

Revised

RECEIVED


PERMIT NUMBER: B 23003098

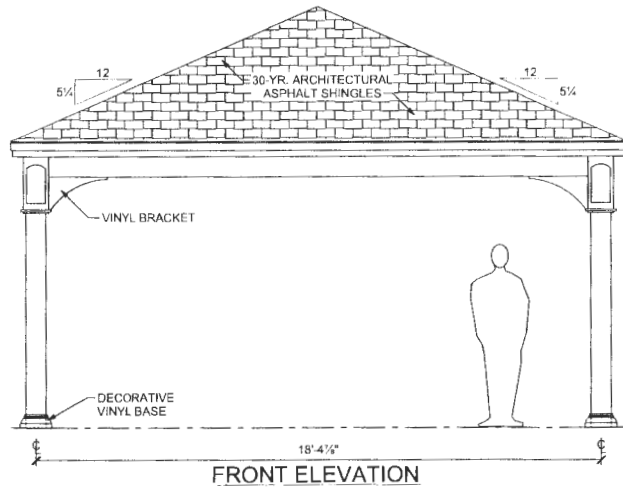
DATE ACCEPTED:

RESIDENTIAL BUILDING PERMIT APPLICATION					
HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES, AND PERMITS					
3430 COURT HOUSE DRIVE, ELLICOTT CITY, MD 21043 - PHONE: (410) 313-2455 OPTION #4					
www.howardcountymd.gov					
BUILDING SITE ADDRESS REQUIRED					
Street Address: 12622 Grovewood CT					Unit:
City: Clarksville			State: MD	Zip Code: 21029	
Subdivision/Village/Complex Name: The Preserve at Clarksville				SDP/WP/BA #:	
Lot: 13	Tax Map: 34	Parcel: 34-17	Grading Permit #:		
DESCRIPTION OF WORK REQUIRED					
Existing Use: SFD		Proposed Use: SFD		Estimated Cost: \$40,000	
Trade Work to Be Completed (Separate Permits Required): <input type="checkbox"/> Mechanical (HVACR) <input type="checkbox"/> Electrical <input type="checkbox"/> Plumbing <input type="checkbox"/> None					
SFD Construct 20x20 Retention Area over new 30x25 Retention Interiors					
SFD Install 7x9 Retention Area over concrete centered in this room,					
Retain 20x20					
PROPERTY OWNER INFORMATION REQUIRED					
Owner(s) Name(s) (As it appears on tax records): Martin Lisa Alongi, Trustee					Primary Residence: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Owner's Street Address: 12622 Grovewood CT					
City: Clarksville			State: MD	Zip Code: 21029	
Phone: 301 204 6247		Email: notrash21@gmail.com			
APPLICANT NAME REQUIRED - INDIVIDUAL WHO SIGNS THIS APPLICATION					
Business Name: Peter Martin			Contact Name: Peter Martin		
Street Address: 12622 Grovewood CT					
City: Clarksville			State: MD	Zip Code: 21029	
Phone: 301 204 6247		Email: notrash21@gmail.com			
CONTRACTOR INFORMATION REQUIRED					
Business Name: Peter Martin (homeowner)					
Licensee's Name:					
License #:					
Street Address: 12622 Grovewood CT					
City: Clarksville			State: MD	Zip Code: 21029	
Phone: 301 204 6247		Email: notrash21@gmail.com			
ARCHITECT/ENGINEER INFORMATION INDIVIDUAL WHO SIGNED PLANS, IF APPLICABLE					
Business Name:					
Name:					
Street Address:					
City:					
State:					
Zip Code:					
Phone:					
Email:					
BUILDING CHARACTERISTICS REQUIRED					
Primary Structure: <input checked="" type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse <input type="checkbox"/> SF Duplex <input type="checkbox"/> Mobile Home <input type="checkbox"/> Multi-Family Dwelling (MF*)					Condo: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Utilities: <input checked="" type="checkbox"/> Electric <input type="checkbox"/> Gas		Water Supply: <input type="checkbox"/> Public <input checked="" type="checkbox"/> Private (Well)		Sewage Disposal: <input type="checkbox"/> Public <input checked="" type="checkbox"/> Private (Septic)	
Heating System: <input type="checkbox"/> Electric <input checked="" type="checkbox"/> Natural Gas <input type="checkbox"/> Propane <input type="checkbox"/> Other:				Roadside Tree Project: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes: #	
Sprinkler System: <input type="checkbox"/> NFPA 13 <input type="checkbox"/> NFPA 13R <input type="checkbox"/> NFPA 13D <input checked="" type="checkbox"/> None			Fire Alarm System: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Voice Evac		
ADDITIONAL RESIDENTIAL INFORMATION (PLEASE SELECT/COMPLETE ALL THAT APPLY)					
Model Name & Options:					
# of Bedrooms (SF):	# of efficiency units (MF*):	# of 1 BR (MF*):	# of 2 BR (MF*):	# of 3 BR (MF*):	
# Rooms:	# Full Baths:	# Half Baths:	# Fireplaces:		
Garage/Carport Info: <input type="checkbox"/> Attached Garage <input type="checkbox"/> Detached Garage <input type="checkbox"/> Integral Garage <input type="checkbox"/> Carport <input type="checkbox"/> None					
Basement/Foundation Info: <input type="checkbox"/> Slab on Grade <input type="checkbox"/> Post & Pier <input type="checkbox"/> Unfinished Basement <input type="checkbox"/> Finished Basement: <input type="checkbox"/> Full or <input type="checkbox"/> Partial					
1 st Fl Width:	1 st Fl Depth:	2 nd Fl Width:	2 nd Fl Depth:	Bsmt Width:	Bsmt Depth:
Energy Method: <input type="checkbox"/> Prescriptive <input type="checkbox"/> Performance <input type="checkbox"/> UA Alternative <input type="checkbox"/> ERI			Gross Area:	sq ft	Occupiable Area: sq ft
AGREEMENT/ DISCALIMER REQUIRED					
THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.					
APPLICANT'S ORIGINAL SIGNATURE			8/18/23 DATE SIGNED		
FOR OFFICE USE ONLY					
CHECKS PAYABLE TO: DIRECTOR OF FINANCE OF HOWARD COUNTY					
AGENCIES REQUIRED/APPROVALS:					
<input checked="" type="checkbox"/> PR	<input checked="" type="checkbox"/> DPZ	<input checked="" type="checkbox"/> DED	<input checked="" type="checkbox"/> Health	<input type="checkbox"/> SHA	<input type="checkbox"/> CID
SUBMITTAL FEES: \$25		PAYMENT: check # 428		ACCEPTED BY: TR	

