Location:
5178 Ten Oaks
RD
Clarksville, MD
21029
#B22000406

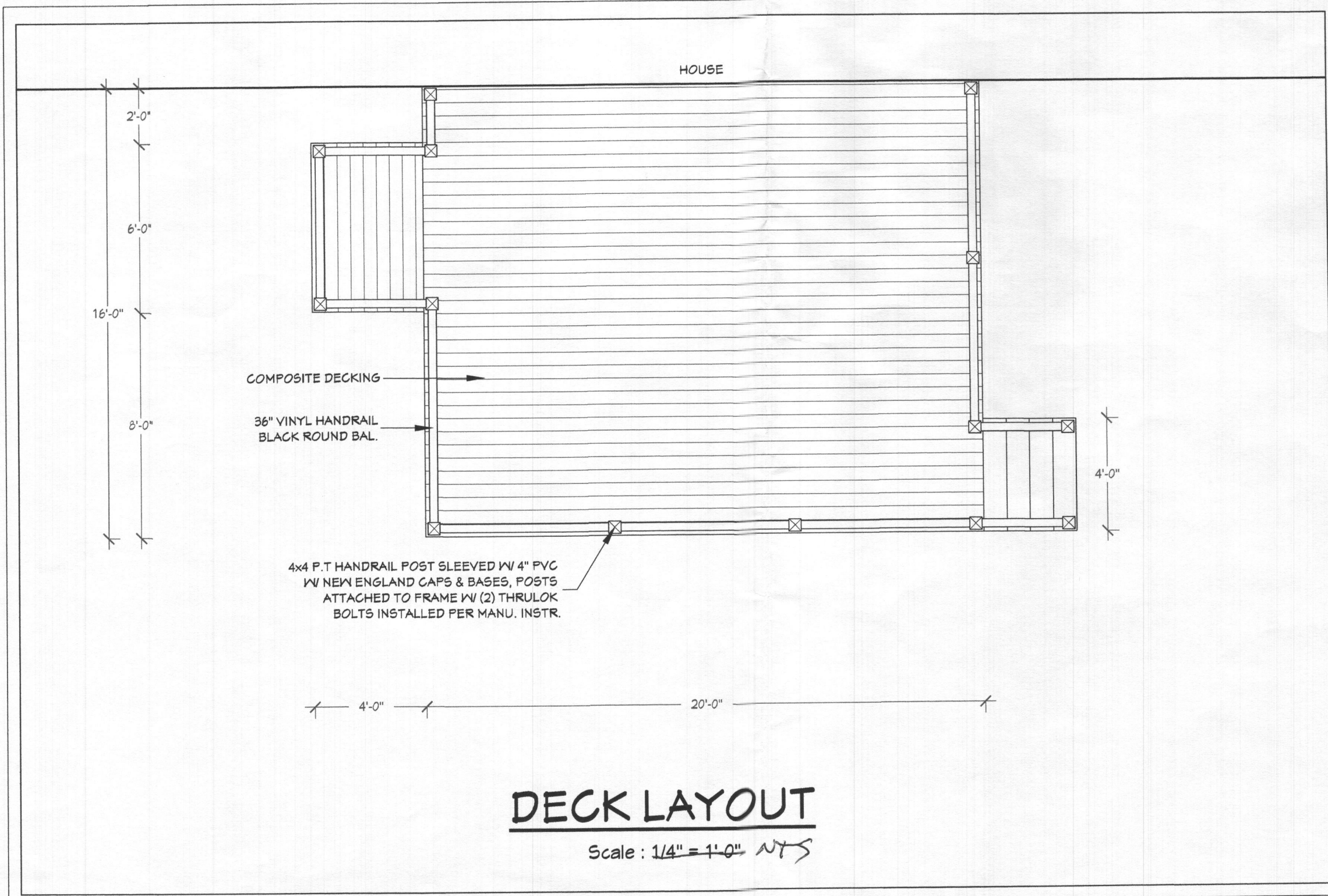
Drawings Provided By:
Nevins Construction
(410) 746-1068

