

Approved 2/1/23
MRE

Menu Save Reset Cancel Help

Record Detail * (This section is required.)

Permit Type	Permit Number	Opened Date
Building/Residential/Misc/Porch	B23000221	01/23/2023
Description of Work		
SFD/ CONSTRUCT SCREENED PORCH ON EXISTING 20X16 DECK		

[check spelling](#)

Address * (This section is required.)

Search Reset Clear Get Parcel & Owner

Street #	Street Name	Street Type	
16307	CATTAIL RIVER	DR	
Unit Type	Unit #	X Coordinate	Y Coordinate
-Select-		-77.08037	39.3225
City	State	Zip Code	Primary
WOODBINE	MD	21797	Yes

Parcel * (This section is required.)

Search Reset Clear Get Address & Owner

GIS ID *	Parcel	Parcel Area	Land Value	Improved Value	Exemption Value	Plan Area
923141	133	1.15	182500	789300	606800	RURAL

Legal Description
IMPSLOT 12 1.15 A[]16307 CATTAIL RIVER DR[]THE CHASE AT STONEY BROO

[check spelling](#)

Block	Lot	Census Tract	Council Dist	Inspection Dist	Supervisor Dist	Map #	DAP Zone
	12	604001	5				
Plan Area	State Tax Id	Subdivision Name					
	1404371364	THE CHASE AT STONEY BR					
Section	Area	Tax Map					
		7					
Grid	Zoning District	ADC Map					
7-23	RC-DEO	4691-H9					
SDP No.	Final Plan No.	WP File No.					
	F-05-170						
Record Plat No.	WS Contract No.	FDP No.	Primary				
18648			Yes				
Owner Occupied	Year Built	Historic District					
<input type="radio"/> Yes <input type="radio"/> No	2010	<input type="radio"/> Yes <input checked="" type="radio"/> No					
Historic District Registry No.	Stat Area	Flood Plain					
	4-05	<input type="radio"/> Yes <input checked="" type="radio"/> No					
Building No							

Owner * (This section is required.)

Search Reset Clear

Name *		
NEBEL JOSEPH		
Address Line 1		
16307 CATTAIL RIVER DR		
Address Line 2		
Address Line 3		
Mail City	Mail State	Mail Zip Code
WOODBINE	MD	21797
Phone	Primary	
301-674-3604	Yes	

E-mail

Cell Number	Fax Number
-------------	------------

Professionals (This section is not required.)

License # *	Business Name		
08010095285	TIMELESS CONSTRUCTION		
License Type *	First Name	Middle Name	Last Name
MHIC Ind	DAVID		BENFER
Primary	Address Line 1		
Yes	5364 HESPERUS DRIVE		
	Address Line 2		
	City	State	ZIP Code
	COLUMBIA	MD	21044-0000
	Phone 1	Phone 2	Fax
	3016743604		4432838022
	E-mail		
	DCBENFER@GMAIL.COM		

Applicant (This section is not required.)

Search As Owner As Lic. Prof As Contact

Type *	First Name	MI	Last Name
Applicant	DAVID	CHRIS	BENFER
Relationship	Full Name		
--Select--	DAVID CHRISTOPHER BENFER		
Primary	Organization Name		
Yes	TIMELESS CONSTRUCTION		
	Street Address		
	5364 HESPERUS DRIVE		
	Address Line 2		
	City	State	Zip Code
	COLUMBIA	MD	21044(-1846)
	Phone	Cell	Fax
	301-674-3604		
	E-mail *		
	DCBENFER@GMAIL.COM		

Addtl Info

Est Construction Cost *	Housing Units *	Number of Buildings *	Public Owned
15000	0	0	No
Construction Type			
--Select--			

