

* Mail to Owner *

RE ED
MAR 10 2023

PERMIT NUMBER: B 23000834

DATE ACCEPTED:



RESIDENTIAL BUILDING PERMIT APPLICATION

HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES, AND PERMITS
3430 COURT HOUSE DRIVE, ELLICOTT CITY, MD 21043 - PHONE: (410) 313-2455 OPTION #4
www.howardcountymd.gov

BUILDING SITE ADDRESS REQUIRED

Street Address: 9368 Duff Court		Unit:
City: Ellicott City	State: MD	Zip Code: 21042
Subdivision/Village/Complex Name: Mt. Hebron		SDP/WP/BA #:
Lot: 21	Tax Map: 0017	Parcel: 0602
Grading Permit #:		

DESCRIPTION OF WORK REQUIRED

Existing Use: Backyard Garden/ground level	Proposed Use: Screened in Porch	Estimated Cost: \$46,000.00
Trade Work to Be Completed (Separate Permits Required): <input type="checkbox"/> Mechanical (HVACR) <input checked="" type="checkbox"/> Electrical <input type="checkbox"/> Plumbing <input type="checkbox"/> None		
A 15x16 foot screened in porch on new deck 15 x 16 post + pier deck, no steps		

PROPERTY OWNER INFORMATION REQUIRED

Owner(s) Name(s) (As it appears on tax records): Brandon and Lauren Honza	Primary Residence: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Owner's Street Address: 9368 Duff Court	
City: Ellicott City	State: Maryland
Phone: (240) 832-5554	Email: bhonza12@gmail.com
Zip Code: 21042	

APPLICANT NAME REQUIRED - INDIVIDUAL WHO SIGNS THIS APPLICATION

Business Name:	Contact Name: Brandon Honza
Street Address: 9368 Duff Court	
City: Ellicott City	State: MD
Phone: (240) 832-5554	Email: bhonza12@gmail.com
Zip Code: 21042	

CONTRACTOR INFORMATION REQUIRED

Business Name: Wartman Remodeling, LLC	
Licensee's Name: Steve Wartman	License #: 39886
Street Address: 8417 Ivy Drive	
City: Ellicott City	State: MD
Phone: (410) 952-1109	Email:
Zip Code: 21042	

ARCHITECT/ENGINEER INFORMATION INDIVIDUAL WHO SIGNED PLANS, IF APPLICABLE

Business Name:	Name:
Street Address:	
City:	State:
Phone:	Email:
Zip Code:	

BUILDING CHARACTERISTICS REQUIRED

Primary Structure: <input checked="" type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse <input type="checkbox"/> SF Duplex <input type="checkbox"/> Mobile Home <input type="checkbox"/> Multi-Family Dwelling (MF*)	Condo: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Utilities: <input checked="" type="checkbox"/> Electric <input checked="" type="checkbox"/> Gas	Water Supply: <input checked="" type="checkbox"/> Public <input type="checkbox"/> Private (Well)
Heating System: <input type="checkbox"/> Electric <input checked="" type="checkbox"/> Natural Gas <input type="checkbox"/> Propane <input type="checkbox"/> Other:	Roadside Tree Project: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes: #
Sprinkler System: <input type="checkbox"/> NFPA 13 <input type="checkbox"/> NFPA 13R <input type="checkbox"/> NFPA 13D <input checked="" type="checkbox"/> None	Fire Alarm System: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Voice Evac

ADDITIONAL RESIDENTIAL INFORMATION (PLEASE SELECT/COMPLETE ALL THAT APPLY)

Model Name & Options:				
# of Bedrooms (SF):	# of efficiency units (MF*):	# of 1 BR (MF*):	# of 2 BR (MF*):	# of 3 BR (MF*):
# Rooms:	# Full Baths:	# Half Baths:	# Fireplaces:	
Garage/Carport Info: <input type="checkbox"/> Attached Garage <input type="checkbox"/> Detached Garage <input type="checkbox"/> Integral Garage <input type="checkbox"/> Carport <input type="checkbox"/> None				
Basement/Foundation Info: <input type="checkbox"/> Slab on Grade <input checked="" type="checkbox"/> Post & Pier <input type="checkbox"/> Unfinished Basement <input type="checkbox"/> Finished Basement: <input type="checkbox"/> Full or <input type="checkbox"/> Partial				
1st Fl Width:	1st Fl Depth:	2nd Fl Width:	2nd Fl Depth:	Basmt Width:
Energy Method: <input type="checkbox"/> Prescriptive <input type="checkbox"/> Performance <input type="checkbox"/> UA Alternative <input type="checkbox"/> ERI		Gross Area:	sq ft	Occupiable Area:
sq ft				

