

Approved
MRE 3/22/23

Menu Save Reset Cancel Help

Record Detail * (This section is required.)

Permit Type	Permit Number	Opened Date
Building/Residential/Misc/Deck	B23000914	03/19/2023
Description of Work		
SFD/ CONSTRUCT AN IRREGULAR SHAPED 30' X 26' OPEN DECK WITH 8' X 6' CORNER PERGOLA WITH STEPS TO GRADE		

[check spelling](#)

Address * (This section is required.)

Search Reset Clear Get Parcel & Owner

Street #	Street Name	Street Type
13105	BUCKS RIDGE	CT
Unit Type	Unit #	X Coordinate
--Select--		-76.96582
		Y Coordinate
		39.25835
City	State	Zip Code
ELLCOTT CITY	MD	21042
		Primary
		Yes

Parcel * (This section is required.)

Search Reset Clear Get Address & Owner

GIS ID *	Parcel	Parcel Area	Land Value	Improved Value	Exemption Value	Plan Area
921882	73	1.02	240200	1004500	764300	RURAL

Legal Description
IMPSLOT 4 1.029 A[]13105 BUCKS RIDGE CT []BUCKSKIN OAKS RSB LT 5

[check spelling](#)

Block	Lot	Census Tract	Council Dist	Inspection Dist	Supervisor Dist	Map #	DAP Zone
	4	603000	5				
Plan Area		State Tax Id	Subdivision Name				
		1403344932	Buckskin Oaks				
Section		Area	Tax Map				
			22				
Grid		Zoning District	ADC Map				
22-22		RR-DEO	4813-F9				
SDP No.		Final Plan No.	WP File No.				
		F-01-041					
Record Plat No.		WS Contract No.	FDP No.	Primary			
18020-1802				Yes			
Owner Occupied		Year Built	Historic District				
<input type="radio"/> Yes <input type="radio"/> No		2014	<input type="radio"/> Yes <input checked="" type="radio"/> No				
Historic District Registry No.		Stat Area	Flood Plain				
		3-08B	<input type="radio"/> Yes <input checked="" type="radio"/> No				
Building No							

Owner * (This section is required.)

Search Reset Clear

Name *
YOUSSEF CHANTAL

Address Line 1
13105 BUCKS RIDGE CT

Address Line 2

Address Line 3

Mail City	Mail State	Mail Zip Code
ELLCOTT CITY	MD	21042
Phone	Primary	
410-969-4444	Yes	
E-mail		
PERMITS@FENCEDECKCONNECT.COM		

Cell Number Fax Number

Professionals (This section is not required.)

License # * 08050045780 Business Name FENCE & DECK CONNECTION

License Type * MHIC Co First Name JAMES Middle Name W Last Name RUBUSH

Primary Yes Address Line 1 8057 VETERANS HIGHWAY Address Line 2

City MILLERSVILLE State MD ZIP Code 21108-0000

Phone 1 4109694444 Phone 2 Fax 4109694448

E-mail DFISH@FENCEDECKCONNECT.COM

Applicant (This section is not required.)

Search As Owner As Lic. Prof As Contact

Type * Applicant First Name JESSICA MI Last Name OWENBY

Relationship Applicant Full Name JOSH SIMPSON

Primary Yes Organization Name FENCE & DECK CONNECTION

Street Address 8057 VETERANS HIGHWAY Address Line 2

City MILLERSVILLE State MD Zip Code 21108

Phone 410-969-4444 Cell Fax

E-mail * permits@fencedeckconnect.com

Addtl Info

Est Construction Cost * 34600 Housing Units * 0 Number of Buildings * 0 Public Owned No

Construction Type 434 - Additions, Alterations and Conversions - Residential

MISC PERMIT INFO

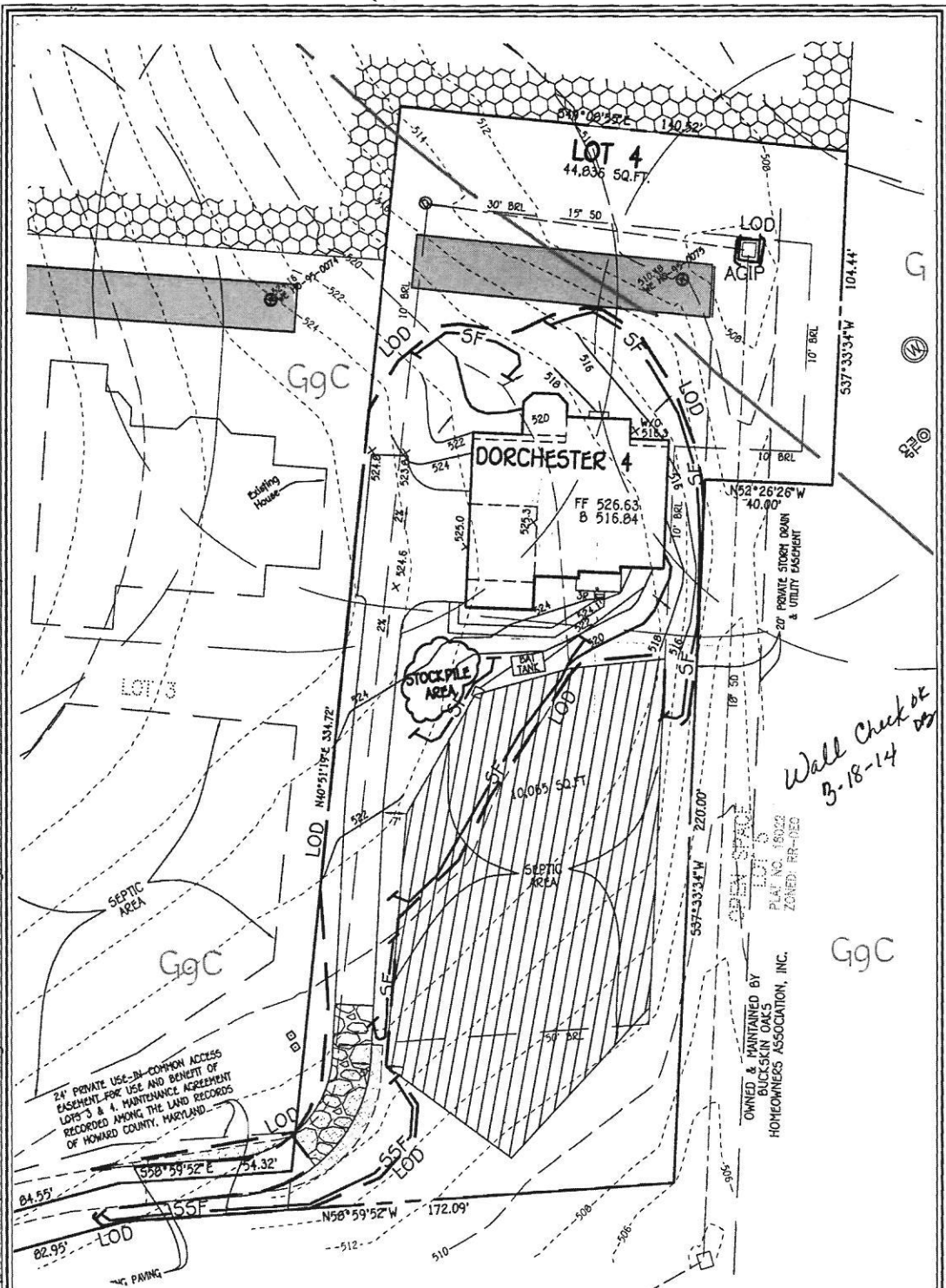
MISCELLANEOUS PERMIT INFORMATION

Capital Project-No Fee * Yes No Capital Project Number Fee Exempt * Yes No Roadside Tree Project Permit * Yes No Roadside Tree Project Permit #