Date:
March 10, 2024

Scale: NTS

Per Plan

Sheet:
1



DECK LAYOUT

Scale: 1/4" = 1'-0" NTS

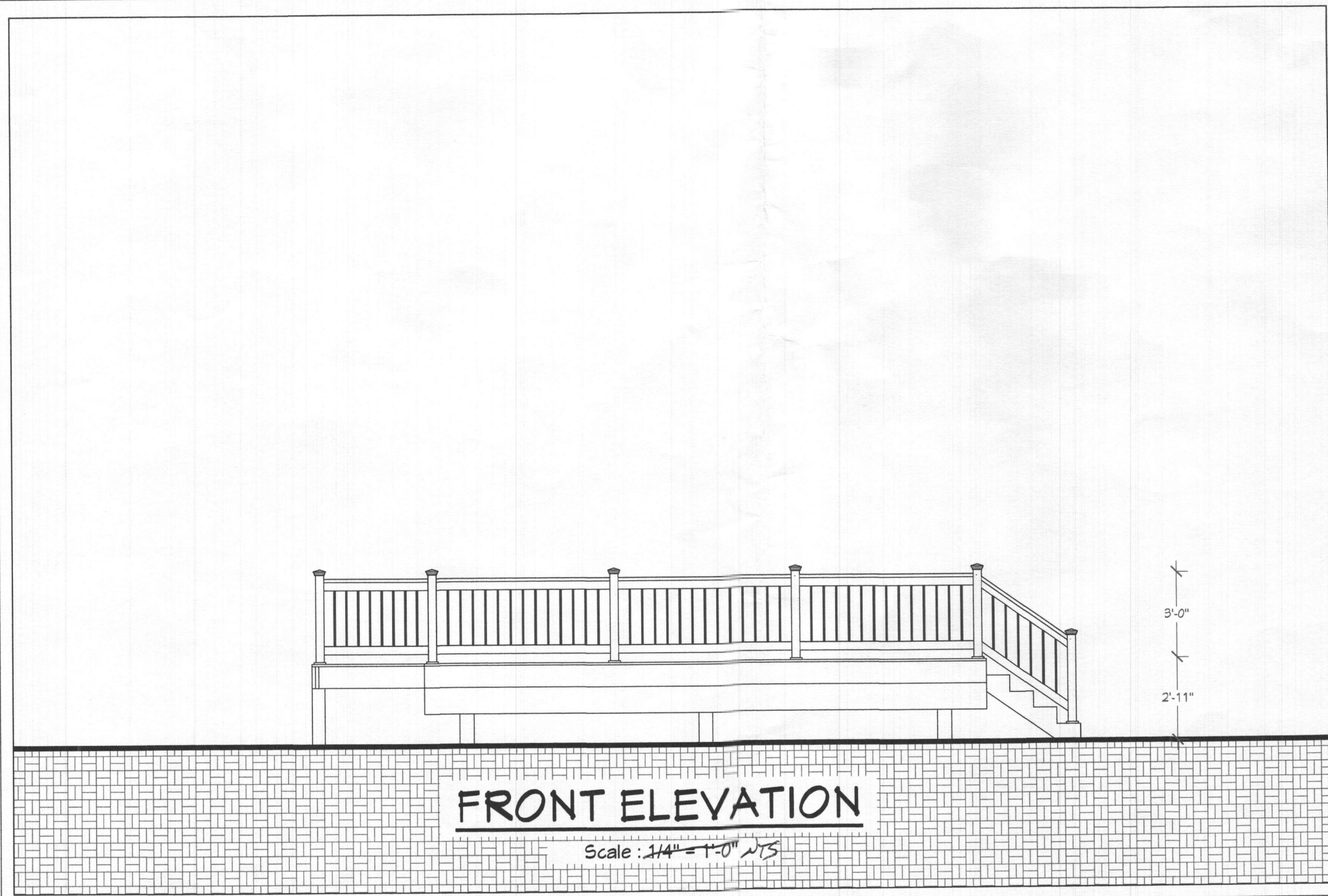
Sheet Index

- 1 Deck Framing
- 2 Deck Layout
- 3 Front Elevation
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- 5 Details

Job Location:
5178 Ten Oaks
RD
Clarksville, MD
21029
#B22000406

Drawings Provided By:
Nevins Construction
(410) 746-1068

Date:	March 10, 2024
Scale:	NTS
	Per Plan
Sheet:	2



Sheet Index

- 1 Deck Framing
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Job Location:
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Drawings Provided By:
 Nevins Construction
 (410) 746-1068

