

Menu Save Reset Cancel Help

Record Detail * (This section is required.)

Permit Type	Permit Number	Opened Date
Building/Residential/Addition/SFD	B23003406	08/21/2023
Description of Work		
SFD/RETROFIT EXISTING DECK ON REAR OF SFD AND CONSTRUCT 18'X20' CONDITIONED SUNROOM ADDITION. RETROFIT EXISTING DECK ON REAR OF SFD AND MODIFY DECK TO BE 8'X12'. CONSTRUCT NEW STEPS AND LANDING., 1 STORY, Post & Pier, 1R, 0FB, 0HB, 0FP, OTHER STRUCTURE = None, 0BR, PORCH/DECK = Deck, ENERGY METHOD = Performance Method,		

Online Permit
 - 2 attachments on dwp
 MRA Approved 8/25/23

[check spelling](#)

Address * (This section is required.)

Search Reset Clear Get Parcel & Owner

Street #	Street Name	Street Type
2808	RUSTIC MANOR	CT
Unit Type	Unit #	X Coordinate
--Select--		-77.01531
		Y Coordinate
		39.30558
City	State	Zip Code
GLENWOOD	MD	21738
		Primary
		Yes

Parcel * (This section is required.)

Search Reset Clear Get Address & Owner

GIS ID *	Parcel	Parcel Area	Land Value	Improved Value	Exemption Value	Plan Area
905759	123	1.26	232600	872300	639700	RURAL

Legal Description
IMPSLOT 15 1.262 A[]2808 RUSTIC MANOR CT[]GWYNDYL OAK ESTATES

[check spelling](#)

Block	Lot	Census Tract	Council Dist	Inspection Dist	Supervisor Dist	Map #	DAP Zone
	15	605601	5				
Plan Area	State Tax Id	Subdivision Name					
	1404356101	GWYNDYL OAK ESTATES					
Section	Area	Tax Map					
		14					
Grid	Zoning District	ADC Map					
14-11	RC-DEO	4812-H2					
SDP No.	Final Plan No.	WP File No.					
Record Plat No.	WS Contract No.	FDP No.		Primary			
11550				Yes			
Owner Occupied	Year Built	Historic District					
<input type="radio"/> Yes <input type="radio"/> No	1995	<input type="radio"/> Yes <input checked="" type="radio"/> No					
Historic District Registry No.	Stat Area	Flood Plain					
	4-06	<input type="radio"/> Yes <input checked="" type="radio"/> No					
Building No							

Owner (This section is not required.)

Search Reset Clear

Name *
BESCHE ANTHONY HUNTER

Address Line 1
2808 RUSTIC MANOR CT

Address Line 2

Address Line 3

Mail City	Mail State	Mail Zip Code
GLENWOOD	MD	21738
Phone	Primary	
443-630-0905	Yes	
E-mail		
Cell Number	Fax Number	

Professionals (This section is not required.)

License # * 08010035565
License Type * MHIC Ind
Primary Yes

Business Name AMERICAN DECK INC

First Name DAVID
Middle Name
Last Name LOMBARDO

Address Line 1 16944 YORK RD
Address Line 2

City MONKTON
State MD
ZIP Code 21111-0000

Phone 1 4102547360
Phone 2
Fax 8667533257

E-mail DAVE@AMDECK.COM

Applicant (This section is not required.)

Search **As Owner** **As Lic. Prof** **As Contact**

Type * Applicant
Relationship Applicant
Primary No

First Name ANDY
MI A
Last Name LOMBARDO

Full Name ANDY A LOMBARDO

Organization Name AMERICAN DECK INC

Street Address 1115 MT CARMEL ROAD
Address Line 2

City PARKTON
State MD
Zip Code 21120

Phone 410-746-7758
Cell
Fax

E-mail * andy@amdeck.com

Contact (This section is not required.)

Search **As Owner** **As Lic. Prof** **As Contact**

Type Contact
Relationship Licensed Professional
Primary Yes

First Name ANDY
MI A
Last Name LOMBARDO

Full Name ANDY A LOMBARDO

Organization Name AMERICAN DECK INC

Street Address 1115 MT CARMEL ROAD
Address Line 2

City PARKTON
State MD
Zip Code 21120

Phone 410-746-7758
Cell
Fax

E-mail andy@amdeck.com

Addtl Info

Est Construction Cost * 20000
Housing Units * 0
Number of Buildings * 0
Public Owned No

Construction Type 434 - Additions, Alterations and Conversions - Residential

RESIDENTIAL ADDITION INFORMATION

RESIDENTIAL ADDITION INFORMATION

Capital Project-No Fee * Yes No
Capital Project Number
Fee Exempt * Yes No
Roadside Tree Project Permit Yes No
Roadside Tree Project Permit #

No of Stories * 1
Foundation * Post & Pier
Basement * N/A
No of Rooms * 1
Full Baths * 0
Half Baths * 0
Existing Use * Other - See Description of Work

Model *
Condominium * Yes No

check spelling

Other Structure * None
 Bedrooms * 0
 Porch Deck * Deck
 No of Fireplaces * 0
 Type of Fireplace --Select--
 Energy Code * Performance Method
 W & S Fees Paid Yes No
 Water * Private
 Sewage * Private
 Utilities * Electric
 Heating System * Electric & Propane Gas
 Sprinkler System * None
 Road Frontage --Select--
 1st Floor Width FT
 1st Floor Depth FT
 2nd Floor Width FT
 2nd Floor Depth FT
 Basement Width FT
 Basement Depth FT
 Height FT
 Building Construction Type FT Conventional
 Total Square Footage * 360
 Occupiable Square Footage * 0
 Affordable Housing Funding * N/A
 Foundation Measurement
 Footings
 Walls Roof
 Change In Use Yes No
 Grading Permit No NO
 Senior Housing Yes No
 MIHU Outside Downtown Columbia Yes No
 MIHU Provided Units 0
 Affordable Downtown Columbia Yes No
 Expiration Date 2/18/2024
 MIHU Required Units 0
 Plan Submittal * Electronically by Invitation from ProjectDox

Additional Description Info

[check spelling](#)