PORCH INFORMATION

PORCH INFORMATION

Capital Project-No Fee *	Capital Project Number	Fee Exempt *	Roadside Tree Project Permit *	Roadside Tree Project Permit #
<input type="radio"/> Yes <input checked="" type="radio"/> No		<input type="radio"/> Yes <input checked="" type="radio"/> No	<input type="radio"/> Yes <input checked="" type="radio"/> No	
Existing Use *	Type of Porch *	Type of Porch Foundation *	Total Square Footage *	
SFD	Screened Porch	Existing Deck	320 SQFT	
Water Supply	Sewage Disposal	Expiration Date		
Private	Private	7/29/2023		

PAYMENT INFORMATION

Check 1	Payee 1	Check 2	Payee 2	SAP Doc No	SAP Entered

Submit Cancel

Real Property Data Search ()
 Search Result for HOWARD COUNTY

[View Map](#)

[View GroundRent Redemption](#)

[View GroundRent Registration](#)

Special Tax Recapture: None

Account Identifier: District - 04 Account Number - 371364

Owner Information

Owner Name: NEBEL JOSEPH Use: RESIDENTIAL
 NEBEL LENA M Principal Residence: YES
 Mailing Address: 16307 CATTAIL RIVER DR Deed Reference: /15703/ 00111
 WOODBINE MD 21797-8507

Location & Structure Information

Premises Address: 16307 CATTAIL RIVER DR Legal Description: LOT 12 1.15 A
 WOODBINE 21797-0000 16307 CATTAIL RIVER DR
 THE CHASE AT STONEY BROO

Map: Grid: Parcel: Neighborhood: Subdivision: Section: Block: Lot: Assessment Year: Plat No: 18648
 0007 0017 0133 4010103.14 1003 9999 12 2023 Plat Ref:

Town: None

Primary Structure Built Above Grade Living Area Finished Basement Area Property Land Area County Use
 2010 4,342 SF 1570 SF 1.1500 AC 000000

StoriesBasementType ExteriorQualityFull/Half BathGarage Last Notice of Major Improvements
 2 YES STANDARD UNITFRAME/5 4 full/1 half 1 Attached

Value Information

	Base Value	Value	Phase-in Assessments	
		As of	As of	As of
		01/01/2023	07/01/2022	07/01/2023
Land:	182,500	297,700		
Improvements	606,800	770,100		
Total:	789,300	1,067,800	789,300	882,133
Preferential Land:	0	0		

Transfer Information

Seller: REITH DAVID F	Date: 07/28/2014	Price: \$750,000
Type: ARMS LENGTH IMPROVED	Deed1: /15703/ 00111	Deed2:
Seller: TRINITY QUALITY HOMES INC	Date: 12/02/2010	Price: \$851,346
Type: ARMS LENGTH IMPROVED	Deed1: /12893/ 00141	Deed2:
Seller:	Date:	Price:
Type:	Deed1:	Deed2:

Exemption Information

Partial Exempt Assessments: Class	07/01/2022	07/01/2023
County:	000	0.00
State:	000	0.00
Municipal:	000	0.00 0.00 0.00 0.00

Special Tax Recapture: None

Homestead Application Information

Homestead Application Status: Approved 02/25/2015

Homeowners' Tax Credit Application Information

Homeowners' Tax Credit Application Status: No Application Date:

LAYOUT 8/17/2010 INSP 4 _____
 INSP 2 8/26/2010 INSP 5 _____
 INSP 3 9/2/2010 INSP 6 _____

ISSUE DATE: 6/30/2010
 APPROVAL DATE: 10/26/2010

PERMIT

P 533314
 A 59207

Tax ID # 04371364
ON-SITE SEWAGE DISPOSAL SYSTEM
HOWARD COUNTY HEALTH DEPARTMENT
BUREAU OF ENVIRONMENTAL HEALTH

TRINITY QUALITY HOMES INC IS PERMITTED TO INSTALL ALTER

ADDRESS: _____ PHONE NUMBER: _____
 SUBDIVISION: The Chase at Stoney Brook LOT NUMBER: 12
 ADDRESS: 16307 Cattail River Drive PROPERTY OWNER: Trinity Quality Homes