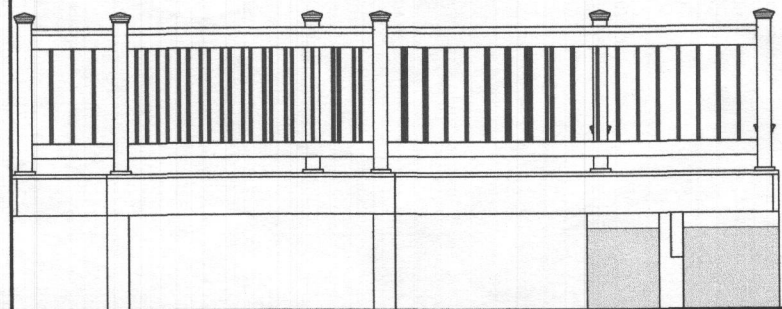
Date:
 March 10, 2024

Scale: *NTS*

Per Plan

Sheet:
 3

HOUSE



RIGHT ELEVATION

Scale : 1/4" = 1'-0" NTS

Sheet Index

- 1 Deck Framing
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Job Location:
5178 Ten Oaks
RD
Clarksville, MD
21029
#B22000406

Drawings Provided By:
Nevins Construction
(410) 746-1068

Date:
March 10, 2024

Scale: *NTS*

Per Plan

Sheet:
4

DETAIL SHEET

SCALE: 1/2" = 1'-0"

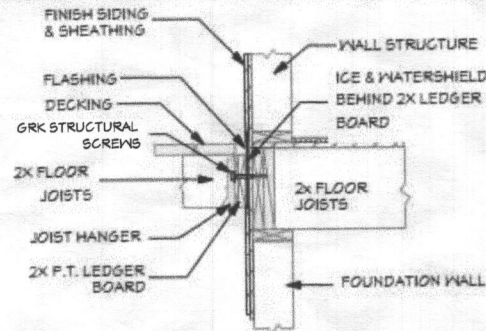
GENERAL NOTES:

- 1. ALL FASTENERS SHALL BE ACQ APPROVED.
- 2. ALL LUMBER TO BE #2 S. PINE OR BETTER.
- 3. ALL WOOD RAILING AND DECKING TO BE #1 S. PINE.
- 4. ALL LUMBER SHALL BE P/T.

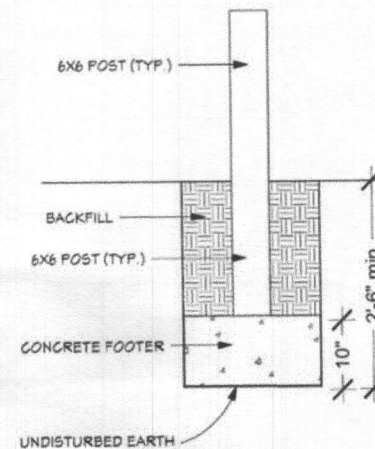
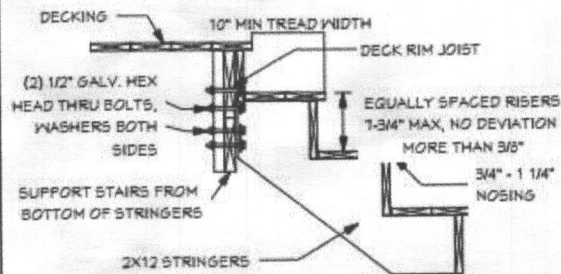
JOB NOTES:

- 1. 2X10 JOISTS 12"/16" O.C., PRESSURE TREATED
- 2. DOUBLE 2X12 BEAM
- 3. 6X6 SUPPORT POSTS, PRESSURE TREATED
- 4. 36" HIGH VINYL RAILING
- 5. COMPOSITE DECKING