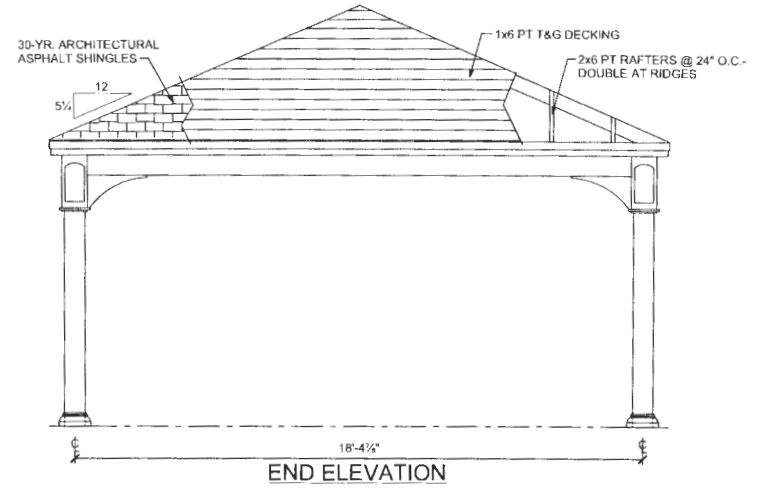
PERMIT NUMBER: B 23003040

DATE ACCEPTED:

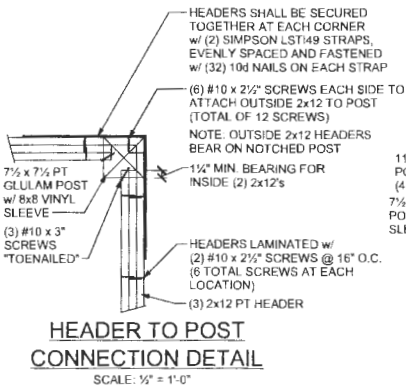
RESIDENTIAL BUILDING PERMIT APPLICATION					
HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES, AND PERMITS 3430 COURT HOUSE DRIVE, ELLICOTT CITY, MD 21043 - PHONE: (410) 313-2455 OPTION #4 www.howardcountymd.gov					
BUILDING SITE ADDRESS <i>REQUIRED</i>					
Street Address: 12622 Greenwood CT					Unit:
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Subdivision/Village/Complex Name: The Preserve at Clarksville				SDP/WP/BA #:	
Lot: 13	Tax Map: 34	Parcel: 34-17	Grading Permit #:		
DESCRIPTION OF WORK <i>REQUIRED</i>					
Existing Use: SFD		Proposed Use: SFD		Estimated Cost: \$ 46,000	
Trade Work to Be Completed (Separate Permits Required): <input type="checkbox"/> Mechanical (HVACR) <input type="checkbox"/> Electrical <input type="checkbox"/> Plumbing <input type="checkbox"/> None					
SFD construct 20x20 Red Pavilion over new 30x25 Patio with Pavers					
SFD install 7x9 Hot tub on New Patio of concrete reinforced with #5 rebar,					
10x10. Fence to Code.					
PROPERTY OWNER INFORMATION <i>REQUIRED</i>					
Owner(s) Name(s) (As it appears on tax records): Martin Lisa Alongi, Trustee					Primary Residence: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Owner's Street Address: 12622 Greenwood CT					
City: Clarksville			State: MD		Zip Code: 21029
Phone: 301 204 6247		Email: nottrash21@gmail.com			
APPLICANT NAME <i>REQUIRED - INDIVIDUAL WHO SIGNS THIS APPLICATION</i>					
Business Name: Peter Martin			Contact Name: Peter Martin		
Street Address: 12622 Greenwood CT					
City: Clarksville			State: MD		Zip Code: 21029
Phone: 301 204 6247		Email: nottrash21@gmail.com			
CONTRACTOR INFORMATION <i>REQUIRED</i>					
Business Name: Peter Martin					
Licensee's Name:			License #:		
Street Address: 12622 Greenwood CT					
City: Clarksville			State: MD		Zip Code: 21029
Phone: 301 204 6247		Email: nottrash21@gmail.com			
ARCHITECT/ENGINEER INFORMATION <i>INDIVIDUAL WHO SIGNED PLANS, IF APPLICABLE</i>					
Business Name:			Name:		
Street Address:					
City:			State:		Zip Code:
Phone:			Email:		
BUILDING CHARACTERISTICS <i>REQUIRED</i>					
Primary Structure: <input checked="" type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse <input type="checkbox"/> SF Duplex <input type="checkbox"/> Mobile Home <input type="checkbox"/> Multi-Family Dwelling (MF*)					Condo: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Utilities: <input checked="" type="checkbox"/> Electric <input checked="" type="checkbox"/> Gas		Water Supply: <input type="checkbox"/> Public <input checked="" type="checkbox"/> Private (Well)		Sewage Disposal: <input type="checkbox"/> Public <input checked="" type="checkbox"/> Private (Septic)	
Heating System: <input type="checkbox"/> Electric <input checked="" type="checkbox"/> Natural Gas <input type="checkbox"/> Propane <input type="checkbox"/> Other:				Roadside Tree Project: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes: #	
Sprinkler System: <input type="checkbox"/> NFPA 13 <input type="checkbox"/> NFPA 13R <input type="checkbox"/> NFPA 13D <input checked="" type="checkbox"/> None			Fire Alarm System: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Voice Evac		
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Model Name & Options:					
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# Rooms:		# Full Baths:	# Half Baths:	# Fireplaces:	
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1 st Fl Width:		1 st Fl Depth:	2 nd Fl Width:	2 nd Fl Depth:	Bsmt Width:
Energy Method: <input type="checkbox"/> Prescriptive <input type="checkbox"/> Performance <input type="checkbox"/> UA Alternative <input type="checkbox"/> ERI		Gross Area:		sq ft	Occupiable Area:
sq ft		sq ft			
AGREEMENT/ DISCALIMER <i>REQUIRED</i>					
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 APPLICANT'S ORIGINAL SIGNATURE				8/8/23 DATE SIGNED	
FOR OFFICE USE ONLY					
CHECKS PAYABLE TO: DIRECTOR OF FINANCE OF HOWARD COUNTY					
AGENCIES REQUIRED/APPROVALS:					
<input type="checkbox"/> PR		<input type="checkbox"/> DPZ		<input type="checkbox"/> DED	
<input type="checkbox"/> Health		<input type="checkbox"/> SHA		<input type="checkbox"/> CID	
SUBMITTAL FEES: \$ 25		PAYMENT: Check # 426		ACCEPTED BY: PR	