SEPTIC TANK CAPACITY (GALLONS): 2000 OUTLET BAFFLE FILTER REQUIRED
 PUMP CHAMBER CAPACITY (GALLONS): 1,500 COMPARTMENTED TANK REQUIRED
 NUMBER OF BEDROOMS: 4 APPLICATION RATE: 0.8
 SQUARE FOOTAGE OF HOUSE: 6060
 LINEAR FEET OF TRENCH REQUIRED: 155

*Trench 3' Wide
 Inlet 4.5'
 Bottom 6.5'
 75' + 80'*

TRENCHES:	Trenches to be 3.0 feet wide. Inlet 3.0 feet below original grade. Bottom maximum depth 5.0 feet below grade. Effective area begins at 3.0 feet below original grade with 2.0 feet of stone below distribution pipe.
LOCATION:	Place D box at top corner of easement. Run 3x52' trenches on contour.
NOTES:	Layout inspection required prior to installation. Install system per plan unless otherwise directed by HCHD. Do not order the septic tank until after layout inspection and Sanitarian approval. Stake septic easement corners. Call for layout inspection. Mark utilities. Gravel tickets must be available for Environmental Sanitarians. Stone must be approved by the Howard County Health Department. A written variance request is required for tanks deeper than 3 feet. A traffic bearing lid is required for tanks deeper than 4 feet.

I
 Heidi Scott _____ DATE: 4/23/10

- NOTE: PERMIT VOID AFTER 2 YEARS
- NOTE: CONTRACTOR RESPONSIBLE FOR SCHEDULING A PRE-CONSTRUCTION INSPECTION FOR ALL INSTALLATIONS
- NOTE: WATERTIGHT SEPTIC TANKS REQUIRED
- NOTE: ALL PARTS OF SEPTIC SYSTEM SHALL BE 100 FEET FROM ANY WATER WELL
- NOTE: MANHOLE RISERS REQUIRED ON ALL SEPTIC TANKS AND PUMP CHAMBERS

NEITHER THE HOWARD COUNTY COUNCIL OR THE HEALTH DEPARTMENT IS RESPONSIBLE FOR THE SUCCESSFUL OPERATION OF ANY SYSTEM PERMITTEE RESPONSIBLE FOR OBTAINING FINAL APPROVAL ON THIS PERMIT CALL 410-313-1771 FOR INSPECTION OF SEPTIC SYSTEM

NOT TO SCALE

See As-Built Drawing
On Separate Sheet

TRENCH/DRAINFIELD DATA

WIDTH	INLET	BOTTOM
3'	3'	5'
NUMBER OF TRENCHES <u>2</u>		
TOTAL LENGTH <u>158'</u>		
ABSORPTION AREA <u>474 + Sidewalk</u>		
DISTRIBUTION BOX LEVEL <u>Yes</u>		
DISTRIBUTION BOX BAFFLE <u>Flows</u>		
DISTRIBUTION BOX PORT <u>Yes</u>		

SEPTIC TANK DATA

SEPTIC TANK I LEVEL	<u>Yes</u>
MANUFACTURER	<u>Babylon</u>
CAPACITY	<u>2000</u> GAL
SEAM LOC	<u>Top</u>
TANK LID DEPTH	<u>2-2.5'</u>
BAFFLES	<u>Yes</u>
BAFFLE FILTER	<u>No</u>
MANHOLE LOC	<u>Front</u>
6" PORT LOC	<u>Rear</u>
WATERTIGHT TEST	<u>No</u>
SLOTTED	<u>Yes</u>
PUMP/SEPTIC TANK LEVEL	<u>Yes</u>
MANUFACTURER	<u>Babylon</u>
CAPACITY	<u>1500</u> GAL
SEAM LOC	<u>Top</u>
TANK LID DEPTH	<u>1.5-2'</u>
BAFFLES	<u>Front</u>
BAFFLE FILTER	<u>No</u>
MANHOLE LOC	<u>Rear</u>
6" PORT LOC	<u>Front</u>
WATERTIGHT TEST	<u>No</u>
SLOTTED	<u>No</u>