AGREEMENT/ DISCALIMER REQUIRED

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

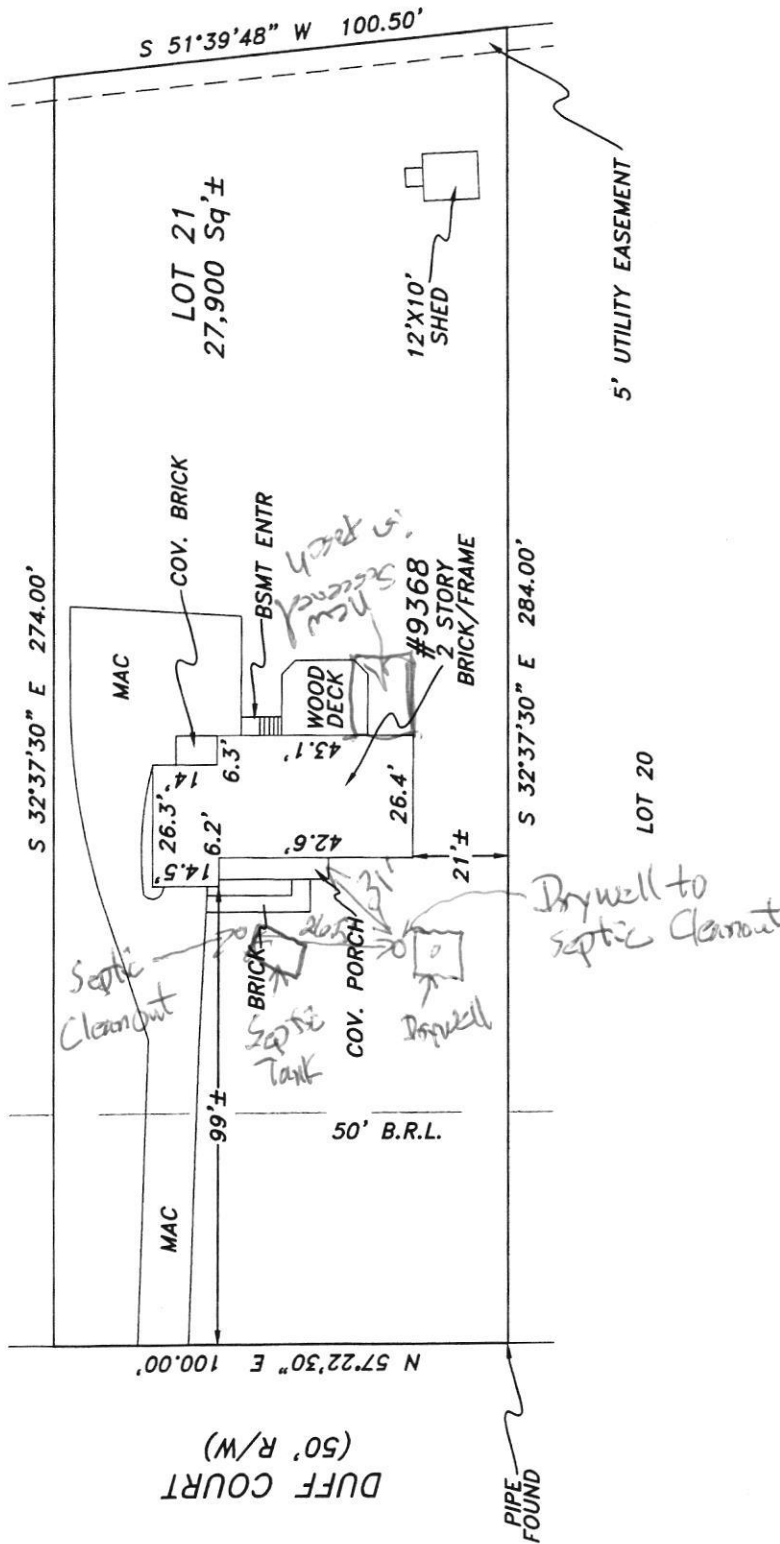
Brandon J. Honza
APPLICANT'S ORIGINAL SIGNATURE