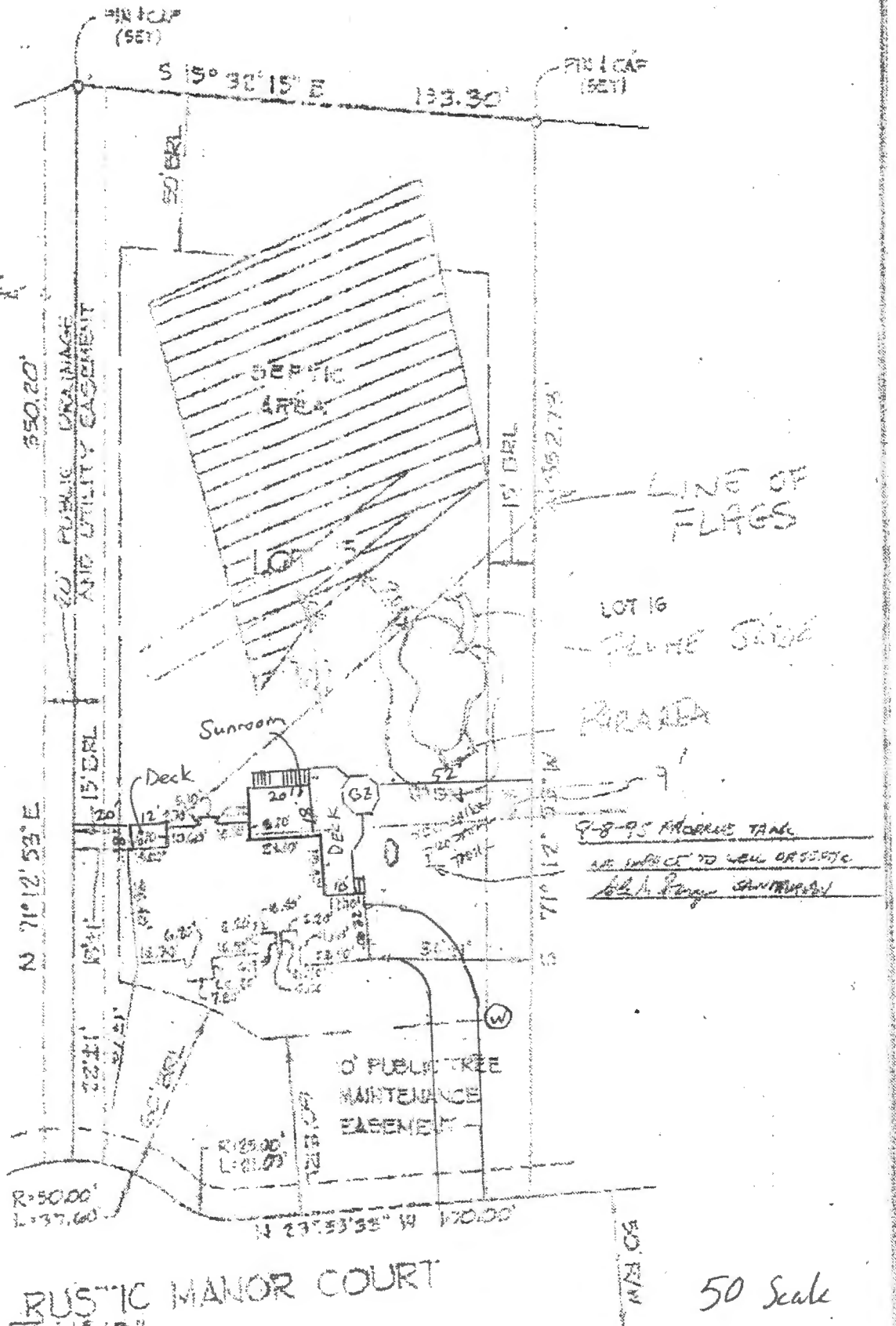
GREEN INFORMATION

Goal Level --Select--
 Actual Level --Select--
 Leed Registration Number
 Date of Leed Certification

STORM WATER MANAGEMENT

Green Roofs A1 Yes No
 Permeable Pavements A2 Yes No
 Reinforced Turf A3 Yes No
 Disconnection of Rooftop Runoff N1
 Disconnection of Non Rooftop Runoff N2 Yes No
 Sheetflow to Conservation Areas N3 Yes No
 Rainwater Harvesting M1
 Submerged Gravel Wetlands M2
 Landscape Infiltration M3
 Infiltration Berms M4
 Dry Wells M5
 Micro Bioretention M6
 Rain Gardens M7
 Swales M8
 Enhanced Filters M9
 PSWM Certification Received in CID on