PRE-CONSTRUCTION

8/17/2010 Install a 75' and 80' trench on contour across the top of the easement. Set tanks

as far from house as possible. (BB) 8/26/2010 Tanks set. House connection made. (BB) 9/2/2010 Trenches finished. Need pump and alarm test (BB)

INSTALLATION:

FINAL INSPECTOR

B. Baker

DATE OF APPROVAL

10/26/2010



Building Permit Application

Howard County Maryland
Department of Inspections, Licenses and Permits
3430 Court House Drive
Permits: 410-313-2455
www.howardcountymd.gov

Date Received: _____

Permit No.: _____

Building Address: 16307 CATTAIL RIVER DR
 City: WOODBINE State: MD Zip Code: _____
 Suite/Apt. # _____ SDP/WP/BA #: _____
 Subdivision: _____
 Lot: _____ Tax Map: _____ Parcel: _____

Existing Use: SFD
 Proposed Use: SCREEN PORCH
 Estimated Construction Cost: \$ 20,000
 Description of Work: CONSTRUCT 20X16
SCREEN porch on existing deck

Occupant/Tenant Name: _____
 Was tenant space previously occupied? Yes No
 Contact Name: _____
 Address: _____
 City: _____ State: _____ Zip Code: _____
 Phone: _____ Fax: _____
 Email: _____

Property Owner's Name: JOE & LENA NEBEL
 Address: 16307 CATTAIL RIVER DR
 City: WOODBINE State: MD Zip Code: _____
 Phone: _____ Fax: _____
 Email: _____

Applicant's Name & Mailing Address, (If other than stated herein)
 Applicant's Name: _____
 Address: _____
 City: _____ State: _____ Zip Code: _____
 Phone: _____ Fax: _____
 Email: _____

Contractor Company: TIMELESS CONST.
 Contact Person: DAVID BENFER
 Address: 5364 HARPOUS DR
 City: COLUMBIA State: MD Zip Code: 21044
 License No.: MHC 95285
 Phone: 301-674-3604 Fax: _____
 Email: _____

Engineer/Architect Company: _____
 Responsible Design Prof.: _____
 Address: _____
 City: _____ State: _____ Zip Code: _____
 Phone: _____ Fax: _____
 Email: _____

Commercial Building Characteristics	Residential Building Characteristics	
Height:	<input checked="" type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse	
No. of stories:	Depth	Width
Gross area, sq. ft./floor:	1 st floor:	
	2 nd floor:	
Area of construction (sq. ft.):	Basement:	
	<input type="checkbox"/> Finished Basement	
Use group:	<input type="checkbox"/> Unfinished Basement	
	<input type="checkbox"/> Crawl Space	
Construction type:	<input type="checkbox"/> Slab on Grade	
<input type="checkbox"/> Reinforced Concrete	No. of Bedrooms:	
<input type="checkbox"/> Structural Steel	Multi-family Dwelling	
<input type="checkbox"/> Masonry	No. of efficiency units:	
<input type="checkbox"/> Wood Frame	No. of 1 BR units:	
<input type="checkbox"/> State Certified Modular	No. of 2 BR units:	
	No. of 3 BR units:	
	Other Structure:	
	Dimensions:	
> Roadside Tree Project Permit	Footings:	
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Roof:	
Roadside Tree Project Permit #	<input type="checkbox"/> State Certified Modular	
	<input type="checkbox"/> Manufactured Home	