3/10/23
DATE SIGNED

FOR OFFICE USE ONLY CHECKS PAYABLE TO: DIRECTOR OF FINANCE OF HOWARD COUNTY

AGENCIES REQUIRED/APPROVALS:				
<input type="checkbox"/> PR	<input checked="" type="checkbox"/> DPZ	<input checked="" type="checkbox"/> DED	<input checked="" type="checkbox"/> Health <i>3/21/23</i>	<input type="checkbox"/> SHA
<input type="checkbox"/> CID	SUBMITTAL FEES: 2500		PAYMENT: <i>Pay in line</i>	ACCEPTED BY: <i>MP</i>

LOT 22



LOCATION DRAWING
 9368 DUFF COURT
 2nd ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND

Scale:	1" = 40'
Date:	6/13/2017
Field By:	RMS/SB/TOM
Drawn By:	RMS/SLM
File No.:	652-001526
Page No.:	1 of 2

NTT Associates, Inc.
 16205 Old Frederick Rd.
 Mt. Airy, Maryland 21771
 Phone: (410) 442-2031
 Fax: (410) 442-1315
 www.nttsurveyors.com

James Carl Hudgins
 Property Line Surveyor #96
 Expiration Date: 3/11/18

This is page one of a two page document. The advice found on the affixed page is an integral part of this drawing, and is not valid without all pages.

PREPARED FOR:

GREATER MARYLAND TITLE
 An Affiliate of Title Alliance, Ltd.
 An ESOP Company

The purpose of this drawing is to locate, describe, and represent the positions of buildings and substantial improvements affecting the property shown hereon, being known as:
 Lot 21, Block C, as shown on a plat entitled,
 Section 13, "Mt. Hebron"
 recorded among the land records of Howard County, Maryland in
 Plat Book 23, folio 50

GENERAL NOTES:

- 1) The accuracy of the distances shown from any structure to any apparent property line is $\pm 1'$.
- 2) This drawing does not represent a Boundary Survey. Any property markers labeled hereon are not guaranteed by NTT Associates, Inc.
- 3) This plat is of benefit to a consumer only insofar as it is required by a lender, a title insurance company or its agent in connection with contemplated transfer, financing, or refinancing.
- 4) This plat does not provide for the accurate identification of property boundary lines, but such identification may not be required, for the transfer of title or securing financing or refinancing.
- 5) This plat is not to be relied upon for the establishment or location of fences, garages, buildings, or other existing or future improvements.
- 6) Unless noted on the drawing, no title report was provided. This drawing was prepared by examining the current title deed or record plat. Any easements, restrictions, rights of way, or any other property alterations not referred to in the current title deed may not be shown.
- 7) Unless otherwise noted, the bearings and north arrow shown hereon are in the meridian of the current title deed or record plat.
- 8) Building Restriction Line Information, if shown, was obtained from existing records only and is not guaranteed by NTT Associates, Inc.
- 9) Flood Zone Information shown on FIRM maps is subject to interpretation.
- 10) Improvements which in the surveyor's opinion appear to be in a state of disrepair or considered "temporary" may not be shown.
- 11) If it appears encroachments may exist, a Boundary Survey is recommended to determine the exact location of the property boundary lines and improvements.
- 12) The locations of fence lines, if shown, are approximate.



9368 DUFF COURT
ELLICOTT CITY, MARYLAND 21042

PRINTING INSTRUCTIONS:

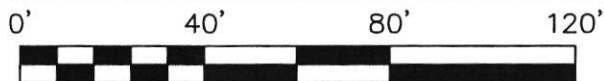
- 1) With the drawing open in Adobe Reader, select "Print..." in the "File" menu
- 2) Select the desired printer
- 3) Choose the "All" option under "Pages to Print"
- 4) Choose the "Actual size" option under "Page Sizing & Handling"
- 5) To print in COLOR click "Print", for BLACK & WHITE continue to step 6
- 6) Click the "Properties" button
- 7) Choose the "Imaging" tab
- 8) Check the "Print text as black" & "Print graphics as black" boxes (this will remain the default until unchecked)
- 9) Click "OK"
- 10) Click "Print"

APPARENT ENCROACHMENT NOTES:

- 1) There are no apparent encroachments.

JOB SPECIFIC NOTES:

This is to certify that I either personally prepared or was in responsible charge over the preparation of this drawing and the surveying work reflected in it, all set forth in Regulation .12 of Chapter 09.13.06 of the Code of Maryland Annotated Regulations.



SURVEYOR LEGEND:

Property Lines: _____	Fence Line (Metal, Wire): _____x_____
Buildings: _____	Fence Line (Wood, Plastic): _____//_____
Improvements: _____	Right of Way: _____
Building Restriction Line: _____	100 Year Flood Plain: _____
Easement Lines: - - - - -	Forest Conservation: - - - - -
Easement Lines: - - - - -	Septic Reserve Areas: - - - - -
Old Lot Lines:	Overhangs: - - - - -

NTT Associates, Inc.