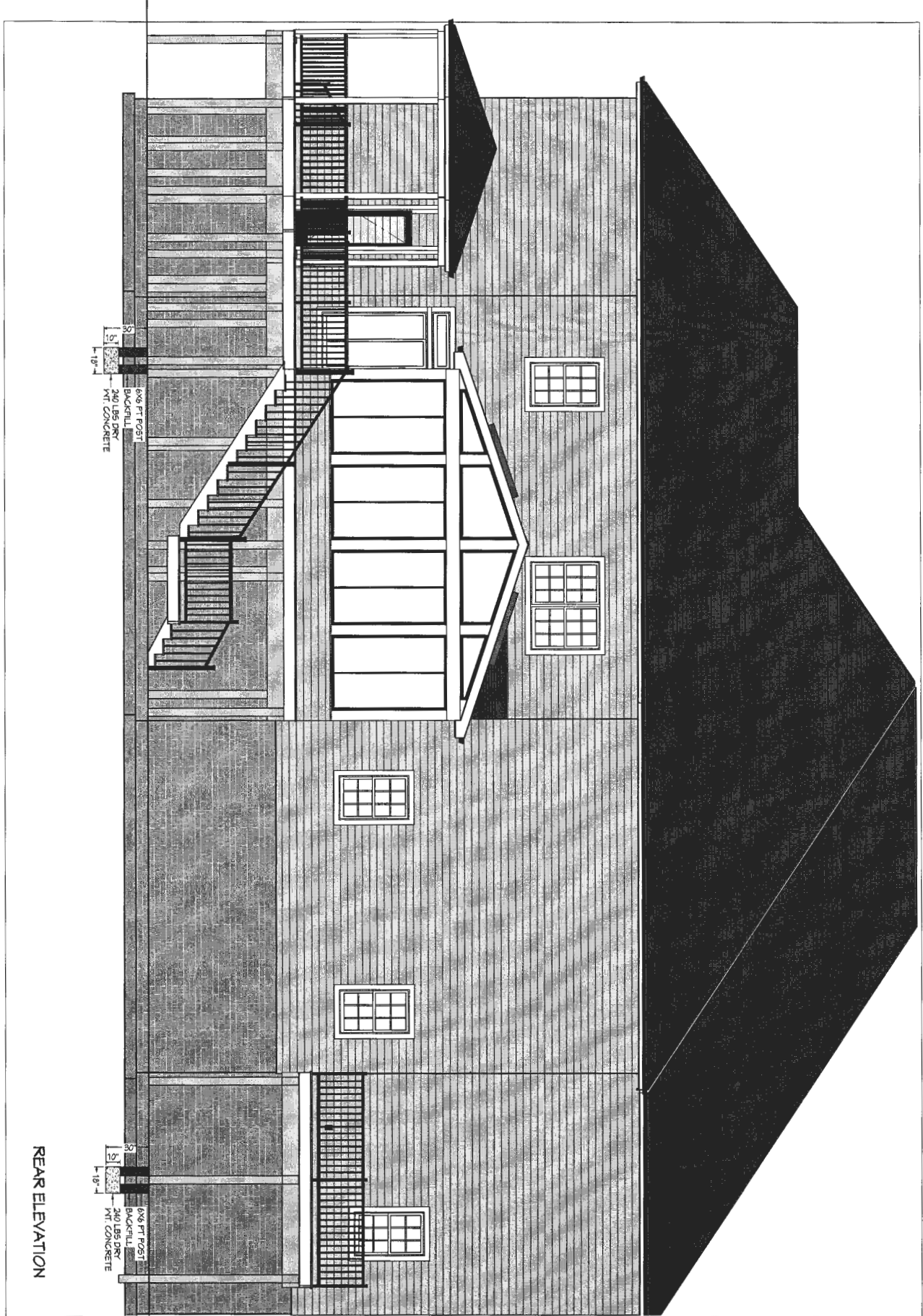
Submit Cancel



RUSTIC MANOR COURT
 LOT 15
 GAYNDYL OAK ESTATES
 LOTS 1-40 AND
 PARCELS A, B, C AND D
 P.B. NO. 11550

50 Scale

THE INFORMATION SHOWN HAS BEEN ESTABLISHED BY (1) THE
 ACCEPTABLE SURVEY INSTRUMENTS AND FROM AVAILABLE (2) THE
 INFORMATION. THE SURVEY IS TO BE USED FOR THE EXACTED
 PURPOSES. NO REPRESENTATION IS MADE AS TO THE USES FOR
 THE ESTABLISHMENT OF PROPERTY LINES, EXCEPT FOR THE
 PURPOSES OF THE SURVEY. THE SURVEY IS NOT TO BE USED FOR
 FLOOD INSURANCE RATE MAP (FIRM) ZONE "A" OR "A"
 UNLESS THE SURVEYOR HAS BEEN ADVISED BY THE FIRM.