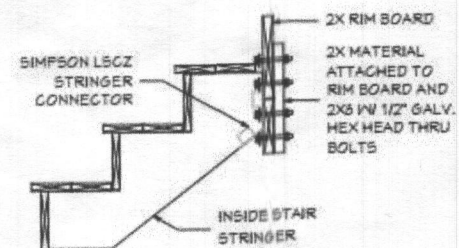
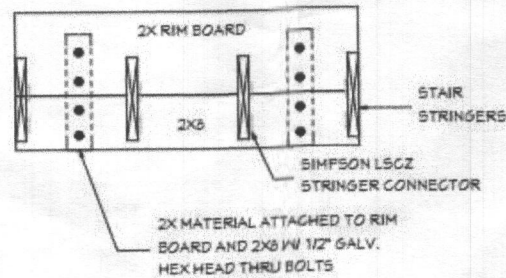
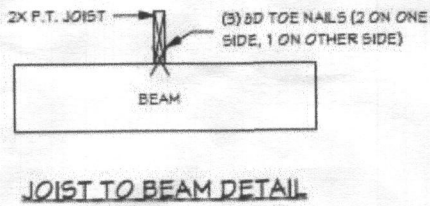
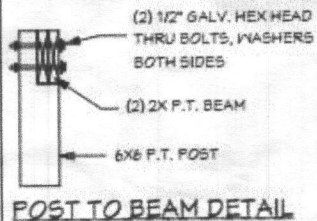
Deck Anchored to Wood Wall: Ledger to Wall



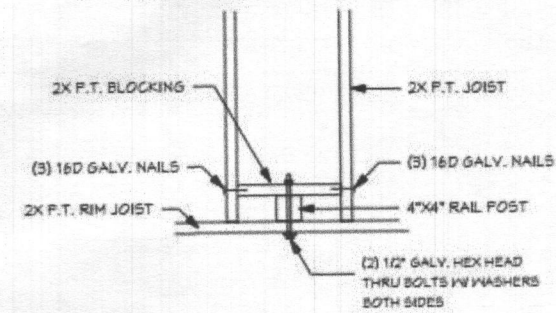
Exterior Stair Detail



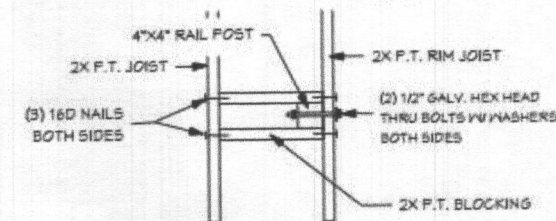
FOOTER DETAIL



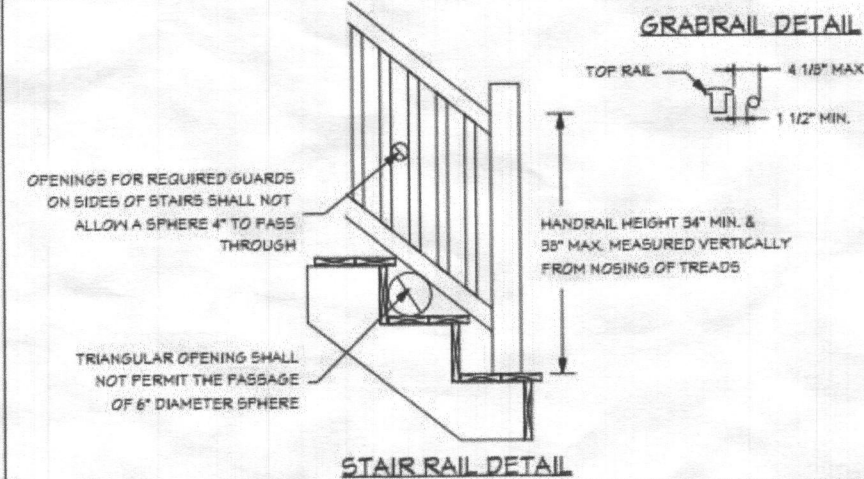
FRONT OF DECK ATTACHMENT



SIDES OF DECK ATTACHMENT



RAILING POST ATTACHMENT



Sheet Index

- 1 Deck Framing
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- 5 Details

Job Location:
5178 Ten Oaks
RD
Clarksville, MD
21029
#B22000406

Drawings Provided By:
Nevens Construction
(410) 746-1068

Date:
March 10, 2024

Scale: *NYS*

Per Plan

Sheet:
5

Comments: 2/28/2024
20240310

Oswald Jr, Woodin

From: Oswald Jr, Woodin
Sent: Thursday, April 11, 2024 1:20 PM
To: Scott Arterburn
Cc: XSARTERBURN@THERAINMAKERGROUP.COM
Subject: RE: B22000406_5178 Ten Oaks Road

Hi Scott,

It may be to scale, but when I print the document, it is not. Maybe the permits office will forward a hard copy over to our office.