16205 Old Frederick Rd.
Mt. Airy, Maryland 21771
Phone: (410) 442-2031
Fax: (410) 442-1315
www.nttsurveyors.com

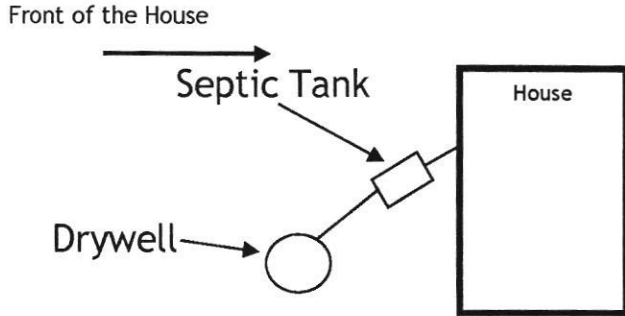
Subject property is shown in Zone X on the FIRM Map of Howard County, Maryland on Community Panel Number 2402 7C 0090D, effective 11/06/2013

Drawing # 652-001526

Page No.: 2 of 2




Sketch of System

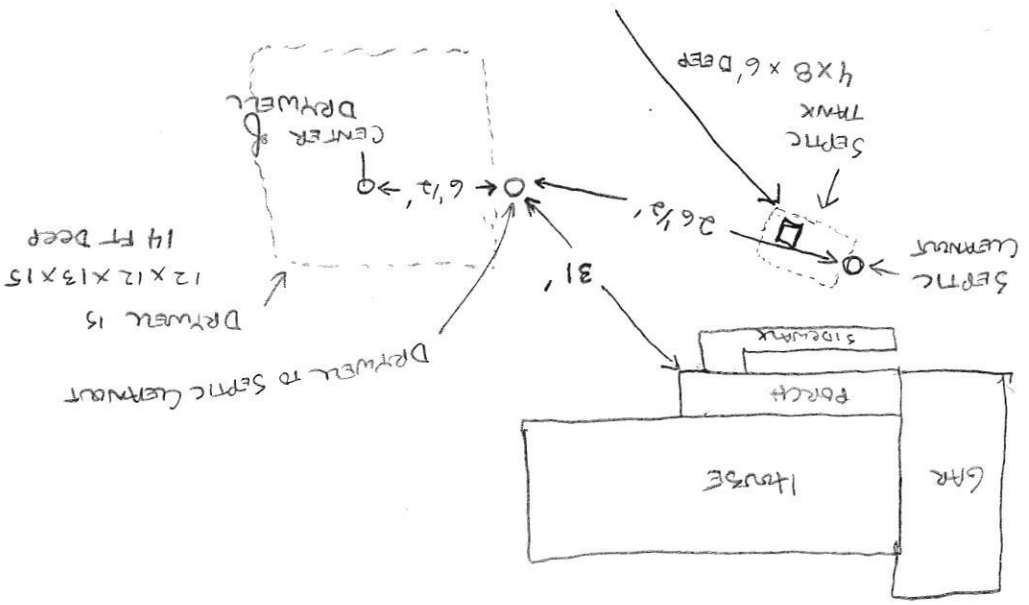


DISCLAIMERS

- This is a subjective and visual inspection only, the conclusions of which are based on the observed condition of the system components that could reasonably be accessed, and information known about the system at the time this report was completed. There may be unknown historical problems or unseen conditions which may compromise the conclusions stated in this report.
- A 'Satisfactory' evaluation does not mean the system will meet the local approving authority's criteria for determining compliance with state code: COMAR 26.04.02.02 D(4).
- The evaluation of the Sewage Disposal System as reported is based on the conditions observed on the day of the inspection.
- This report is neither a WARRANTY nor does it GUARANTEE continued acceptable functionality or performance of the Sewage Disposal Systems operations.
- If the house has been unoccupied the findings in this report may not be accurate, as limited or no use of the system may conceal or mask problems that may be revealed under typical sewage loading.
- If the general ground condition is excessively wet at the time of inspection, the findings in this report may not be accurate, as ground moisture may cover or hide septic effluent that may be on or near the ground surface.
- If the house is vacant or the conditions excessively wet during inspection, it is recommended that the system be reevaluated at a later date and/or alternate techniques be used to address those potential issues.
- Payment and/or use of this evaluation signify understanding and acceptances of the above clauses, as well as any noted faults with the system.