REAR ELEVATION

AMERICAN DECK & PATIO MHIC# 35565 115 MOUNT CARMEL ROAD PARKTON, MD 21220 410.254.7360 WWW.AMDECK.COM

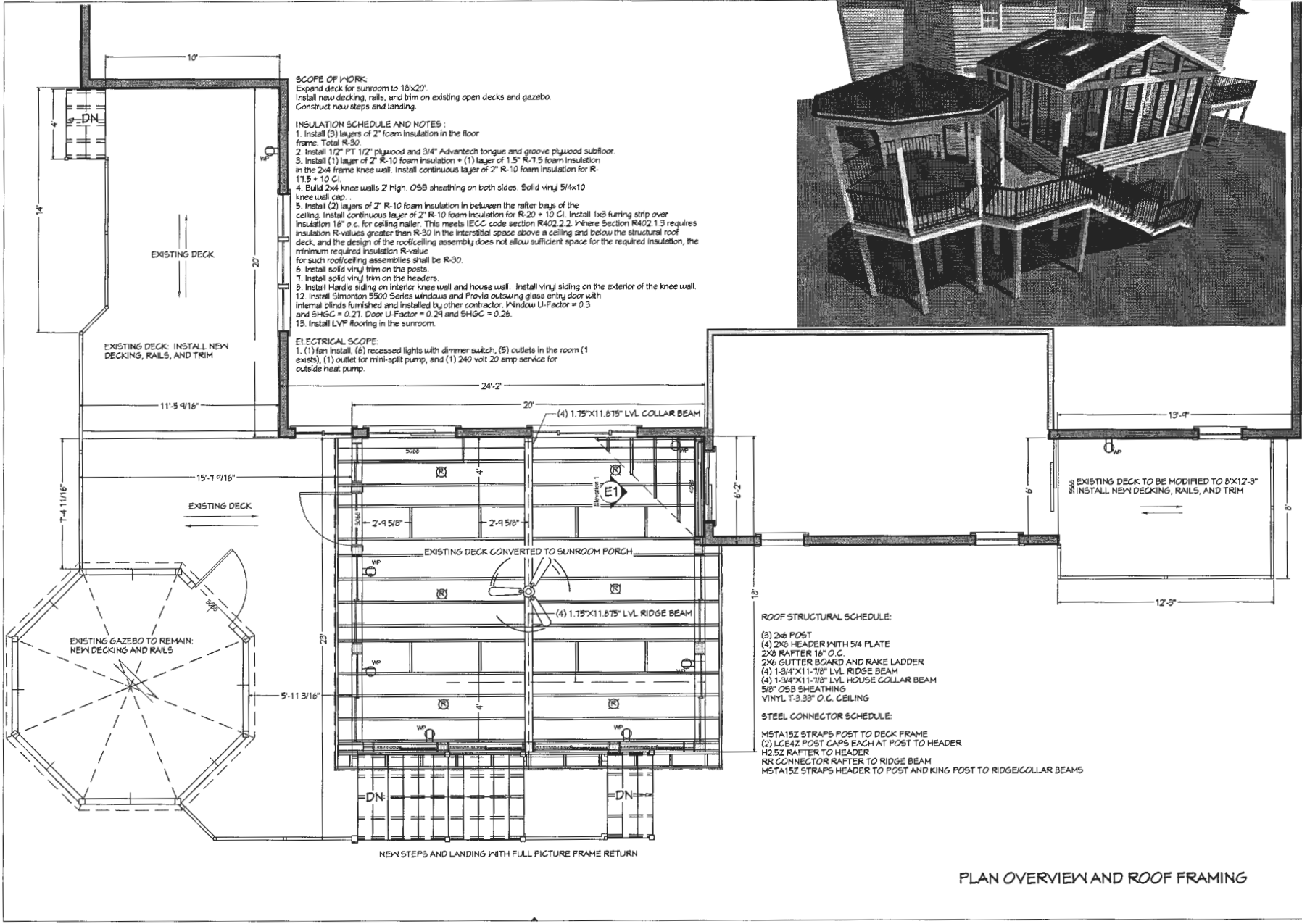


of 5
 SHEET NO.: 3
 DATE: 8/21/2023
 SCALE: 1/4"=1'

ALL CONSTRUCTION MUST COMPLY WITH LOCAL BUILDING CODES. THIS DETAIL IS FOR GENERAL INFORMATION AND GUIDANCE ONLY, AND AMERICAN DECK & PATIO, INC. SPECIFICALLY DISCLAIMS ANY LIABILITY FOR THE USE OF THIS DETAIL, AND FOR THE ARCHITECTURE, DESIGN, ENGINEERING, OR WORKMANSHIP OF ANY PROJECT.

Besche RESIDENCE

SITE: 2806 RUSTIC MANOR COURT, GLENWOOD, MD 21738



SCOPE OF WORK:
 Expand deck for sunroom to 18'x20'.
 Install new decking, rails, and trim on existing open decks and gazebo.
 Construct new steps and landing.

INSULATION SCHEDULE AND NOTES:

1. Install (2) layers of 2" foam insulation in the floor frame. Total R-30.
2. Install 1/2" PT 1/2" plywood and 3/4" Advantech tongue and groove plywood subfloor.
3. Install (1) layer of 2" R-10 foam insulation + (1) layer of 1.5" R-1.5 foam insulation in the 2x4 frame knee wall. Install continuous layer of 2" R-10 foam insulation for R-17.5 + 10 C.I.
4. Build 2x4 knee walls 2' high. OSB sheathing on both sides. Solid vinyl 5/4x10 knee wall cap.
5. Install (2) layers of 2" R-10 foam insulation in between the rafter bays of the ceiling. Install continuous layer of 2" R-10 foam insulation for R-20 + 10 C.I. Install 1x3 furring strip over insulation 16" o.c. for ceiling nailer. This meets IECC code section R402.2.2. Where Section R402.1.3 requires insulation R-values greater than R-30 in the interstitial space above a ceiling and below the structural roof deck, and the design of the roof/ceiling assembly does not allow sufficient space for the required insulation, the minimum required insulation R-value for such roof/ceiling assemblies shall be R-30.
6. Install solid vinyl trim on the posts.
7. Install solid vinyl trim on the headers.
8. Install Hardie siding on interior knee wall and house wall. Install vinyl siding on the exterior of the knee wall.
9. Install Simonton 5500 Series windows and Provia outswing glass entry door with internal blinds furnished and installed by other contractor. Window U-Factor = 0.3 and SHGC = 0.27. Door U-Factor = 0.24 and SHGC = 0.25.
10. Install LVP flooring in the sunroom.

ELECTRICAL SCOPE:

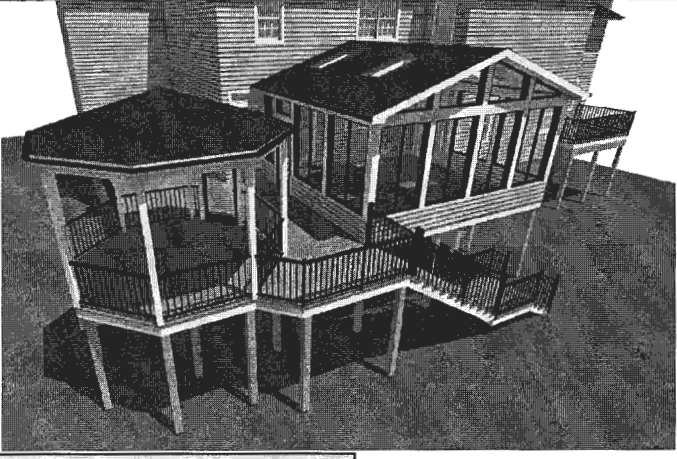
1. (1) fan install, (5) recessed lights with dimmer switch, (5) outlets in the room (1 exists), (1) outlet for mini-split pump, and (1) 240 volt 20 amp service for outside heat pump.

ROOF STRUCTURAL SCHEDULE:

- (3) 2x6 POST
- (4) 2x8 HEADER WITH 5/4 PLATE
- 2x8 RAFTER 16" O.C.
- 2x6 GUTTER BOARD AND RAKE LADDER
- (4) 1-3/4"x11-7/8" LVL RIDGE BEAM
- (4) 1-3/4"x11-7/8" LVL HOUSE COLLAR BEAM
- 5/8" OSB SHEATHING
- VINYL F-3.33" O.C. CEILING

STEEL CONNECTOR SCHEDULE:

- MSTA15Z STRAPS POST TO DECK FRAME
- LCE4Z POST CAPS EACH AT POST TO HEADER
- H2.5Z RAFTER TO HEADER
- RR CONNECTOR RAFTER TO RIDGE BEAM
- MSTA15Z STRAPS HEADER TO POST AND KING POST TO RIDGE/COLLAR BEAMS