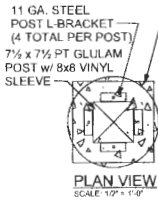
FRONT ELEVATION



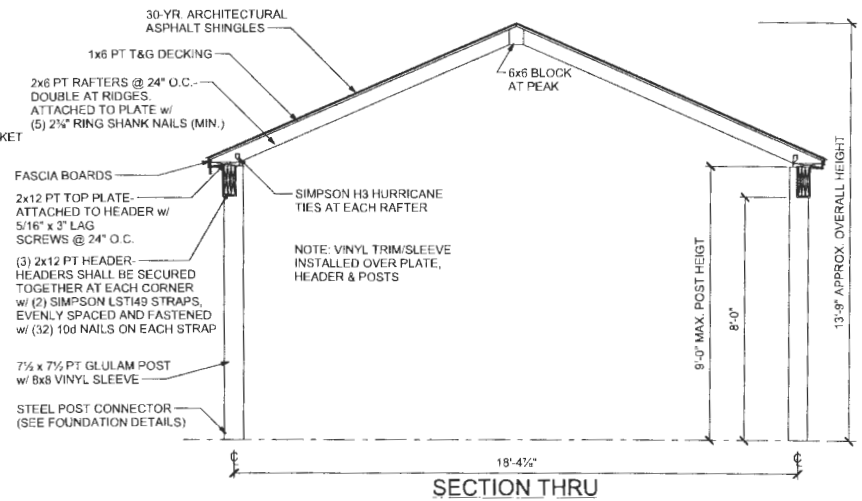
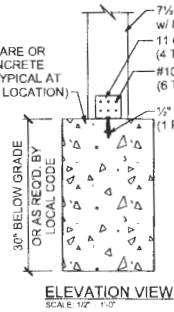
END ELEVATION



HEADER TO POST
CONNECTION DETAIL
SCALE: 1/2" = 1'-0"



FOUNDATION DETAILS



SECTION THRU

PLOT DATE December 17, 2015



www.CREATIVEGAZEBOS.com

SITE:

MILEF RESIDENCE
17956 RUNNING COLT PLACE
LEESBURG, VA 20175

20' x 20' MANOR PAVILION

DATE	12/17/15	SCALE	1/4" = 1'-0" U.N.O.
REVISIONS		P.N.	10 - 27
		SHEET NO.	2 OF 2

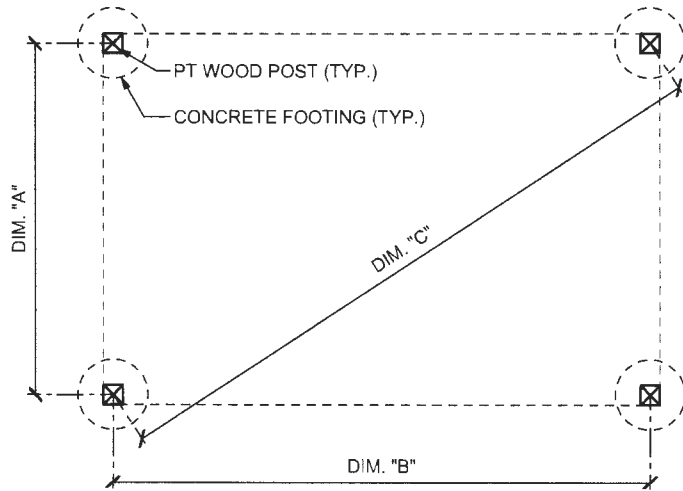
VINYL PAVILION - MANOR & HAMPTON STYLES

POST LOCATION PLAN

FOR FOUR POST UNITS

NOTES:

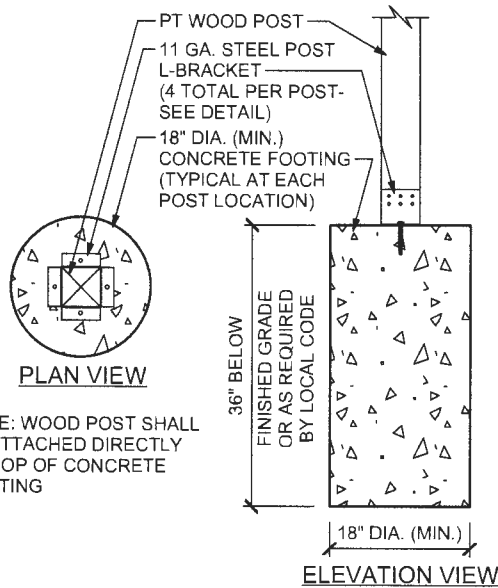
- ALL DIMENSIONS ARE TO THE CENTER OF THE FOOTINGS / POSTS AND ARE FOR ALL POST SIZES (STANDARD 6" SQUARE, 8" SQUARE AND 10" ROUND COLUMNS).
- STANDARD ROOF DESIGN WITH 12" OVERHANGS, ADD 32" TO DIMENSION SHOWN.



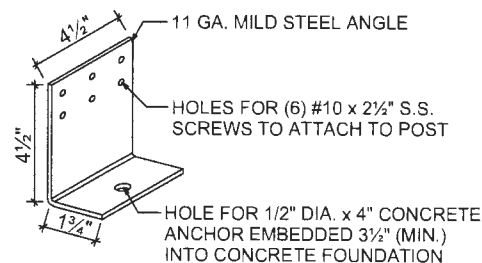
PAVILION SIZE	DIM. "A"	DIM. "B"	DIM. "C"
8 x 10	6'-4 ⁷ / ₈ "	8'-7 ¹ / ₄ "	10'-8 ³ / ₄ "
8 x 12	6'-4 ⁷ / ₈ "	10'-7 ¹ / ₂ "	12'-4 ⁷ / ₈ "
8 x 14	6'-4 ⁷ / ₈ "	12'-7 ¹ / ₂ "	14'-1 ⁷ / ₈ "
10 x 10	8'-7 ¹ / ₄ "	8'-7 ¹ / ₄ "	12'-2"
10 x 12	8'-7 ¹ / ₄ "	10'-7 ¹ / ₂ "	13'-8"
10 x 14	8'-7 ¹ / ₄ "	12'-7 ¹ / ₂ "	15'-3 ³ / ₈ "
10 x 16	8'-7 ¹ / ₄ "	14'-4 ⁷ / ₈ "	16'-9 ³ / ₈ "
10 x 18	8'-7 ¹ / ₄ "	16'-4 ⁷ / ₈ "	18'-6 ¹ / ₄ "
12 x 12	10'-7 ¹ / ₂ "	10'-7 ¹ / ₂ "	15'-0 ¹ / ₄ "
12 x 14	10'-7 ¹ / ₂ "	12'-7 ¹ / ₂ "	16'-6"
12 x 16	10'-7 ¹ / ₂ "	14'-4 ⁷ / ₈ "	17'-10 ³ / ₈ "
12 x 18	10'-7 ¹ / ₂ "	16'-4 ⁷ / ₈ "	19'-6 ¹ / ₂ "
14 x 14	12'-7 ¹ / ₂ "	12'-7 ¹ / ₂ "	17'-10 ¹ / ₄ "
14 x 16	12'-7 ¹ / ₂ "	14'-4 ⁷ / ₈ "	19'-1 ⁷ / ₈ "
14 x 18	12'-7 ¹ / ₂ "	16'-4 ⁷ / ₈ "	20'-8 ³ / ₈ "
16 x 16	14'-4 ⁷ / ₈ "	14'-4 ⁷ / ₈ "	20'-4 ¹ / ₂ "
16 x 18	14'-4 ⁷ / ₈ "	16'-4 ⁷ / ₈ "	21'-10"
18 x 18	16'-4 ⁷ / ₈ "	16'-4 ⁷ / ₈ "	23'-2 ¹ / ₂ "
20 x 20	18'-4 ⁷ / ₈ "	18'-4 ⁷ / ₈ "	26'-0 ³ / ₈ "

CONCRETE FOOTING REQUIREMENTS:

A MINIMUM OF 18" ROUND FOOTING IS REQUIRED AT EACH POST LOCATION, DUE TO LOCATION OF THE CONCRETE ANCHORS AND POST SIZE. DEPTH PER LOCAL CODE REQUIREMENT.



FOUNDATION DETAIL



L-BRACKET DETAIL

HOMEOWNER / CONTRACTOR:

IT IS YOUR RESPONSIBILITY TO MAKE SURE THAT THE FOOTINGS ARE IN THE EXACT LOCATION AND AT THE CORRECT HEIGHT. DOUBLE CHECK ALL DIMENSIONS BEFORE AND AFTER THE CONCRETE IS POURED. IF THE BUILDER ARRIVES AT THE SITE AND THE FOOTINGS ARE NOT IN THE CORRECT LOCATIONS, THEY WILL NOT BE ABLE TO INSTALL YOUR STRUCTURE. ADDITIONAL CHARGES WILL APPLY TO COVER THE LABOR AND MILEAGE COSTS.