In the meantime, the deck edge must meet the 10 ft setback distance to the well. If it doesn't, the homeowners may ask for a waiver to reduce the setback distance. This would involve a written request from the homeowner to the assistant director, Jeff Williams along with a hard copy of the site plan. I will also need to conduct a site visit.

Let me know when the deck edge has been staked out. If you have any questions, please don't hesitate to ask.

Thanks,

Hank

Hank Oswald
Licensed Environmental Health Specialist
Bureau of Environmental Health
Howard County Health Department
8930 Stanford Blvd. Columbia, MD 21045
(410) 313 - 1786
www.hchealth.org

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From: Scott Arterburn <sarterburn@therainmakergroup.com>
Sent: Thursday, April 11, 2024 12:45 PM
To: Oswald Jr, Woodin <hoswald@howardcountymd.gov>
Subject: Re: B22000406_5178 Ten Oaks Road

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

Hi -

Not sure what you mean. The doc I gave DILP yesterday was to scale. The blow-up has exact dimensions on it.

I'd be glad to stake the deck. Do I then need to contact you for an inspection? I know the posts have to be 10' away from the well, so there's nothing really to inspect until the post hole is dug.

- Maybe a phone call is in order? Please call at your convenience.

Scott Arterburn, P.E.
Top Gun Baseball
The Rainmaker Group
443-829-9222 (cell)

On Apr 11, 2024, at 12:16 PM, Oswald Jr, Woodin <hoswald@howardcountymd.gov> wrote:

Hi Scott,

It still didn't print to scale. Can you stake the proposed deck, so I can confirm that the 10 foot setback distance to the well is being met? Please see as-built drawing on page #2 of the attachment for well location.

Hank

Hank Oswald
Licensed Environmental Health Specialist
Bureau of Environmental Health
Howard County Health Department
8930 Stanford Blvd. Columbia, MD 21045
(410) 313 - 1786
www.hchealth.org

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From: sarterburn@therainmakergroup.com <sarterburn@therainmakergroup.com>
Sent: Wednesday, April 10, 2024 8:07 PM
To: Oswald Jr, Woodin <hoswald@howardcountymd.gov>
Subject: RE: B22000406_5178 Ten Oaks Road

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

Hank:

I stopped by DILP today and dropped off a copy of the plan that's at 50-scale. They said the courier should have it to your place today or tomorrow.

Hopefully, that document is sufficient to have your shop sign off on this. All other reviews are complete and the submittal is approved.

Thanks!

Scott Arterburn, P.E.
443-829-9222 (cell)

From: Oswald Jr, Woodin <hoswald@howardcountymd.gov>

Sent: Tuesday, April 9, 2024 2:10 PM

To: sarterburn@therainmakergroup.com

Subject: B22000406_5178 Ten Oaks Road

Hello Mr. Arterburn,

Good afternoon. This office is in receipt of amended building permit for a 20' x 16' deck w/4 steps. The site plan submitted with the cover page did not retain the 1:50 scale as stated on the plan. The plan may be a copy of the original which doesn't always print to scale. With that said, it makes it difficult to determine whether the existing well meets the required 10 ft setback distance to the proposed deck. You may try using a copier to adjust the image to scale or obtain an original copy from Benchmark Engineering. Please submit a copy to the permits office once the plan has been revised.

Should you have any questions, please don't hesitate to ask.

Regards,

Hank

Hank Oswald
Licensed Environmental Health Specialist
Bureau of Environmental Health
Howard County Health Department
8930 Stanford Blvd. Columbia, MD 21045
(410) 313 - 1786
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<WS_TenOaksRoad_5178_SepticPermit-2023-A.pdf>

Oswald Jr, Woodin

From: Oswald Jr, Woodin
Sent: Tuesday, April 9, 2024 2:10 PM
To: sarterburn@therainmakergroup.com
Subject: B22000406_5178 Ten Oaks Road