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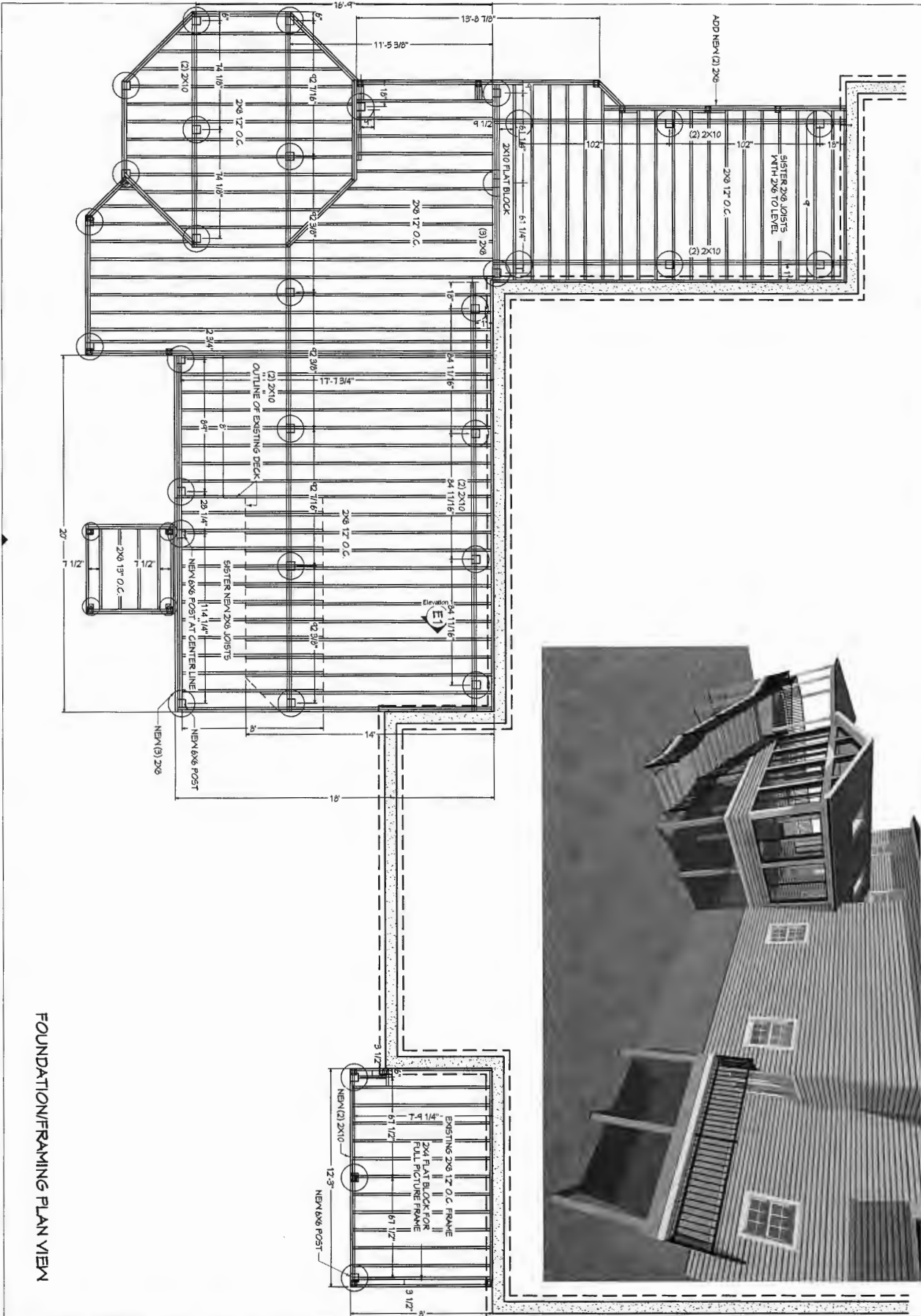
SITE: 2806 RUSTIC MANOR COURT, GLENWOOD, MD 21738

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SCALE: 1/4"=1'
 DATE: 8/21/2023
 SHEET NO.: 1
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PLAN OVERVIEW AND ROOF FRAMING



FOUNDATION/FRAMING PLAN VIEW

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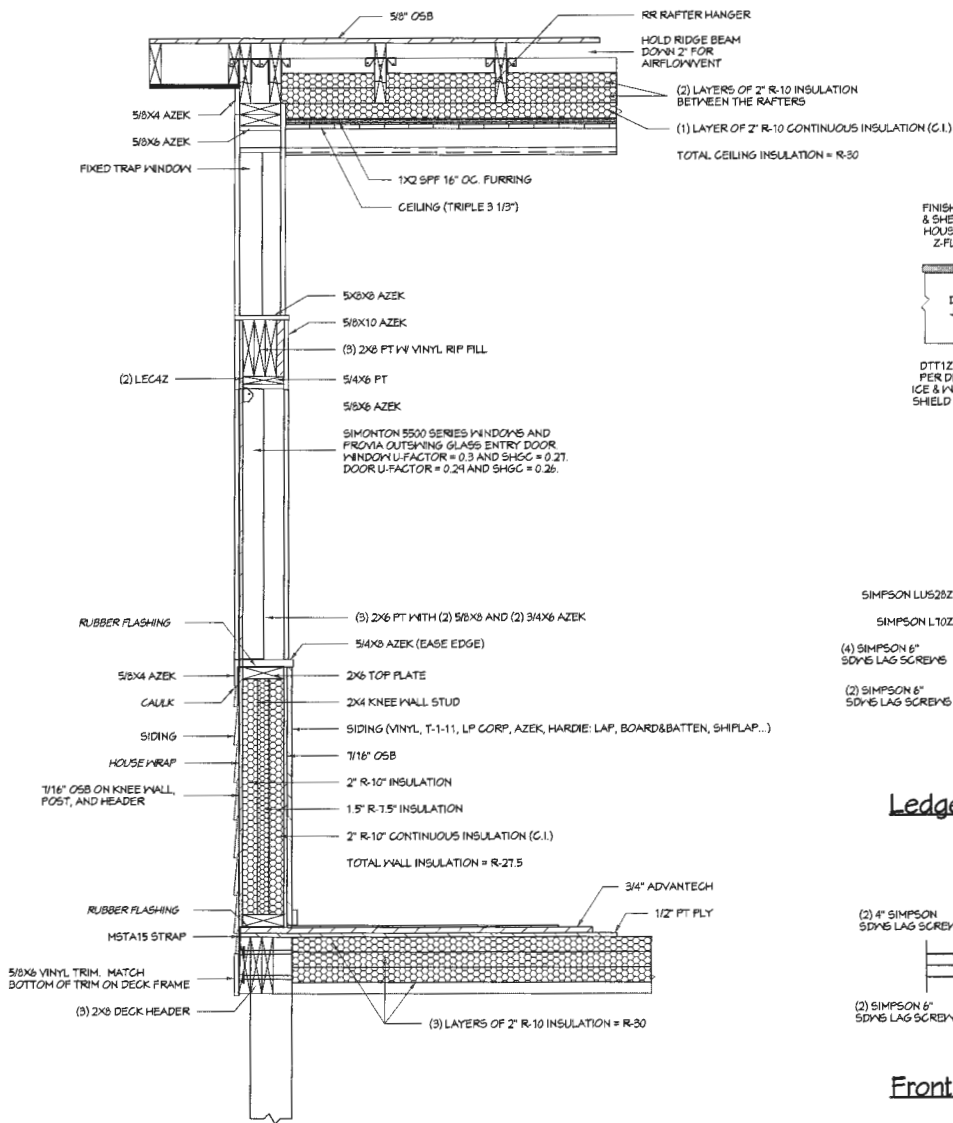