VINYL PAVILION

LAYOUT 10/1/08 INSP 4 10/9/08
 INSP 2 10/2/08 INSP 5 _____
 INSP 3 10/3/08 INSP 6 _____

ISSUE DATE: 9/5/08

APPROVAL DATE: 10/10/08

PERMIT

P 529553

A 516063

TAX ID # 05448255

**ON-SITE SEWAGE DISPOSAL SYSTEM
 HOWARD COUNTY HEALTH DEPARTMENT
 BUREAU OF ENVIRONMENTAL HEALTH**

Fogles Septic Clean, Inc IS PERMITTED TO INSTALL ALTER

ADDRESS: 580 Obrecht Rd, Sykesville PHONE NUMBER: 410-795-5670

SUBDIVISION: The Preserve at Clarksville LOT NUMBER: 13

ADDRESS: 12622 Grovewood Ct PROPERTY OWNER: Dayton Oaks LLC

SEPTIC TANK CAPACITY (GALLONS): 2000 OUTLET BAFFLE FILTER REQUIRED

PUMP CHAMBER CAPACITY (GALLONS): _____ COMPARTMENTED TANK REQUIRED

NUMBER OF BEDROOMS: 5 65', 70' + 75'

SQUARE FEET PER BEDROOM: _____

LINEAR FEET OF TRENCH REQUIRED: 220 210' 4.5'-8', 3' Wide

TRENCHES:	Trench to be 3.0 feet wide. Inlet 4.0 feet below original grade. Bottom maximum depth 7.5 feet below original grade. Effective area begins at 6.0 feet below original grade. 3.5 feet of stone below distribution pipe.
LOCATION:	
NOTES:	Basement will not sewer by gravity. Install as noted unless otherwise directed by HCHD. Layout inspection required prior to installation.

PLANS APPROVED: Heidi Scott DATE: 12/28/07

- NOTE: PERMIT VOID AFTER 2 YEARS
- NOTE: CONTRACTOR RESPONSIBLE FOR SCHEDULING A PRE-CONSTRUCTION INSPECTION FOR ALL INSTALLATIONS
- NOTE: WATERTIGHT SEPTIC TANKS REQUIRED
- NOTE: ALL PARTS OF SEPTIC SYSTEM SHALL BE 100 FEET FROM ANY WATER WELL
- NOTE: MANHOLE RISERS REQUIRED ON ALL SEPTIC TANKS AND PUMP CHAMBERS UNLESS SPECIFICALLY AUTHORIZED

NEITHER THE HOWARD COUNTY COUNCIL NOR THE HEALTH DEPARTMENT IS RESPONSIBLE FOR THE SUCCESSFUL OPERATION OF ANY SYSTEM PERMITTEE RESPONSIBLE FOR OBTAINING FINAL APPROVAL ON THIS PERMIT CALL 410-313-1771 FOR INSPECTION OF SEPTIC SYSTEM

H0-95-0248

52'

99'

Lot 13

12622 Grove Wood

NOT TO SCALE

3.5'

66'

55'

93'

84'

63'

72'

79.5'

89'

→ 156' to Dist. Box

141'

120'

168'

66'

71'

79'

7.5'

12'

12'

23'



LAYOUT 10/1/08 INSP 4 10/9/08
INSP 2 10/2/08 INSP 5 _____
INSP 3 10/3/08 INSP 6 _____

ISSUE DATE: 9/5/08
APPROVAL DATE: 10/10/08

PERMIT

P 529553
A 516063

TAX ID # 05448255
ON-SITE SEWAGE DISPOSAL SYSTEM
HOWARD COUNTY HEALTH DEPARTMENT
BUREAU OF ENVIRONMENTAL HEALTH

Fogles Septic Clean, Inc IS PERMITTED TO INSTALL ALTER

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TRENCHES:	Trench to be 3.0 feet wide. Inlet 4.0 feet below original grade. Bottom maximum depth 7.5 feet below original grade. Effective area begins at 6.0 feet below original grade. 3.5 feet of stone below distribution pipe.
LOCATION:	
NOTES:	Basement will not sewer by gravity. Install as noted unless otherwise directed by HCHD. Layout inspection required prior to installation.

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NOT TO SCALE

See As-Built
Drawing On
Separate Sheet

TRENCH/DRAINFIELD DATA		
WIDTH	INLET	BOTTOM
3'	4'	8'
NUMBER OF TRENCHES		3
TOTAL LENGTH		216'
ABSORPTION AREA		648 + Sidewall
DISTRIBUTION BOX LEVEL		Levelers
DISTRIBUTION BOX BAFFLE		Yes
DISTRIBUTION BOX PORT		Yes

SEPTIC TANK DATA	
SEPTIC TANK 1 LEVEL	
MANUFACTURER	Babylon
CAPACITY	2000 GAL
SEAM LOC	Top
TANK LID DEPTH	3-3.5'
BAFFLES	Yes
BAFFLE FILTER	No
MANHOLE LOC	Front + Rear
6" PORT LOC	None
WATERTIGHT TEST	No
SLOTTED	Yes
PUMP/SEPTIC TANK LEVEL N/A	
MANUFACTURER	
CAPACITY	GAL
SEAM LOC	
TANK LID DEPTH	
BAFFLES	
BAFFLE FILTER	
MANHOLE LOC	
6" PORT LOC	
WATERTIGHT TEST	
SLOTTED	

PRE-CONSTRUCTION
10/1/08 Easement
stakes missing
Must re-stake
O.K. to set tank (BB)

10/2/08 Tank set House connection made (BB) 10/3/08 No one on site
Easement not staked (BB) 10/9/08 Everything finished except for
half of bottom trench (BB) 10/10/08 System finished. O.K.
INSTALLATION to backfill. (BB)