Existing Use * SFD Water Private Sewage Private Expiration Date

Submit Cancel

K:\Drawings\31\30716 FOLLY QUARTER ROAD\Site Plans\30716 Permit Siting Lot 4 rev 122613.dwg, Permit Plan_12/26/2013 9:51:53 AM, 1:1



NOTES

1. STORMWATER MANAGEMENT SATISFIED BY THE EXISTING FACILITY LOCATED ON NON-BUILDABLE PRESERVATION PARCEL 'B'. PER DISCUSSION WITH CHUCK DAMMERS ON JUNE 3, 2013, THIS LOT IS GRANDFATHERED FOR SWM. NO ADDITIONAL MANAGEMENT WILL BE REQUIRED AND THEREFORE AN ENVIRONMENTAL CONCEPT PLAN IS NOT REQUIRED.
2. THE EXISTING WELL, TAG #95-0075, SHOWN ON THIS PLAN, HAS BEEN FIELD LOCATED BY FISHER, COLLINS & CARTER, INC., PROFESSIONAL LAND SURVEYORS, AND IS ACCURATELY SHOWN.

**PERMIT PLAN
BUCKSKIN OAKS**

LOT 4
 ZONED RR-DEO PLAT NO. 18022
 TAX MAP NO.: 22 PARCEL NO.: 73 GRID NO.: 16
 THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: 1" = 40' DATE: SEPTEMBER, 2013
 SHEET 1 OF 1

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
 ELLICOTT CITY, MARYLAND 21042
 (410) 461 - 2855

Abraham

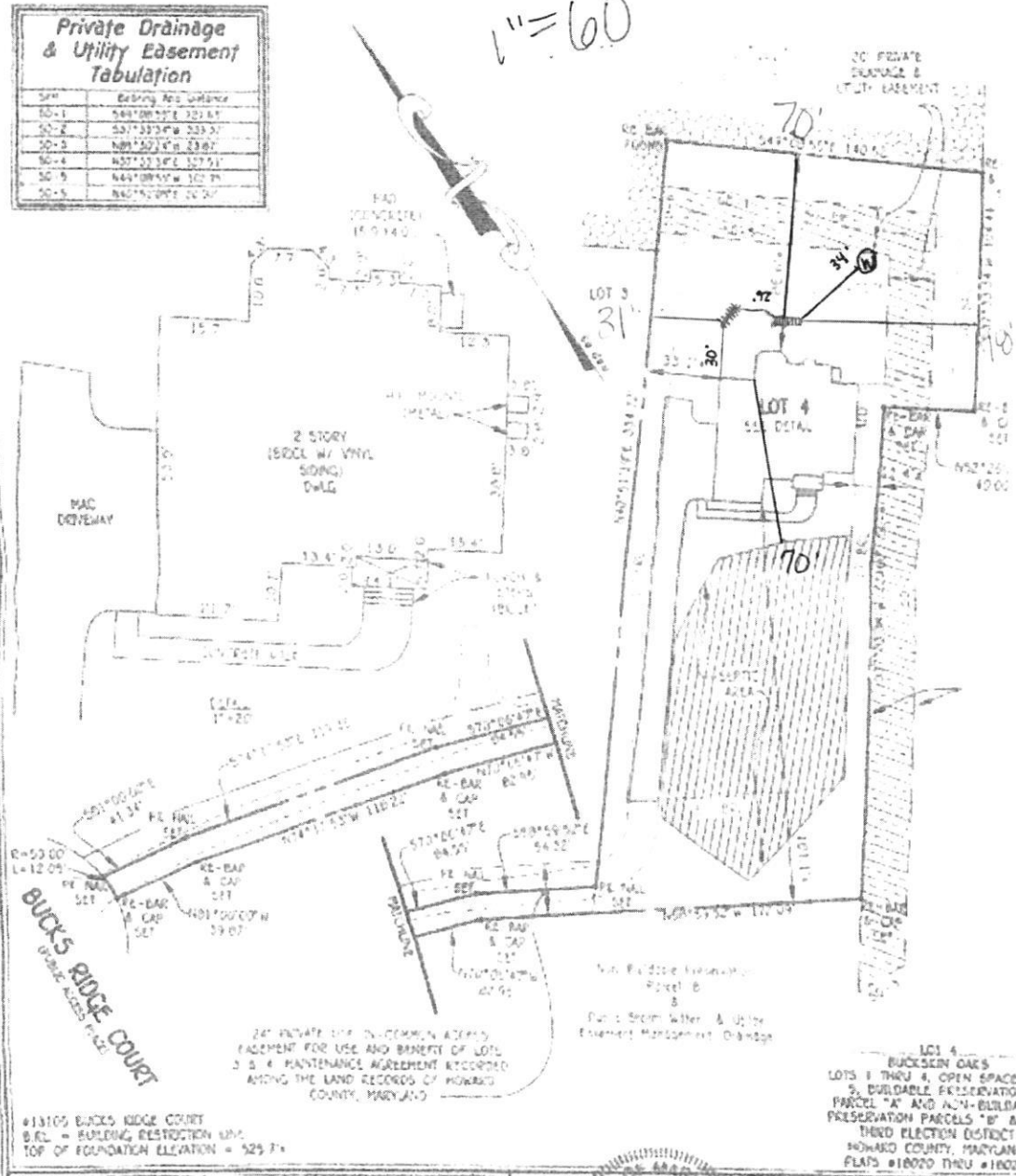
GENERAL NOTES:

- 1) THIS SURVEY WAS PREPARED BY THE SURVEYOR FOR THE CLIENT'S USE ONLY. THE CLIENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS AS REQUIRED BY A LOCAL OR STATE AGENCIES. THE SURVEYOR'S LIABILITY IS LIMITED TO THE ACCURACY OF THE SURVEY. THIS LOCATION DRAWING IS NOT INTENDED FOR USE IN THE ESTABLISHMENT OF PROPERTY LINES AND NOT TO BE RELIED UPON FOR THE ESTABLISHMENT OF LOCATIONS OF FENCES, GARAGES, BUILDINGS OR OTHER EXISTING OR FUTURE IMPROVEMENTS. AS A RESULT, THE LOCATION DRAWING DOES NOT PROVIDE FOR ACCURATE IDENTIFICATION OF PROPERTY LINES, BUT SUCH IDENTIFICATION MAY NOT BE REQUIRED FOR THE TRANSFER OF TITLE OR SECURING FINANCING FOR RE-FINANCING.
- 2) SUBJECT PROPERTY IS SHOWN IN ZONE SB ON THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAP OF HOWARD COUNTY, MARYLAND, COMMUNITY PANEL NO. 2430410021-B, EFFECTIVE DEC. 4, 1994.
- 3) THE OFFSETS FROM BUILDING LINE TO PROPERTY LINE AS SHOWN ON THIS PLAN HEREON ARE TO AN ACCURACY OF FEET OR FEET INCHES.
- 4) NO TITLE REPORT FURNISHED SUBJECT TO ALL EASEMENTS, RIGHTS OF WAY AND CONDITIONS OF RECORD.
- 5) THE EXISTING WELLS SHOWN ON THIS PLAN IDENTIFIED WITH THE ATTACHED WELL TAG NUMBER HO-25 0522 HAS BEEN FIELD LOCATED BY FISHER, COLLINS AND COMPANY, THE PROFESSIONAL LAND SURVEYORS AND IS ACCURATELY SHOWN.
- 6) PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY ME OR UNDER MY RESPONSIBLE CHARGE, AND THAT I AM A DAILY LICENSED PROPERTY LINE SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 339, EXPIRATION DATE 10/04/2018.
- 7) BUILDING PERMIT # B-15004820

Private Drainage & Utility Easement Tabulation

S/N	Building And/Or Other
SD-1	544'00" x 12'00" 331.61'
SD-2	531'00" x 12'00" 323.37'
SD-3	544'00" x 12'00" 331.61'
SD-4	531'00" x 12'00" 323.37'
SD-5	544'00" x 12'00" 331.61'
SD-6	531'00" x 12'00" 323.37'

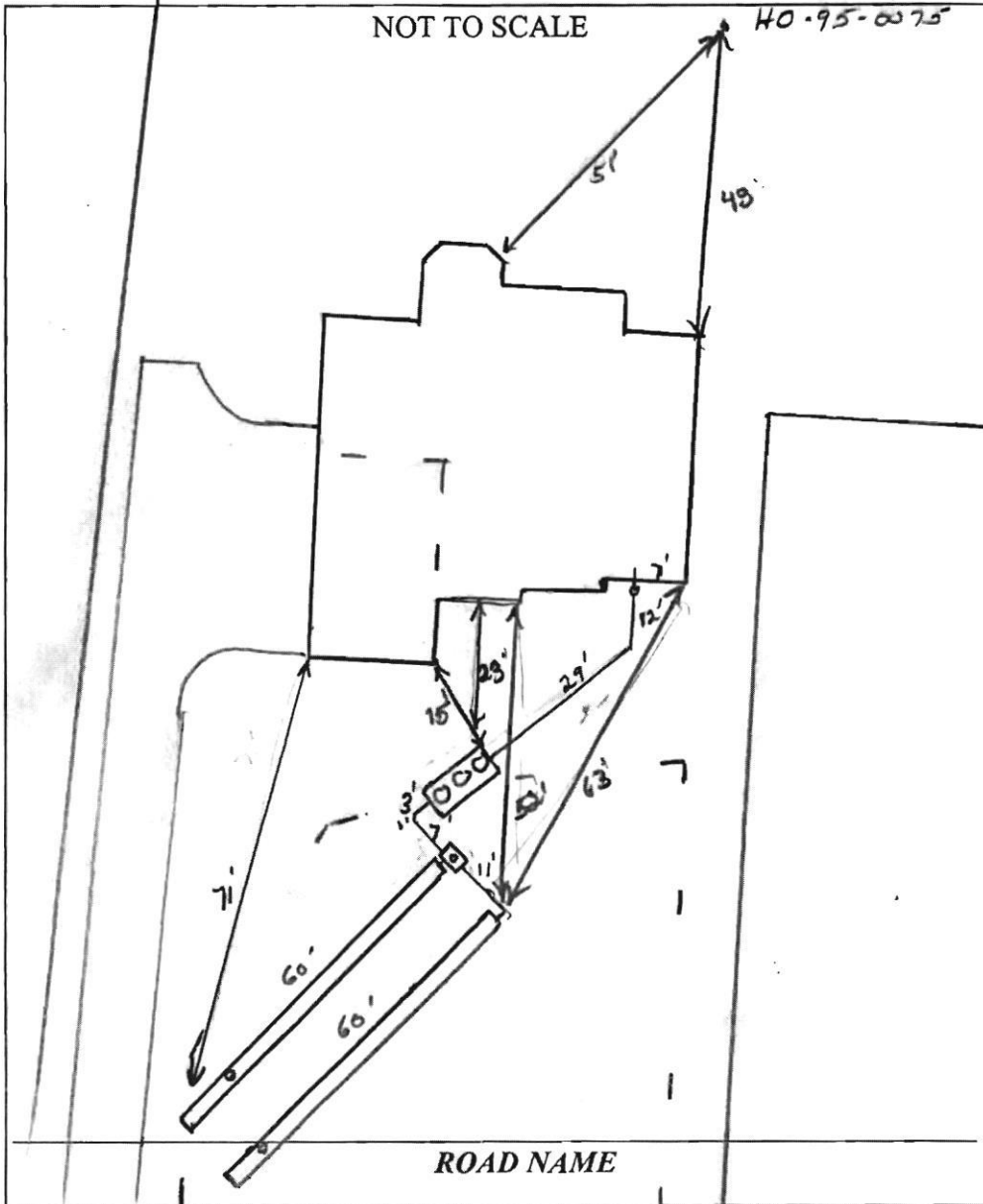
1" = 60'



#13105 BUCKS RIDGE COURT
 B.R.L. = BUILDING RESTRICTION LINE
 TOP OF FOUNDATION ELEVATION = 525.7'



HOUSE LOCATIC DRAWING



TRENCH/DRAINFIELD DATA		
WIDTH	INLET	BOTTOM
3'	3'	5'
NUMBER OF TRENCHES		2
TOTAL LENGTH		120'
ABSORPTION AREA		360' tsw
DISTRIBUTION BOX LEVEL		Leveler's
DISTRIBUTION BOX BAFFLE		Yes
DISTRIBUTION BOX PORT		Yes

SEPTIC TANK DATA	
SEPTIC TANK I LEVEL	Yes
MANUFACTURER	Norweco
CAPACITY	TNT 6060 GAL
SEAM LOC	Top
TANK LID DEPTH	44"
BAFFLES	No (Not Needed)
BAFFLE FILTER	-
MANHOLE LOC	Front/Center/Rear
6" PORT LOC	none
WATERTIGHT TEST	-
SLOTTED	Yes
DATE ON LID	-
PUMP/SEPTIC TANK LEVEL	
MANUFACTURER	N/A
CAPACITY	GAL
SEAM LOC	
TANK LID DEPTH	
BAFFLES	
BAFFLE FILTER	
MANHOLE LOC	
6" PORT LOC	
WATERTIGHT TEST	
SLOTTED	
DATE ON LID	