SCALE: 1/4"=1'
 DATE: 8/21/2023
 SHEET NO.: 2
 of 5

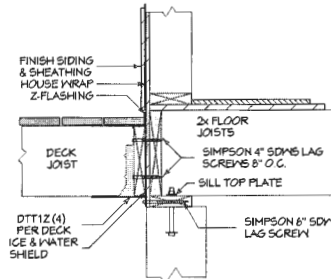
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Besche RESIDENCE

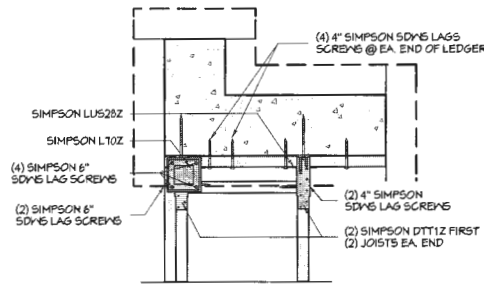
SITE: 2806 RUSTIC MANOR COURT, GLENWOOD, MD 21738



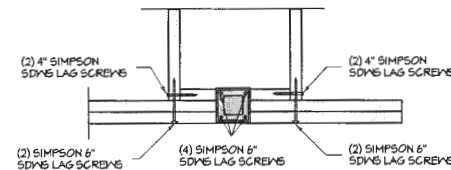
Front Wall Section Detail for Sunspace: Knee Walls



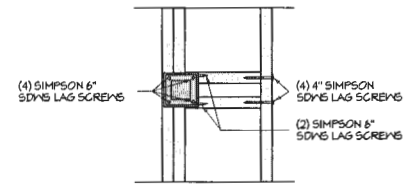
Ledger Detail



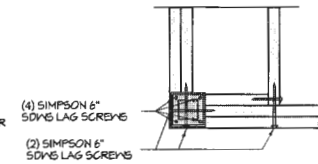
Ledger Rail Post Blocking Detail



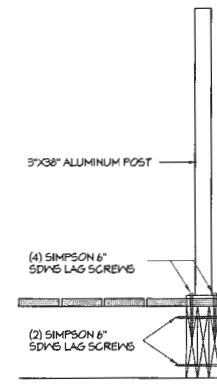
Front Rail Post Blocking Detail



Side Rail Post Blocking Detail



Corner Rail Post Blocking Detail



Profile Detail Aluminum Post

DETAILS

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SCALE: 1/4"=1'

DATE: 8/21/2023

SHEET NO.:

4

of 5



BESCHE RIDGE BEAM
Prepared by: DAL Date: 8/17/23

Selection (4) 1-3/4x 11-7/8 2.0E LP SolidStart LVL Lu = 0.0 Ft
Conditions NDS 2018

Min Bearing Area R1= 5.0 in² R2= 5.0 in² (1.5) DL Defl= 0.22 in

Beam Span	18.0 ft	Reaction 1 LL	2700 #	Reaction 2 LL	2700 #
Beam Wt per ft	20.78 #	Reaction 1 TL	3787 #	Reaction 2 TL	3787 #
Bm Wt Included	374 #	Maximum V	3787 #		
Max Moment	17042 #	Max V (Reduced)	3371 #		
TL Max Defl	L / 240	TL Actual Defl	L / 372		
LL Max Defl	L / 360	LL Actual Defl	L / 596		

Attributes

	Section (in ²)	Shear (in ²)	TL Defl (in)	LL Defl
Actual	164.52	83.13	0.58	0.36
Critical	70.44	17.74	0.90	0.60
Status	OK	OK	OK	OK
Ratio	43%	21%	65%	60%

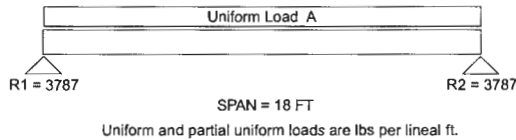
Values

	Fb (psi)	Fv (psi)	E (psi x mil)	Fc _⊥ (psi)
Reference Values	2900	285	2.0	750
Adjusted Values	2903	285	2.0	750

Adjustments

CF Size Factor	1.001			
Cd Duration	1.00	1.00		
Cr Repetitive	1.00			
Ch Shear Stress		N/A		
Cm Wet Use	1.00	1.00	1.00	1.00
Cl Stability	1.0000	Rb = 0.00	Le = 0.00 Ft	

Loads Uniform LL: 300 Uniform TL: 400 = A



BESCHE COLLAR BEAM
Prepared by: DAL Date: 8/17/23

Selection (4) 1-3/4x 11-7/8 2.0E LP SolidStart LVL Lu = 0.0 Ft
Conditions NDS 2018