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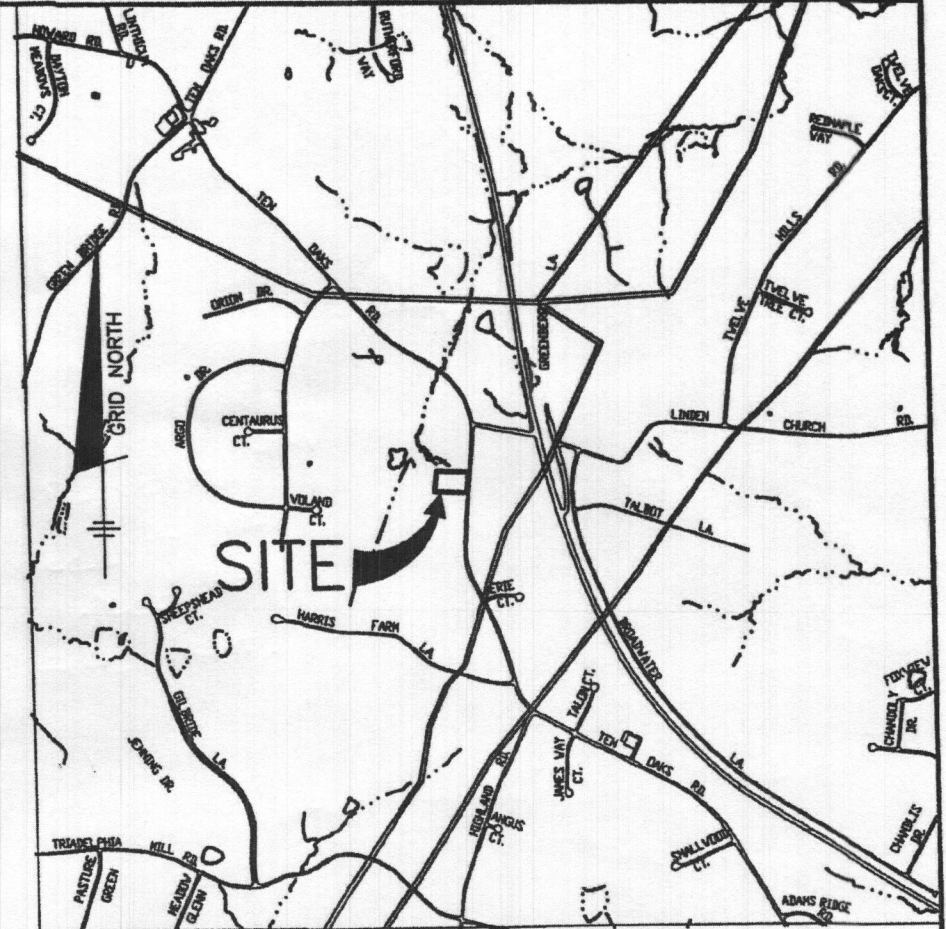
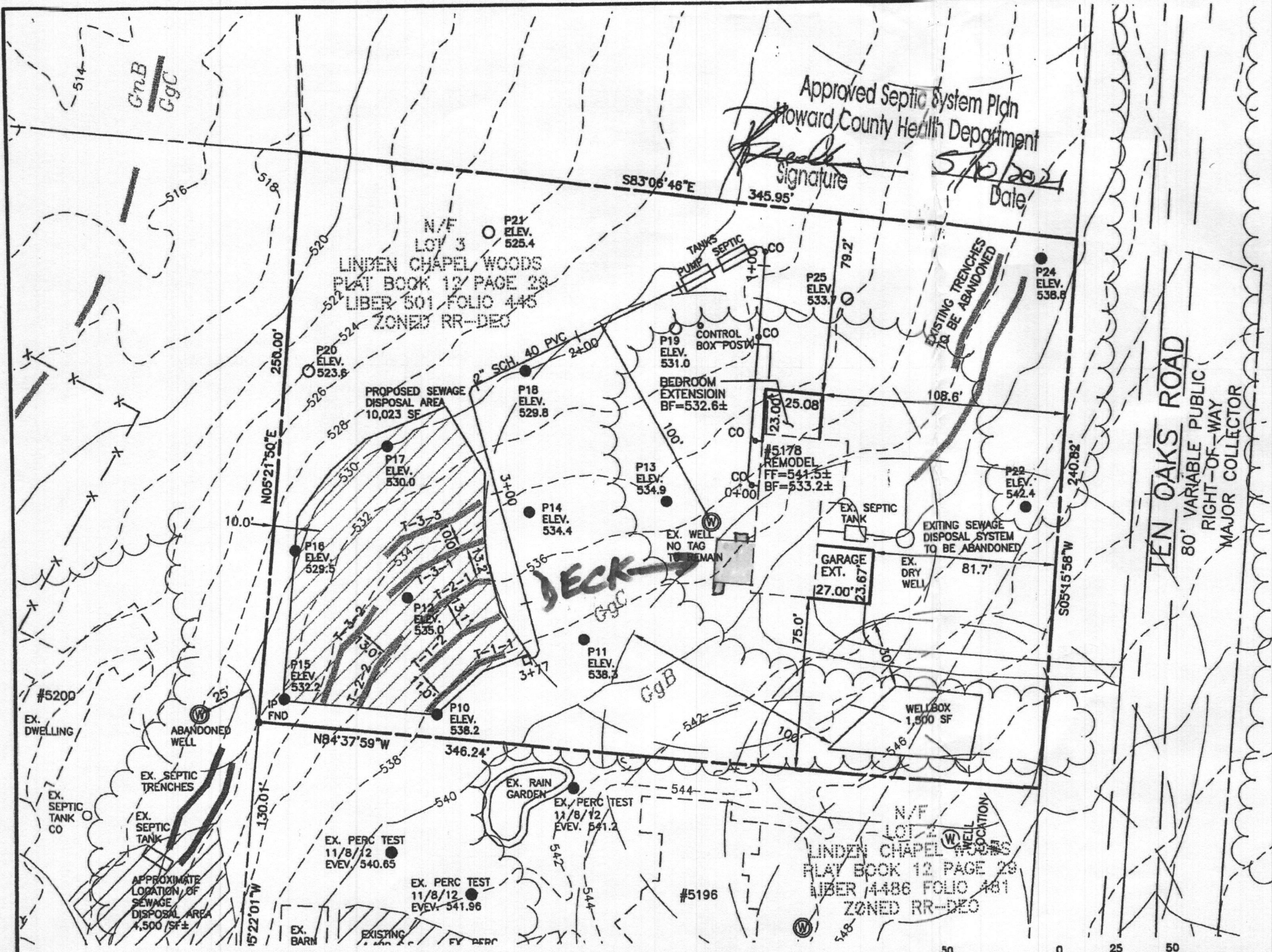
Regards,