PRE-CONSTRUCTION:

4/22/14 Missing top corner of SRA. Dumpster sitting in top area of SRA. Need to move. No layout given @ this time. OK to set BAT unit per BAT site plan. Call for re-inspection and layout (KMD)

INSTALLATION:

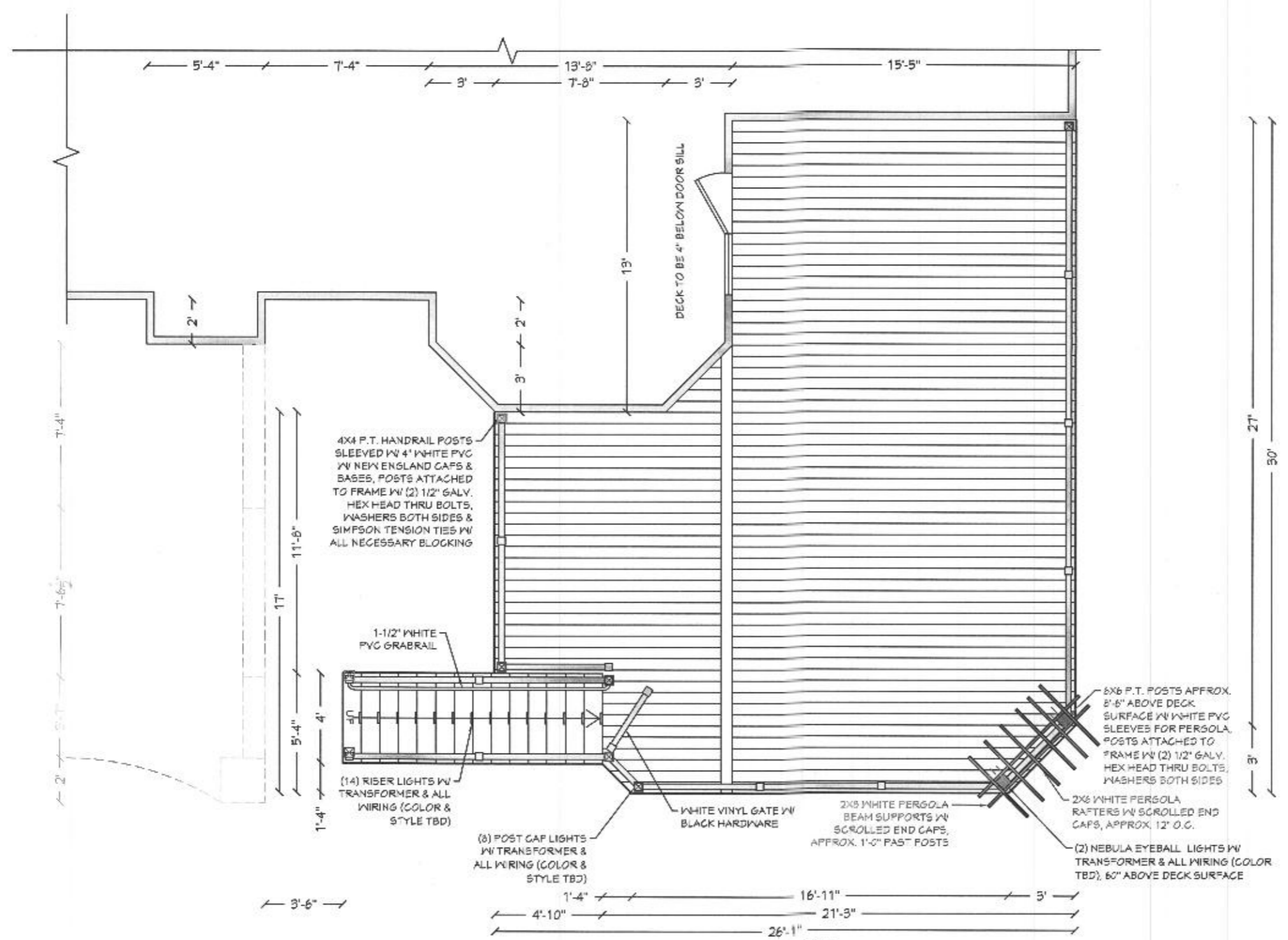
4/28/14 BAT unit set. 12"-18" of fill added to top area of SRA. shot elevation's from original grade. Install 2x60' keeping 3' inlet below to original grade. OK to keep abs pipes back ~10' or so from proposed. driver (KMD) 4/29/14 Trenches complete. OK to cover all work. Need start-up of BAT unit. (KMD) 4/30/14 start-up certification letter received from BAT manufacturer. (KMD)

FINAL INSPECTOR

J.L. Kelly

DATE OF APPROVAL

4/30/14



4x4 P.T. HANDRAIL POSTS SLEEVED W/ 4" WHITE PVC W/ NEW ENGLAND CAPS & BASES, POSTS ATTACHED TO FRAME W/ (2) 1/2" GALV. HEX HEAD THRU BOLTS, WASHERS BOTH SIDES & SIMPSON TENSION TIES W/ ALL NECESSARY BLOCKING

1-1/2" WHITE PVC GRABRAIL

(14) RISER LIGHTS W/ TRANSFORMER & ALL WIRING (COLOR & STYLE TBD)

(8) POST CAP LIGHTS W/ TRANSFORMER & ALL WIRING (COLOR & STYLE TBD)

WHITE VINYL GATE W/ BLACK HARDWARE

2x8 WHITE PERGOLA BEAM SUPPORTS W/ SCROLLED END CAPS, APPROX. 1'-0" POST POSTS

6x6 P.T. POSTS APPROX. 8'-6" ABOVE DECK SURFACE W/ WHITE PVC SLEEVES FOR PERGOLA. POSTS ATTACHED TO FRAME W/ (2) 1/2" GALV. HEX HEAD THRU BOLTS, WASHERS BOTH SIDES

2x6 WHITE PERGOLA RAFTERS W/ SCROLLED END CAPS, APPROX. 12" O.C.