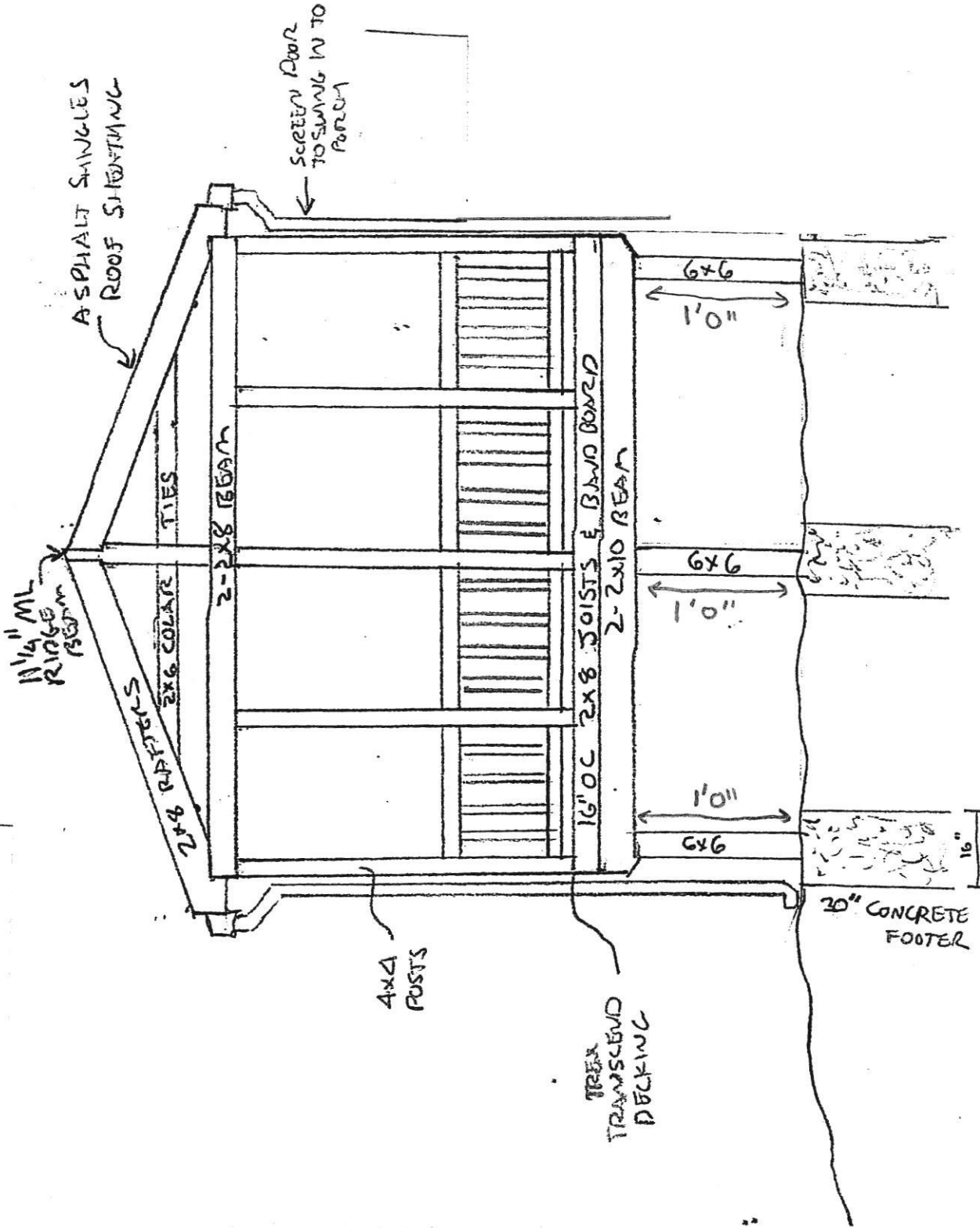
Representative's Signature:		Date: 5/22/2017
Amount: \$295	Check Number: Credit Card	Date Paid: 5/22/2017

LOCATION OF DRYWELL & SEPTIC CLEANOUTS 9368 DIST CT



BRANDON & LAUREN HUNZA
9368 DUFF CT
ELLCOTT CITY, MD 21042

WARTMAN REMODELING, LLC
40-952-1109
MHIC# 39886



KARTMAN REMODELING, LLC
410-952-1109
MHIC#39886

BRANDON & LAUREN HANZA
9368 DUFF CT
ELLCOTT CITY, MD 21042