Hank

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Approved Septic System Plan
 Howard County Health Department
 Signature: *[Signature]*
 Date: 5/10/21

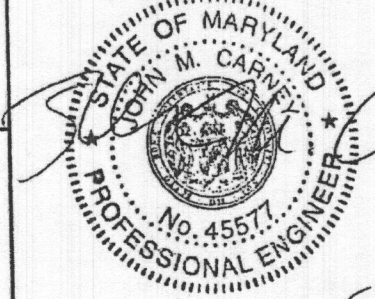


ADC MAP 4933 GRID D5

VICINITY MAP
 SCALE: 1" = 2000'

PLAN VIEW
 1" = 50'

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 45577, Expiration Date: 06-08-2022.



OWNER:

PARK BROTHERS LLC
 5200 TEN OAKS ROAD
 CLARKSVILLE, MD 21029
 443-829-9222

PROJECT: LINDEN CHAPEL WOODS
 LOT 3

LOCATION: TAX MAP: 28, GRID: 14, PARCEL: 127
 5178 TEN OAKS ROAD, TAX ID 05-368316
 ELECTION DISTRICT NO. 4, HOWARD COUNTY, MARYLAND

TITLE: ONSITE SEWAGE DISPOSAL PLAN

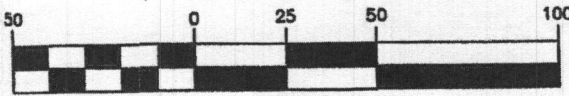
HOUSE TYPE: CUSTOM REMODEL

DATE: APRIL, 2021 PROJECT NO. 2763

SCALE: AS SHOWN DRAWING 1 OF 4

- GENERAL NOTES**
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(IN FEET)
 1 inch = 50 ft.

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