Utilities	
Electric:	<input type="checkbox"/> Yes <input type="checkbox"/> No
Gas:	<input type="checkbox"/> Yes <input type="checkbox"/> No
Water Supply	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Sewage Disposal	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Heating System	
<input type="checkbox"/> Electric <input type="checkbox"/> Oil	
<input type="checkbox"/> Natural Gas <input type="checkbox"/> Propane Gas	
<input type="checkbox"/> Other:	
Sprinkler System:	
<input type="checkbox"/> Yes <input type="checkbox"/> No	
Grading Permit Number:	
Building Shell Permit Number:	

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature: David Benfer
 Email Address: dcbenfer@gmail.com
 Title/Company: owner / timeless

Print Name: DAVID BENFER
 Date: 9/26/19

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY
 PLEASE WRITE NEATLY & LEGIBLY
 -FOR OFFICE USE ONLY-

AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
Building Officials		
PSZA (Zoning)		
PSZA (Engineering)		
Health		<u>9/26/19 [Signature]</u>

Is Sediment Control approval required for issuance? Yes No
 CONTINGENCY CONSTRUCTION START

DPZ SETBACK INFORMATION	
Front:	
Rear:	
Side:	
Side St.:	
All minimum setbacks met?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Is Entrance Permit Required?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Historic District?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Lot Coverage for New Town Zone:	
SDP/Red-line approval date:	

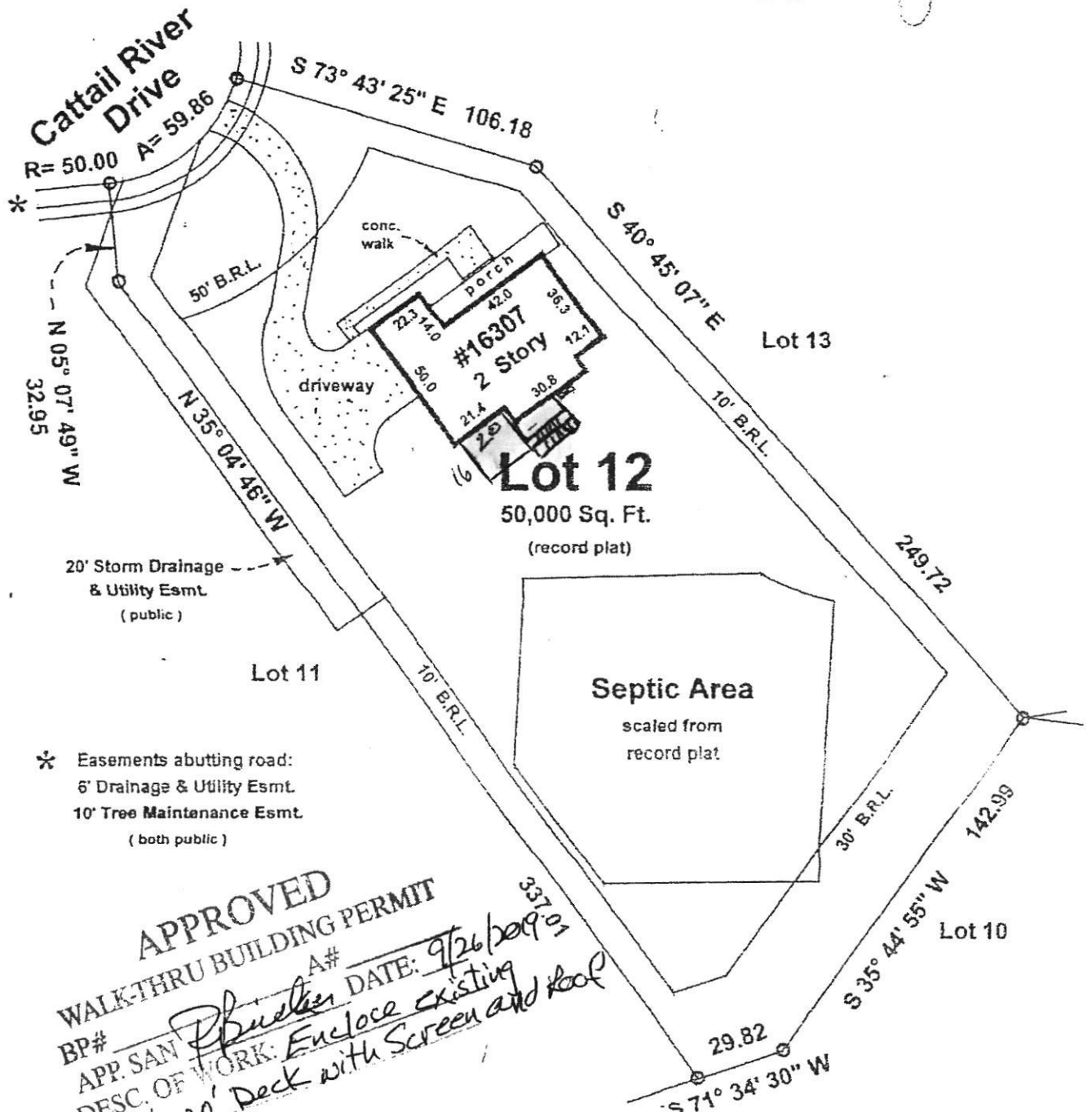
Filing Fee	\$
Permit Fee	\$
Tech Fee	\$
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$
Add'l per Fee	\$
Total Fees	\$
Sub- Total Paid	\$
Balance Due	\$
Check	#