Min Bearing Area R1= 2.7 in² R2= 2.7 in² (1.5) DL Defl= 0.25 in

Beam Span	20.0 ft	Reaction 1 LL	1350 #	Reaction 2 LL	1350 #
Beam Wt per ft	20.78 #	Reaction 1 TL	2008 #	Reaction 2 TL	2008 #
Bm Wt Included	416 #	Maximum V	2008 #		
Max Moment	19039 #	Max V (Reduced)	1987 #		
TL Max Defl	L / 240	TL Actual Defl	L / 370		
LL Max Defl	L / 360	LL Actual Defl	L / 609		

Attributes

	Section (in ²)	Shear (in ²)	TL Defl (in)	LL Defl
Actual	164.52	83.13	0.65	0.39
Critical	78.69	10.46	1.00	0.67
Status	OK	OK	OK	OK
Ratio	48%	13%	65%	59%

Values

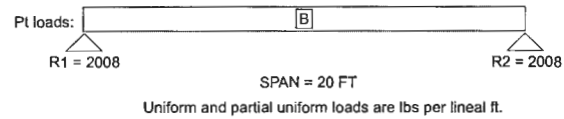
	Fb (psi)	Fv (psi)	E (psi x mil)	Fc _⊥ (psi)
Reference Values	2900	285	2.0	750
Adjusted Values	2903	285	2.0	750

Adjustments

CF Size Factor	1.001			
Cd Duration	1.00	1.00		
Cr Repetitive	1.00			
Ch Shear Stress		N/A		
Cm Wet Use	1.00	1.00	1.00	1.00
Cl Stability	1.0000	Rb = 0.00	Le = 0.00 Ft	

Loads

Point LL	Point TL	Distance
2700	B = 3600	10.0



ROOF BEAM REPORTS

AMERICAN DECK & PATIO MHC# 35565 115 MOUNT CARMEL ROAD PARKTON, MD 21220 410.254.7360 WWW.AMIDECK.COM

Besche RESIDENCE

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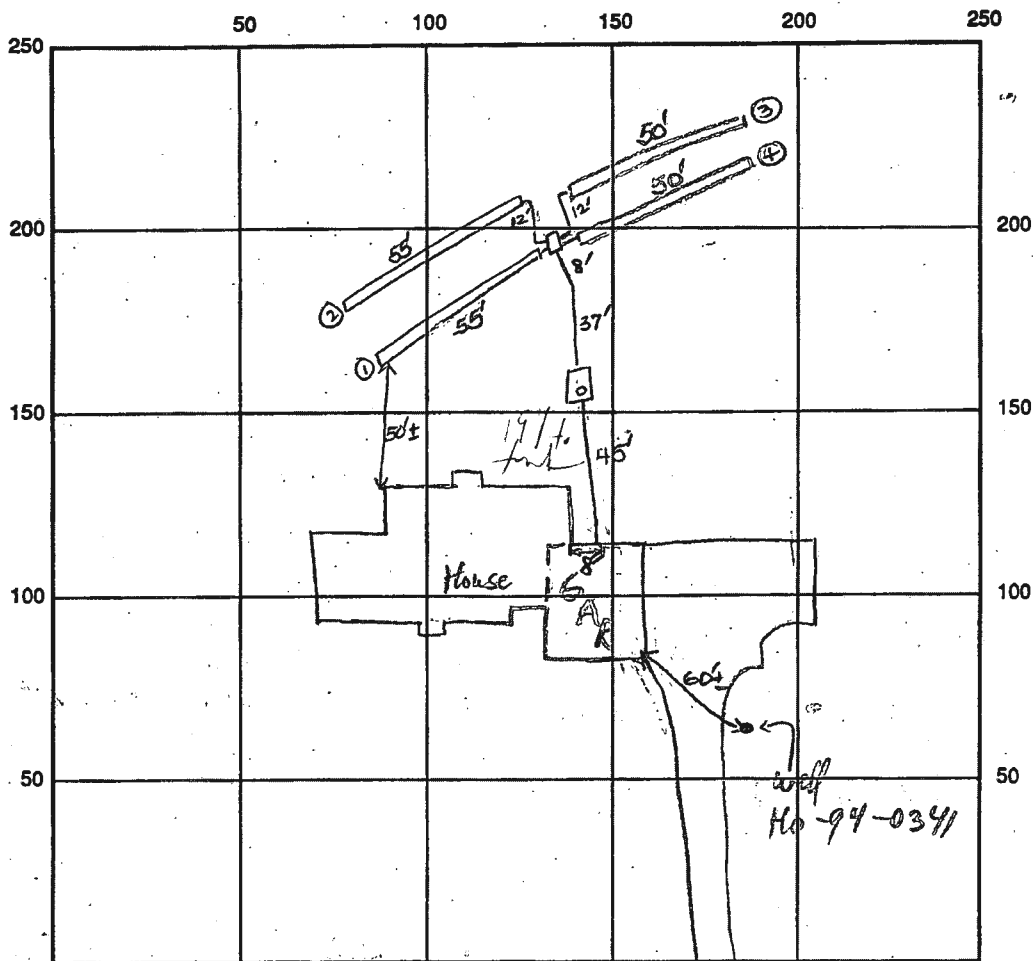
SHEET NO.:

5

of 5



deck & patio



INDICATE NORTH - NAME ADJOINING ROADWAY AS BASE LINE

SEPTIC TANK LEVEL OK - 1250 gal CLEANOUTS one on s.t.

DISTRIBUTION BOX LEVEL OK - baffle in

DRAIN FIELD/TITLE DEPTH 8 FT. TRENCH WIDTH 2 FT. INLET DEPTH 4 FT.

EFFECTIVE GRAVEL DEPTH 4 FT. TOTAL LENGTH ① 55' ② 55' ③ 50' ④ 50' FT.

NUMBER OF TRENCHES 4 ONE SIDEWALL ~~AREA~~ AREA _____ SQ. FT.

DRYWALL INSIDE DIAMETER — FT. EFFECTIVE DEPTH BELOW INLET — FT.

ABSORBENT AREA _____ SQ. FT.