FINAL INSPECTOR B. Baker DATE OF APPROVAL 10/10/08

HO-95-0248

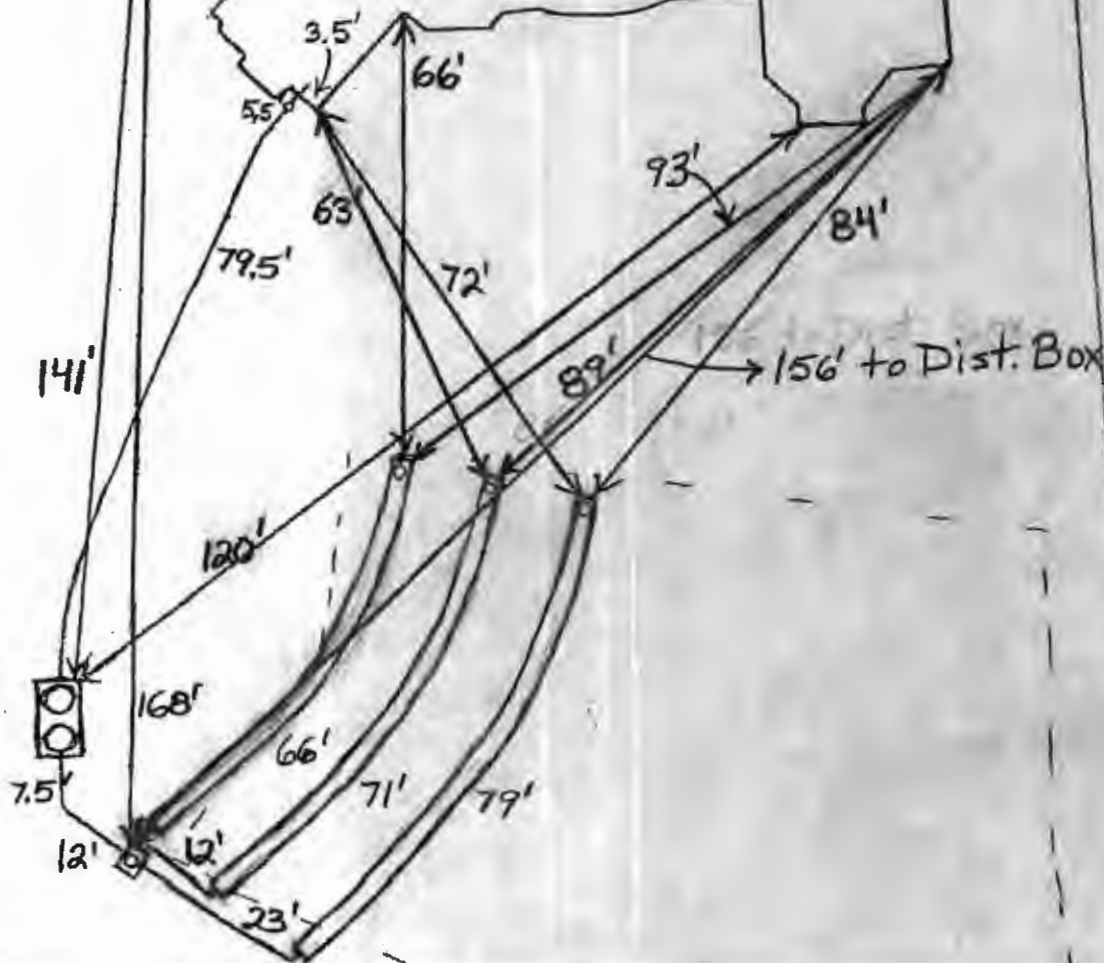
52'

99'

Lot 13

12622 Grove Wood

NOT TO SCALE



SEPTIC SYSTEM TRENCH DESIGN SPECIFICATIONS | 2622 GROVEWOOD COURT

INITIAL/EXISTING SYSTEM:
 - APPLICATION RATE: 1.2
 - EFFECTIVE AREA BEGINNING DEPTH: 4'
 - BOTTOM MAXIMUM DEPTH: 0'

1. DESIGN FLOW:
 - 5 BEDROOMS AT 150 GPD
 - 5 X 150 GPD = 750 GPD
2. SQUARE FOOTAGE OF DRAIN FIELD REQUIRED:
 - DESIGN FLOW (750 GPD) / APPLICATION RATE (1.2) = 625 SF
 - SQUARE FOOTAGE REQUIRED: 625 SF
3. SIDEWALL REDUCTION CREDIT:
 - TRENCH WIDTH (W) = 3'
 - TRENCH EFFECTIVE DEPTH (D) = 4'
 - (W+2) / (W+1+2D) X 100 = 41.67%
4. LINEAR LENGTH OF TRENCH REQUIRED:
 - DRAIN FIELD SQUARE FOOTAGE (625) X SIDEWALL REDUCTION CREDIT (41.67%) / TRENCH WIDTH (3') = 26.81 LF
5. LINEAR LENGTH OF TRENCHES PROVIDED = 210'
6. EXISTING GRADE:
 TRENCH I-1: 419.7
 TRENCH I-2: 419.2
 TRENCH I-3: 418.8
 TRENCH I-1: 415.7
 TRENCH I-2: 415.2
 TRENCH I-3: 414.8
7. INVERT:
 TRENCH I-1: 414.4
 TRENCH I-2: 413.6
 TRENCH I-3: 413.0

REPLACEMENT SYSTEM #1:
 - APPLICATION RATE: 1.2
 - EFFECTIVE AREA BEGINNING DEPTH: 4'
 - BOTTOM MAXIMUM DEPTH: 0'

1. DESIGN FLOW:
 - 5 BEDROOMS AT 150 GPD
 - 5 X 150 GPD = 750 GPD
2. SQUARE FOOTAGE OF DRAIN FIELD REQUIRED:
 - DESIGN FLOW (750 GPD) / APPLICATION RATE (0.8) = 937.5 SF
3. SIDEWALL REDUCTION CREDIT:
 - TRENCH WIDTH (W) = 3'
 - TRENCH EFFECTIVE DEPTH (D) = 4'
 - (W+2) / (W+1+2D) X 100 = 41.67%
4. LINEAR LENGTH OF TRENCH REQUIRED:
 - DRAIN FIELD SQUARE FOOTAGE (937.5) X SIDEWALL REDUCTION CREDIT (41.67%) / TRENCH WIDTH (3') = 75.0 LF
5. LINEAR LENGTH OF TRENCHES PROVIDED = 105'
6. EXISTING GRADE:
 TRENCH R1-1: 418.4
 TRENCH R1-2: 417.6
 TRENCH R1-3: 417.0
 TRENCH R1-1: 414.4
 TRENCH R1-2: 413.6
 TRENCH R1-3: 413.0