(2) NEBULA EYEBALL LIGHTS W/ TRANSFORMER & ALL WIRING (COLOR TBD), 60" ABOVE DECK SURFACE

DECK LAYOUT
Scale: 3/16" = 1'-0"

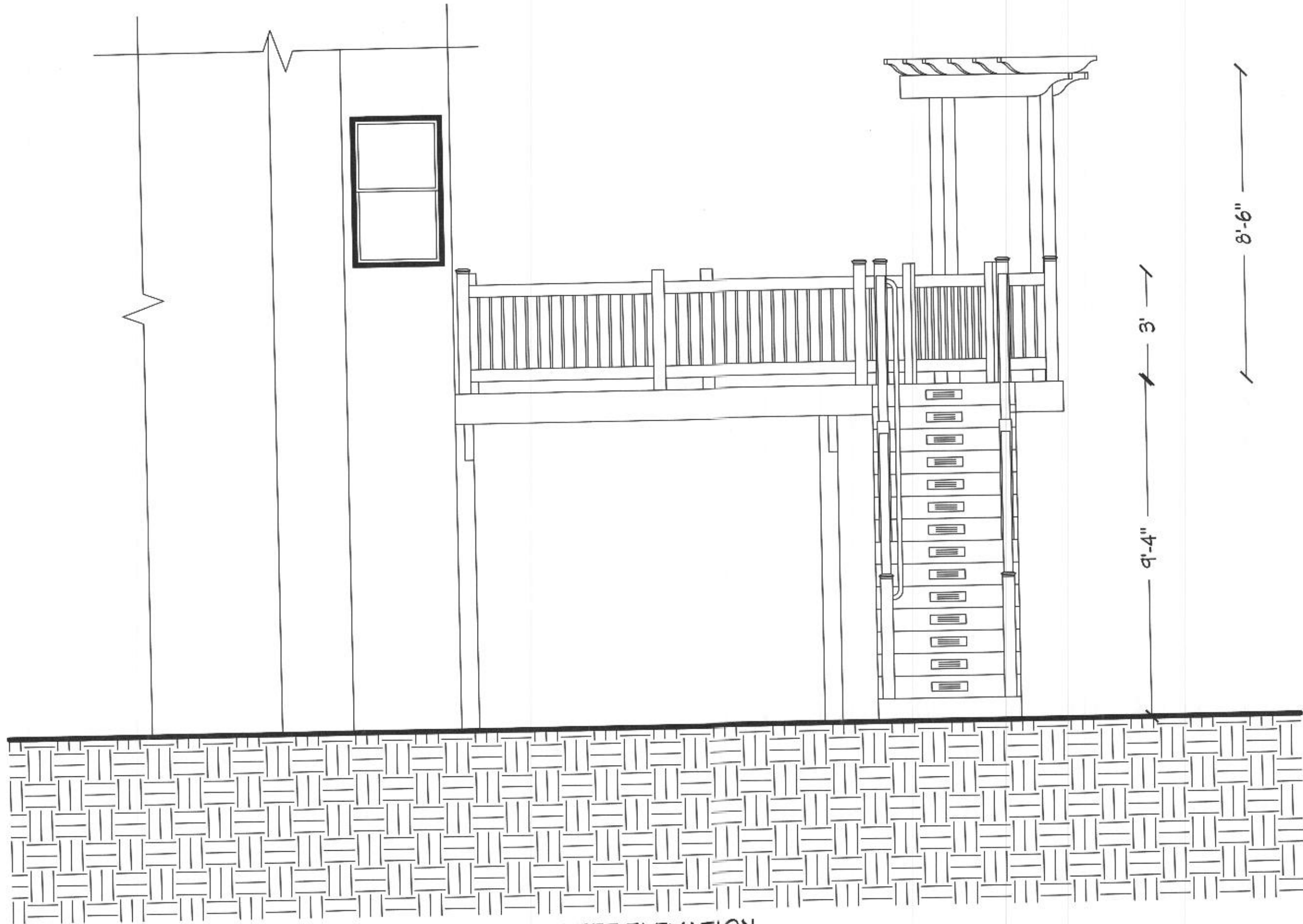
SHEET INDEX

1	FRAMING
2	DECK
3	LT. ELEVATION
4	FT. ELEVATION
5	RT. ELEVATION
6	BRACING DETAILS
7	CAD DETAILS

PROJECT DESCRIPTION:
Hokayem Deck Layout
Youssef Hokayem
13105 Bucks Ridge Court,
Ellicott City, MD 21042

DRAWINGS PROVIDED BY:
Fence & Deck Connection, Inc.
8057 Veterans Highway
Millersville, MD, 21108
410-969-4444
www.fencedeckconnection.com

DATE:
03/14/2023
SCALE:
PER PLAN
SHEET:
A-2



LEFT ELEVATION

Scale : 3/8" = 1'-0"

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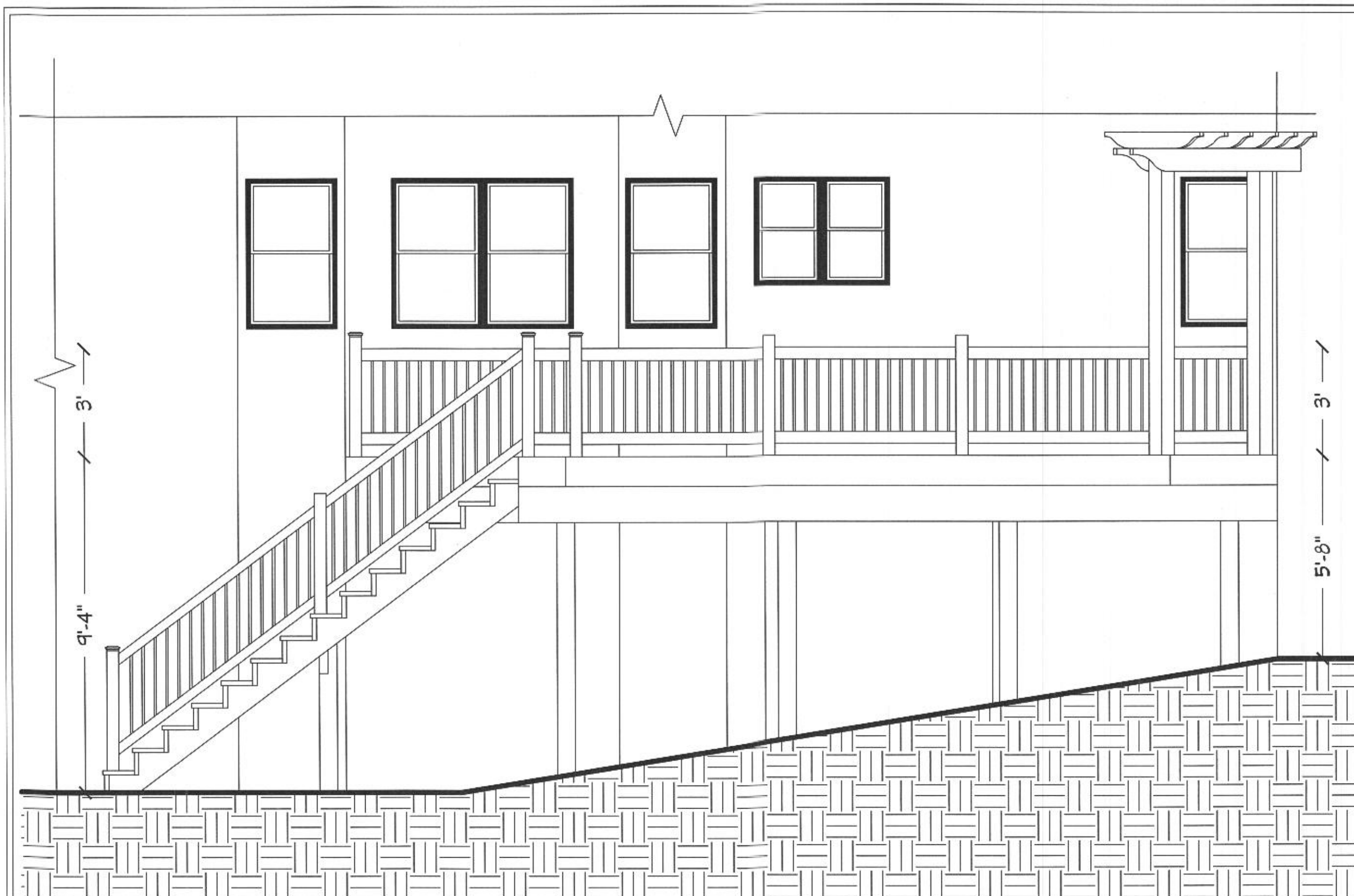
03/14/2023