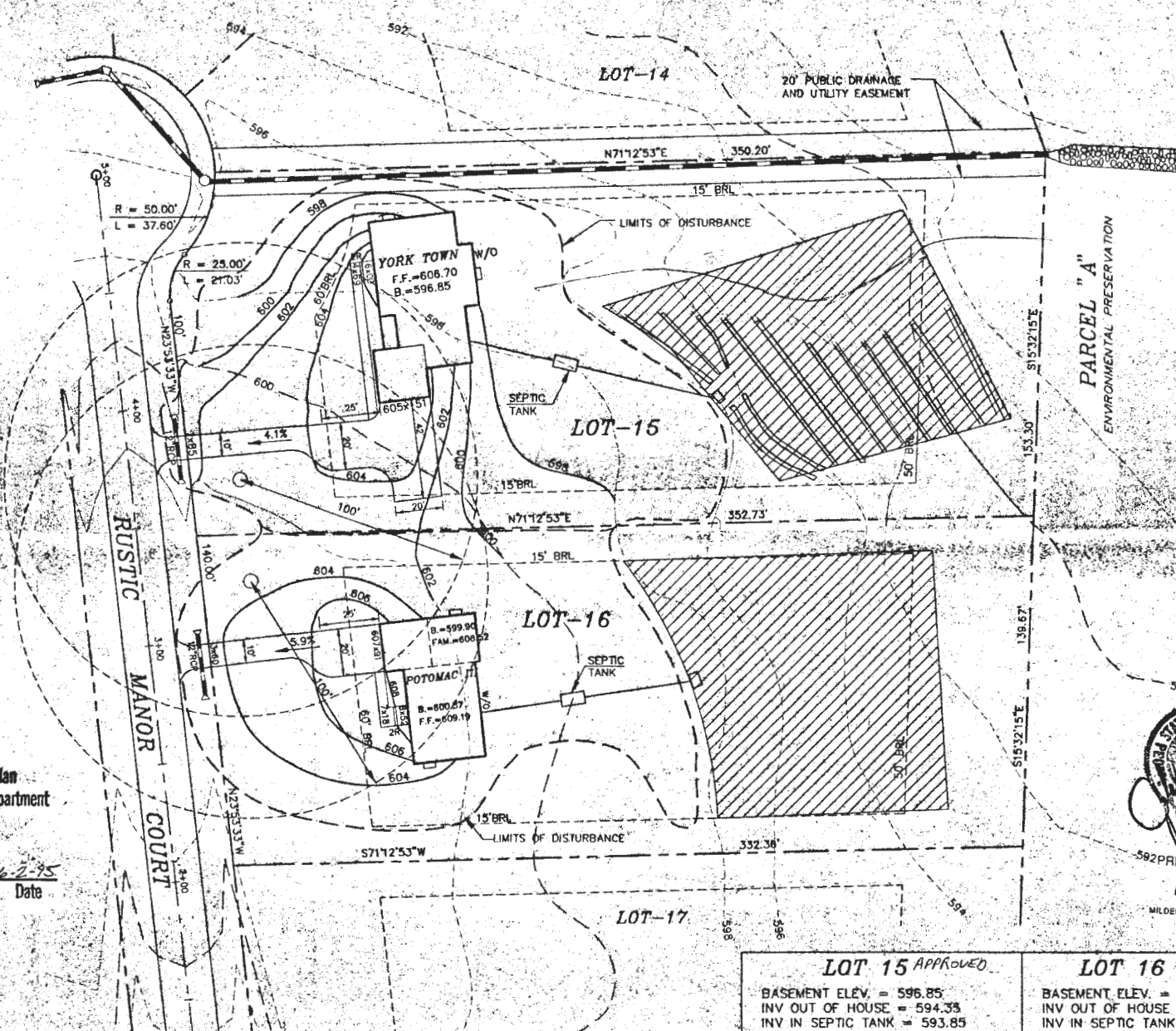
REMARKS: House getting plumbing for full bathroom in basement. Unable to get gravity flow from project sewer outlet (under rear footings), so no work done today. Need to add a pump chamber to design. MP 8/11/95

9/7/95 a.m. OK to store trench ① and continue. *No house conn. DKS

9/7/95 p.m. OK to cover 2 from house to d.b. and first two trenches - OK to continue. *No house connection. DKS

DATE SYSTEM APPROVED 9-12-95 INSPECTOR Amy M. Mullen

9/8/95 OK to cover all septic work. *NO house conn. yet. DKS



592 PRINT MADE BY
 APR 17 1995
 MILDENBERG ASSOC., INC.

Approved Septic System Plan
 Howard County Health Department

Anna M. Miller 6-2-95
 Signature Date

- NOTES:
- REFER TO APPROVED GRADING AND SEDIMENT CONTROL PLAN No. GP-95-26
 - LIMITS OF DISTURBANCE: LOT 15 - 26,239 sq. ft.
 LOT 16 - 21,423 sq. ft.

SITE PLAN
LOT 15 & 16
 SCALE 1" = 30'

LOT 15 APPROVED

BASEMENT ELEV. = 596.85
INV OUT OF HOUSE = 594.33
INV IN SEPTIC TANK = 593.85
INV OUT SEPTIC TANK = 593.80
EX. ELEV. @ SEPTIC TANK = 598.00
PROP ELEV. @ SEPTIC TANK = 597.00
EX. ELEV. @ DIST. BOX = 596.00
INV. IN ELEV. @ DIST. BOX = 593.00

LOT 16

BASEMENT ELEV. = 600.57
INV OUT OF HOUSE = 598.07
INV IN SEPTIC TANK = 597.07
INV OUT SEPTIC TANK = 596.82
EX. ELEV. @ SEPTIC TANK = 600.00
PROP ELEV. @ SEPTIC TANK = 600.00
EX. ELEV. @ DIST. BOX = 598.25
INV. IN ELEV. @ DIST. BOX = 595.25

(1) LENGTH OF TRENCH TO BE DETERMINED AT TIME OF SEPTIC PERMIT

(1) LENGTH OF TRENCH TO BE DETERMINED AT TIME OF SEPTIC PERMIT