REPLACEMENT SYSTEM #2:
 - APPLICATION RATE: 0.8
 - EFFECTIVE AREA BEGINNING DEPTH: 4'
 - BOTTOM MAXIMUM DEPTH: 0'

1. DESIGN FLOW:
 - 5 BEDROOMS AT 150 GPD
 - 5 X 150 GPD = 750 GPD
2. SQUARE FOOTAGE OF DRAIN FIELD REQUIRED:
 - DESIGN FLOW (750 GPD) / APPLICATION RATE (0.8) = 937.5 SF
3. SIDEWALL REDUCTION CREDIT:
 - TRENCH WIDTH (W) = 3'
 - TRENCH EFFECTIVE DEPTH (D) = 4'
 - (W+2) / (W+1+2D) X 100 = 41.67%
4. LINEAR LENGTH OF TRENCH REQUIRED:
 - DRAIN FIELD SQUARE FOOTAGE (937.5) X SIDEWALL REDUCTION CREDIT (41.67%) / TRENCH WIDTH (3') = 75.0 LF
5. LINEAR LENGTH OF TRENCHES PROVIDED = 130.5'
6. EXISTING GRADE:
 TRENCH R2-1: 416.3
 TRENCH R2-2: 415.6
 TRENCH R2-3: 415.0
 TRENCH R2-1: 412.3
 TRENCH R2-2: 411.6
 TRENCH R2-3: 411.0

NOTES:

- TOPOGRAPHY SHOWN HEREON IS FROM HOWARD COUNTY LIDAR OUTSIDE OF LIMITS OF FIELD-RUN TOPOGRAPHY. WITHIN THOSE LIMITS TOPOGRAPHY WAS FIELD-RUN BY SHANABERGER & LANE IN OCTOBER, 2020. LIMITS OF FIELD-RUN TOPOGRAPHY BY SHANABERGER & LANE ARE SHOWN AS INDICATED BELOW.
- BUILDING, DRIVEWAY, SEPTIC TANK LIDS, EDGE OF ROAD AND WELL ON THIS PROPERTY WERE FIELD-LOCATED BY SHANABERGER & LANE IN OCTOBER, 2020. ALL OTHER BUILDINGS, DRIVEWAYS, ROAD PAVING, AND TREELINES ARE FROM HOWARD COUNTY LIDAR. WELL AND SEPTIC SYSTEM LOCATIONS ON OTHER PROPERTIES IS FROM AVAILABLE PUBLIC RECORDS.
- PROPERTY IS SERVED BY PRIVATE WATER AND SEWER.
- THIS AREA DESIGNATES A REVISED PRIVATE SEWAGE AREA OF AT LEAST 10,000 SQUARE FEET AS REQUIRED BY THE MARYLAND DEPARTMENT OF THE ENVIRONMENT FOR INDIVIDUAL SEWAGE DISPOSAL. IMPROVEMENTS OF ANY NATURE IN THIS AREA ARE RESTRICTED UNTIL PUBLIC SEWERAGE IS AVAILABLE. THIS AREA SHALL BECOME NULL AND VOID UPON CONNECTION TO A PUBLIC SEWERAGE SYSTEM. THE COUNTY HEALTH OFFICER SHALL HAVE THE AUTHORITY TO GRANT ADJUSTMENTS TO THE PRIVATE SEWAGE AREA. REORDINATION OF A MODIFIED SEWAGE AREA SHALL NOT BE NECESSARY.
- THE LOT SHOWN HEREIN COMPLIES WITH THE MINIMUM OWNERSHIP, WIDTH, AND LOT AREA AS REQUIRED BY THE MARYLAND DEPARTMENT OF THE ENVIRONMENT.
- EXISTING WELLS, SEPTIC SYSTEMS, AND SEWAGE DISPOSAL AREAS WITHIN 100' OF THE PROPERTY AND THOSE WELLS WITHIN 200' DOWN GRADIENT OF EXISTING OR PROPOSED SEPTIC SYSTEMS OR SEWAGE DISPOSAL AREAS HAVE BEEN SHOWN.
- ANY CHANGES TO A PRIVATE SEWAGE AREA SHALL REQUIRE A REVISED PERC CERTIFICATION PLAN.

LEGEND

- P175 PERC TEST LOCATION # NUMBER SHOWN ON P-05-013.
- 5 PERC TESTS DUG APRIL 8, 2021
- SOIL TYPE BOUNDARY
- WOODS/LINE/TREES
- LIMITS OF FIELD-RUN TOPOGRAPHY
- REVISED SEWAGE DISPOSAL AREA PER BUILDING PERMIT APPLICATION