SCALE:

PER PLAN

SHEET:

A-3



FRONT ELEVATION

Scale : 3/8" = 1'-0"

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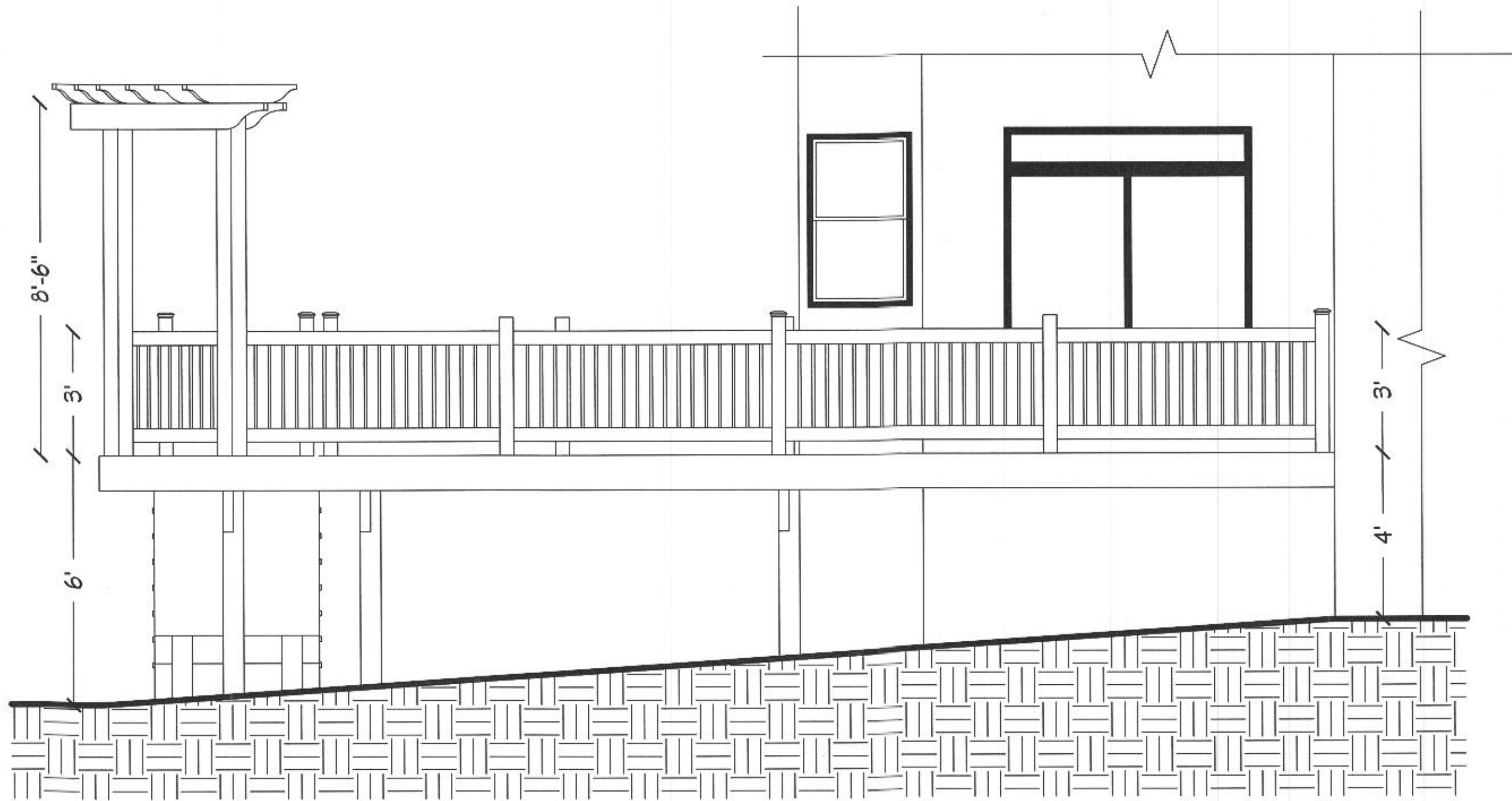
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SCALE:
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SHEET:
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RIGHT ELEVATION

Scale : 3/8" = 1'-0"

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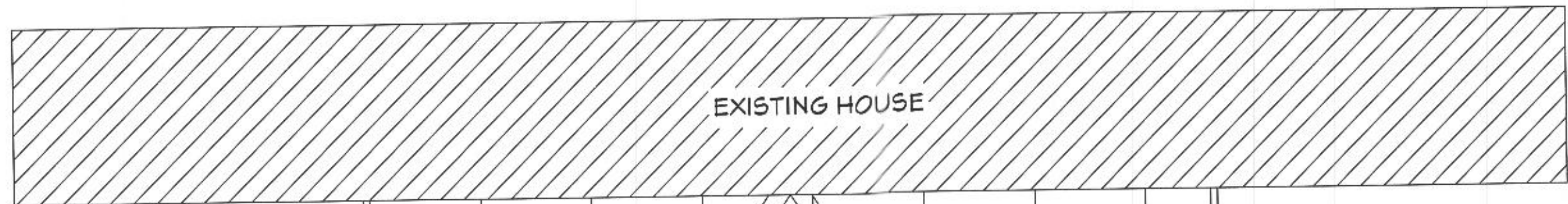
SHEET:

A-5

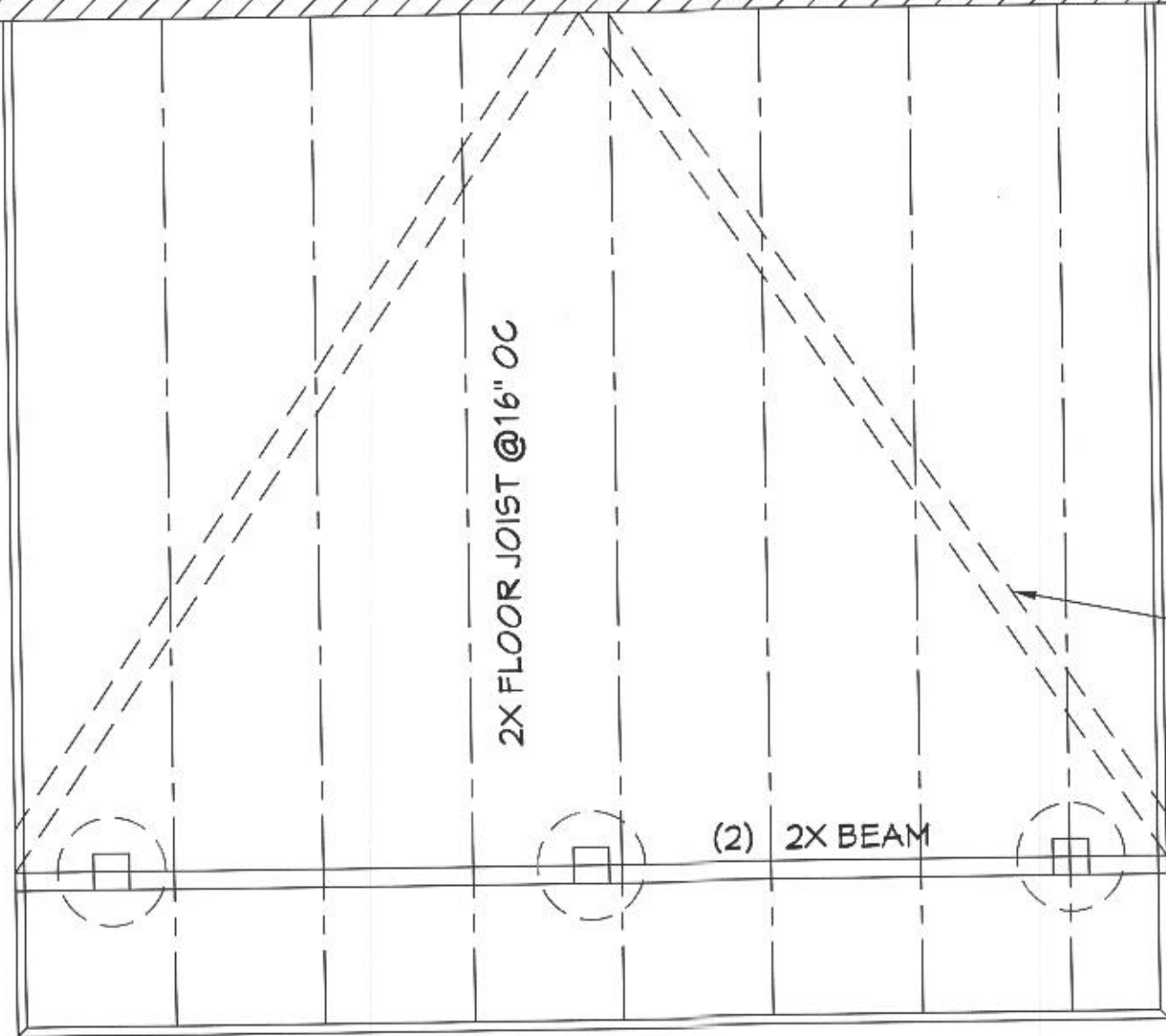
BRACING DETAIL

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EXISTING HOUSE



2X FLOOR JOIST @16" OC

(2) 2X BEAM

2X4 DIAGONAL BRACE
UNDER JOIST NAILED TO
BOTTOM OF FLOOR JOIST

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DATE:	03/14/2023
SCALE:	PER PLAN
SHEET:	A-6

DETAIL SHEET

SCALE: 1/2" = 1'-0"

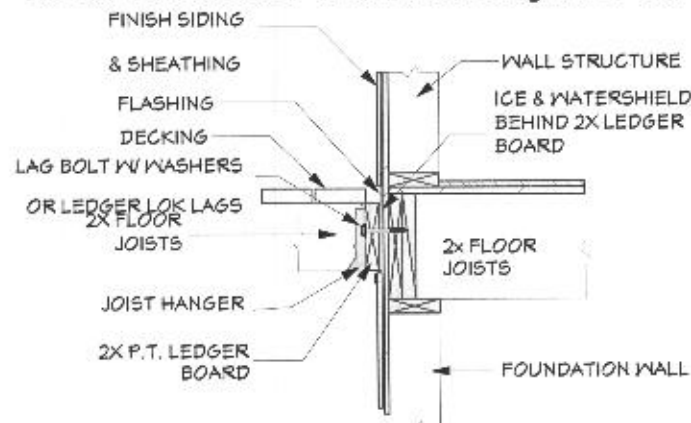
GENERAL NOTES:

- ALL FASTENERS SHALL BE ACQ APPROVED.
- ALL LUMBER TO BE #2 S. PINE OR BETTER.
- ALL WOOD RAILING AND DECKING TO BE #1 S. PINE.
- ALL LUMBER SHALL BE P/T.

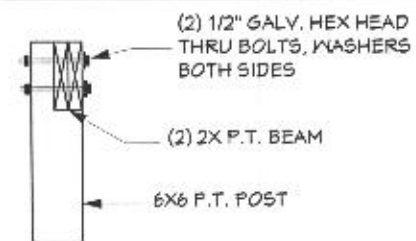
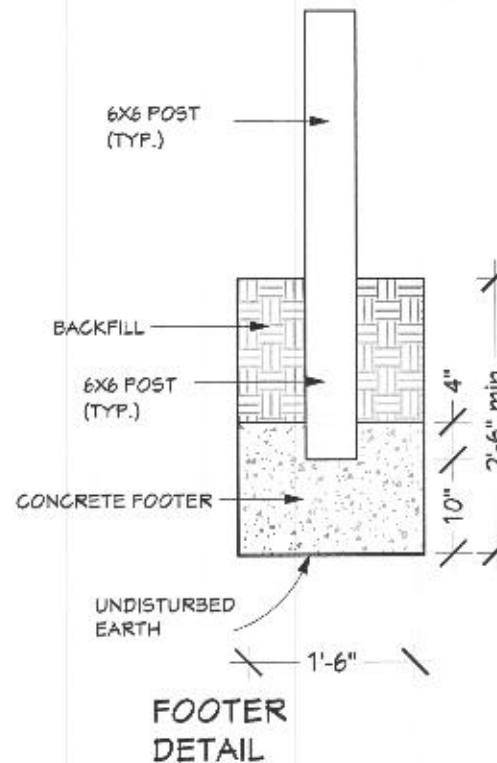
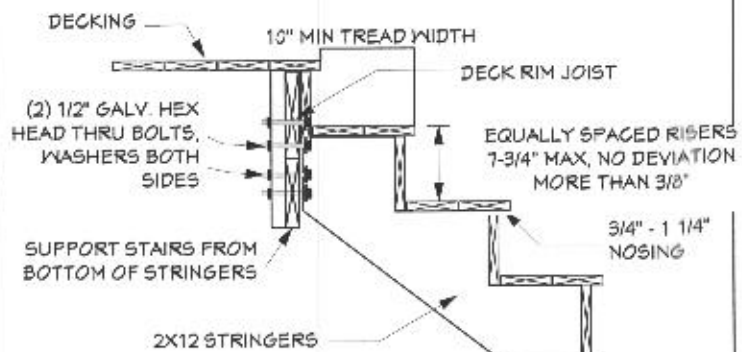
JOB NOTES:

1. 2X10 FLOOR JOISTS, PRESSURE TREATED.
2. 2X12 DOUBLE BEAMS W/ WHITE AZEK WRAP ON FRONT, REAR & SIDES, PRESSURE TREATED.
3. 6X6 SUPPORT POSTS W/ WHITE PVC SLEEVES, PRESSURE TREATED.
4. TREX ENHANCE TOASTED SAND DECKING W/ HIDDEN FASTENERS, ESR-3168.
4. TREX ENHANCE TOASTED SAND SEAM BOARD, ESR-3168.
5. WHITE AZEK WRAP BOARDS (TEXTURED SIDE OUT), ESR-1074.
6. 36" WHITE VINYL WASHINGTON RAILING W/ BLACK ROUND ALUMINUM BALUSTERS, ESR-5074.
7. WHITE VINYL GATE W/ BLACK HARDWARE.

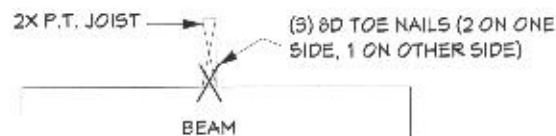
Deck Anchored to Wood Wall: Ledger to Wall



Exterior Stair Detail

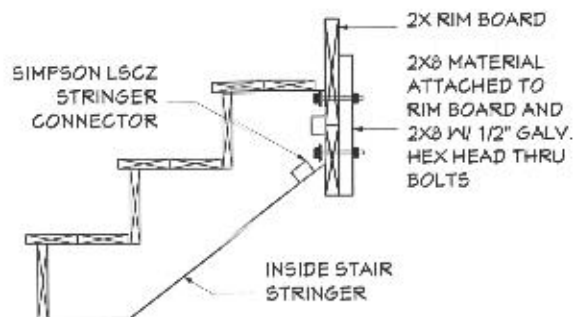
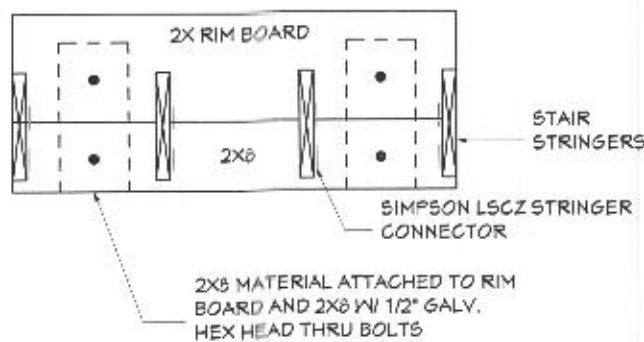


POST TO BEAM DETAIL

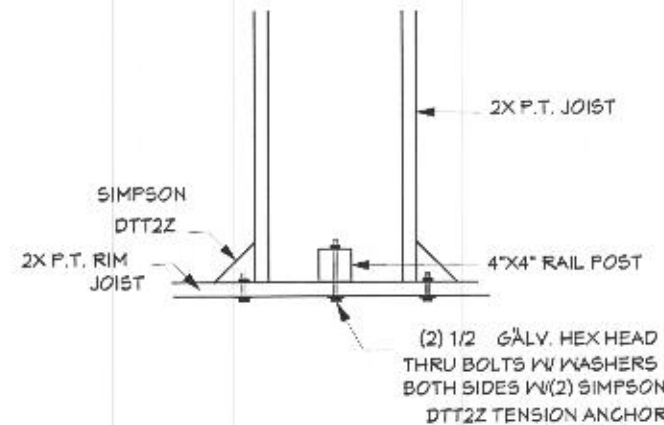


JOIST TO BEAM DETAIL

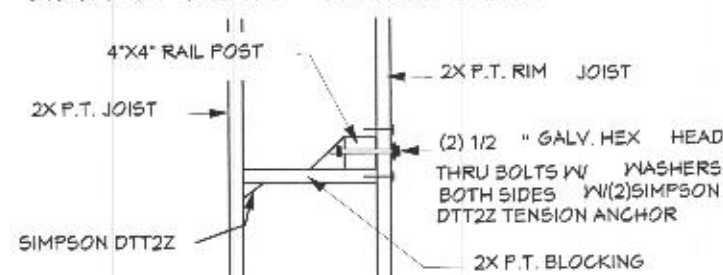
STAIR STRINGER ATTACHMENT



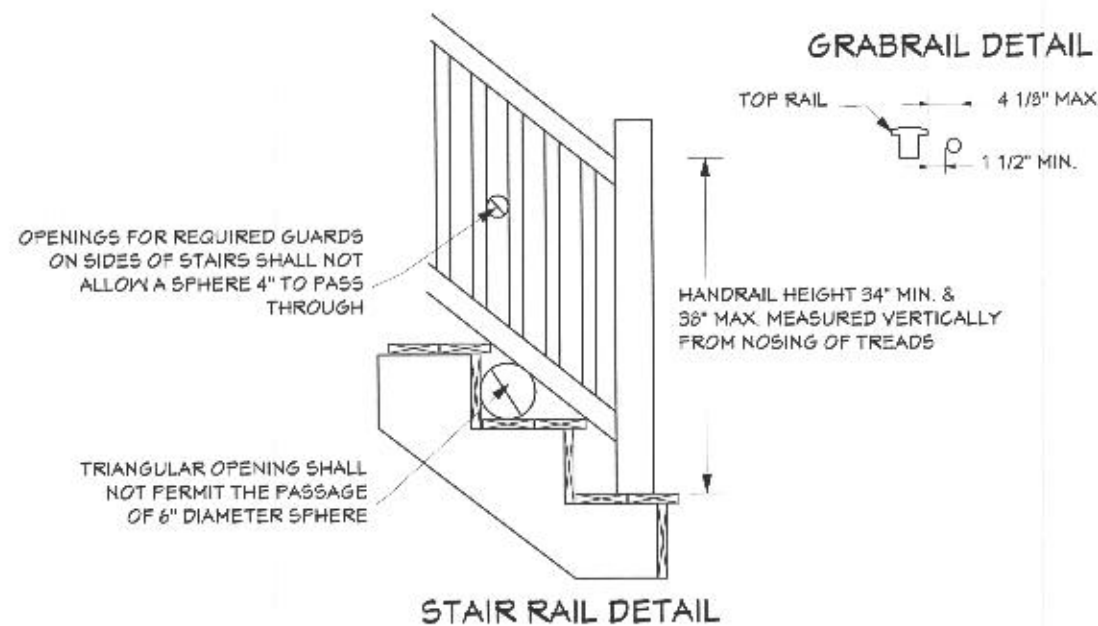
FRONT OF DECK ATTACHMENT



SIDES OF DECK ATTACHMENT



RAILING POST ATTACHMENT



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