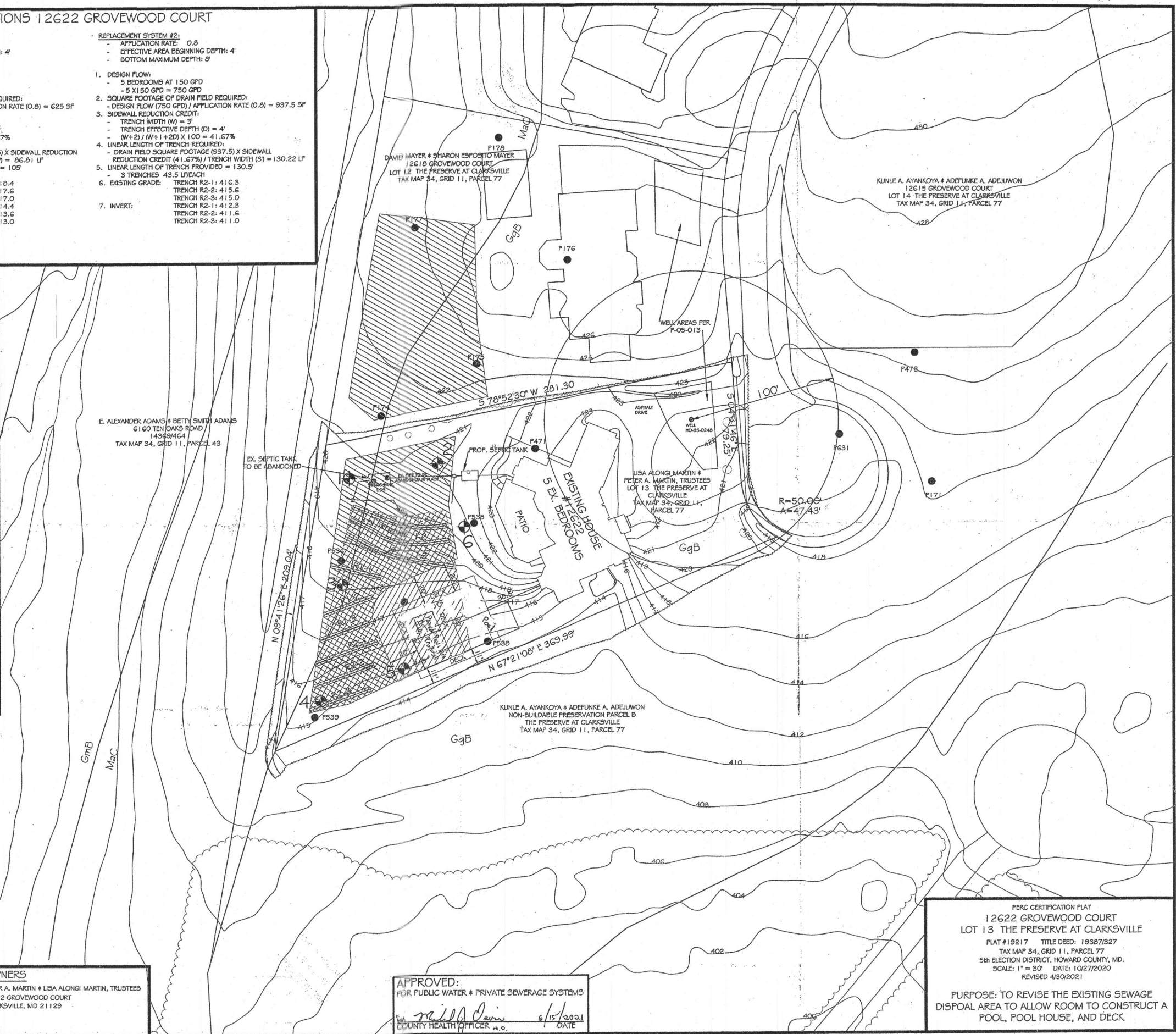
9. SOIL TYPES:
 MaC - Manor Loam, 8-15% slopes
 GmB - Glenville Silt Loam, 3-9% slopes
 GgB - Glenelg Loam, 3-9% slopes

10. BEARINGS, DISTANCES, AND SETBACK LINES SHOWN HEREON ARE FROM RECORDED PLAT.

11. PURPOSE OF PLAN: TO REVISE THE CURRENT SEWAGE DISPOSAL AREA TO ALLOW ROOM FOR A POOL, POOL HOUSE AND DECK.

12. THE OWNER WILL REQUEST A VARIANCE TO ALLOW EXISTING TRENCH I-3 TO BE LESS THAN 20 FEET FROM THE PROPOSED CLUBHOUSE BY 6.4 FEET.

13. SQUARE FOOTAGE OF PROPOSED SEWAGE AREA: 10,344 SQ. FT.



SHANABERGER & LANE
 8726 TOWN & COUNTRY BLVD.
 SUITE 201
 ELICOTT CITY, MD 21043
 (410) 461-9563
 (410) 461-9693 fax
 home@sharlane.com

I HEREBY CERTIFY THAT THE INFORMATION SHOWN HEREON REFLECTS WORK DONE BY ME OR UNDER MY DIRECT SUPERVISION AND IS AVAILABLE PUBLIC AND PRIVATE INFORMATION AND IS CORRECT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE AND BELIEF.

Scott Shanabarger
 G. SCOTT SHANABARGER
 PROFESSIONAL LAND SURVEYOR #10049
 LICENSE EXPIRATION DATE 4/2/2022

OWNERS
 PETER A. MARTIN & LISA ALONGI MARTIN, TRUSTEES
 12622 GROVEWOOD COURT
 CLARKSVILLE, MD 21119

APPROVED:
 FOR PUBLIC WATER & PRIVATE SEWERAGE SYSTEMS

Paula Davis 6/15/2021
 COUNTY HEALTH OFFICER DATE

PERC CERTIFICATION PLAT
 12622 GROVEWOOD COURT
 LOT 13 THE PRESERVE AT CLARKSVILLE
 PLAT #19217 TITLE DEED: 19987/327
 TAX MAP 34, GRID 11, PARCEL 77
 5th ELECTION DISTRICT, HOWARD COUNTY, MD.
 SCALE: 1" = 50' DATE: 10/27/2020
 REVISED 4/30/2021

PURPOSE: TO REVISE THE EXISTING SEWAGE DISPOSAL AREA TO ALLOW ROOM TO CONSTRUCT A POOL, POOL HOUSE, AND DECK.