Landtech Associates Inc.

10260 Old Columbia Road Rivers Center-Suite J
Columbia, MD 21046

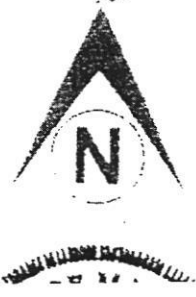
Phone: 410-290-8099 Fax: 410-290-8299

NOTE: NOT TO BE USED FOR ISSUANCE OF PERMITS



* Easements abutting road:
6' Drainage & Utility Esmt.
10' Tree Maintenance Esmt.
(both public)

APPROVED
WALK-THRU BUILDING PERMIT
BP# _____ A# _____
APP. SAN _____ DATE: 9/26/2009
DESC. OF WORK: Enclose existing
16' x 20' Deck with Screen and Roof



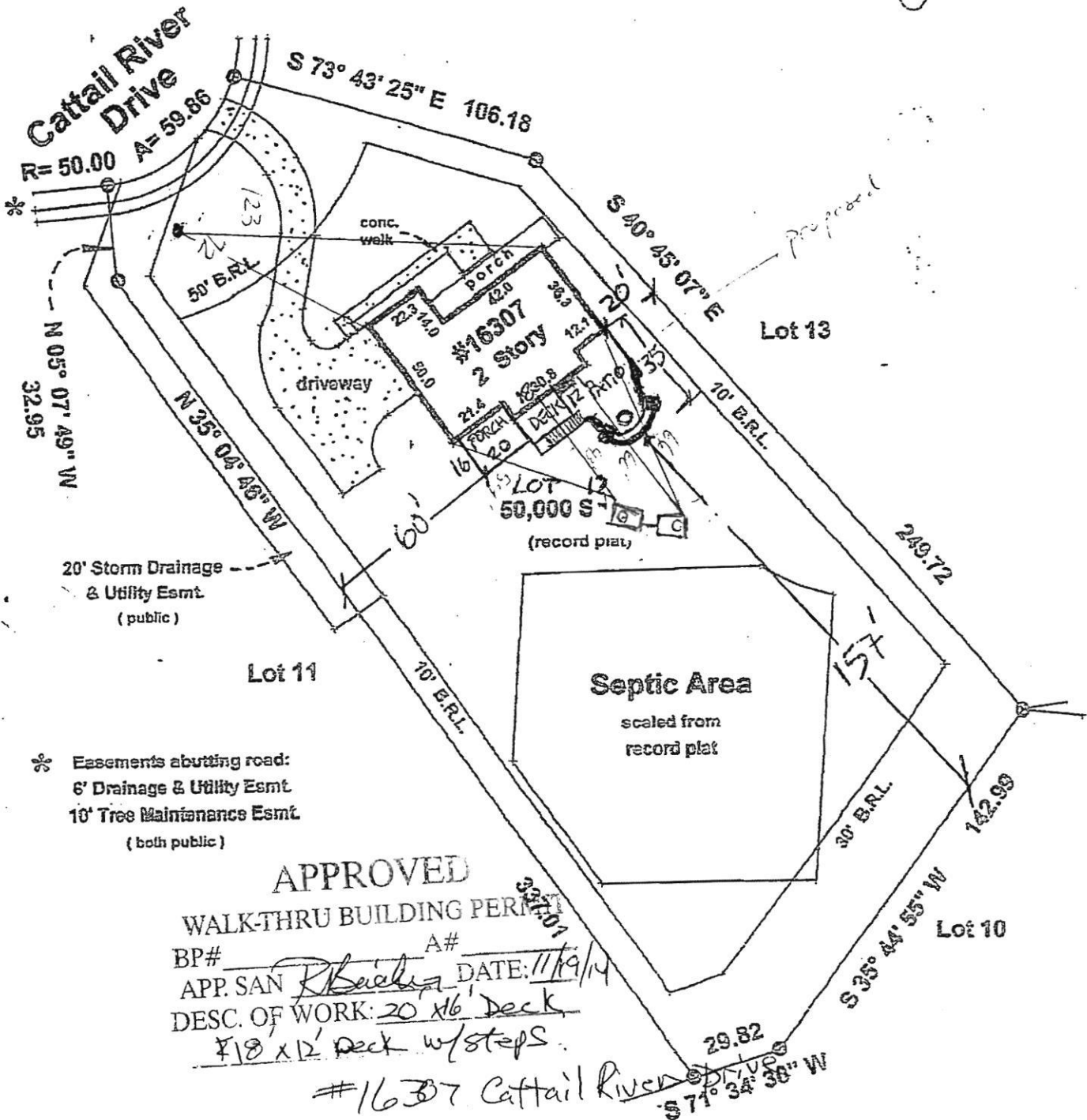
Location Survey of:	LOT: 12	BLOCK: none
#16307 Cattail River Dr.	PLAT BK:	PLAT #: 18648
The Chase At Stoney Brook	DATE: 5-30-14	SCALE: 1" = 50'
Howard County, MD	CASE NUMBER:	61445
	FILE NUMBER:	LT-2140805

Landtech Associates Inc.

10260 Old Columbia Road Rivers Center-Suite J
Columbia, MD 21046

Phone: 410-290-8099 Fax: 410-290-8299

NOTE: NOT TO BE USED FOR ISSUANCE OF PERMITS.



Location Survey of:	LOT: 12	BLOCK: none
#16307 Cattail River Dr.	PLAT BK:	PLAT #: 18648
The Chase At Stoney Brook Howard County, MD	DATE: 5-30-14	SCALE: 1" = 50'
	CASE NUMBER:	61445
	FILE NUMBER:	LT-2140805

NOTES:

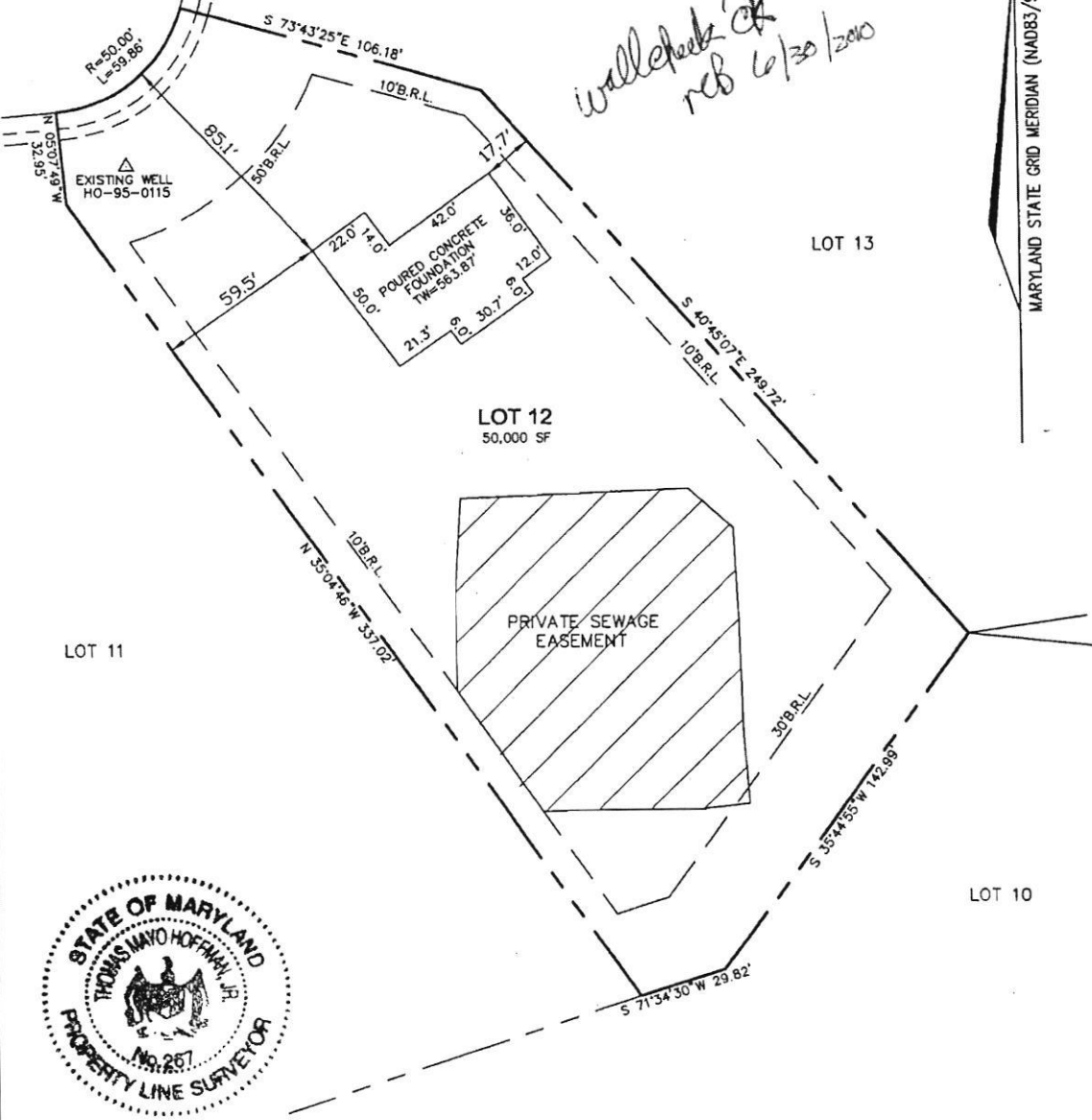


CATTAIL RIVER DRIVE
PUBLIC ACCESS PLACE

10' PUBLIC TREE MAINTENANCE EASEMENT
PLAT NO. 18648

6' PUBLIC DRAINAGE & UTILITY EASEMENT
PLAT NO. 18648

*wallcheck of
reb 6/30/2010*



MARYLAND STATE GRID MERIDIAN (NAD83/91)



I HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF THAT THE IMPROVEMENTS ARE LOCATED AS SHOWN AND THERE ARE NO ENCROACHMENTS EXCEPT AS SHOWN.

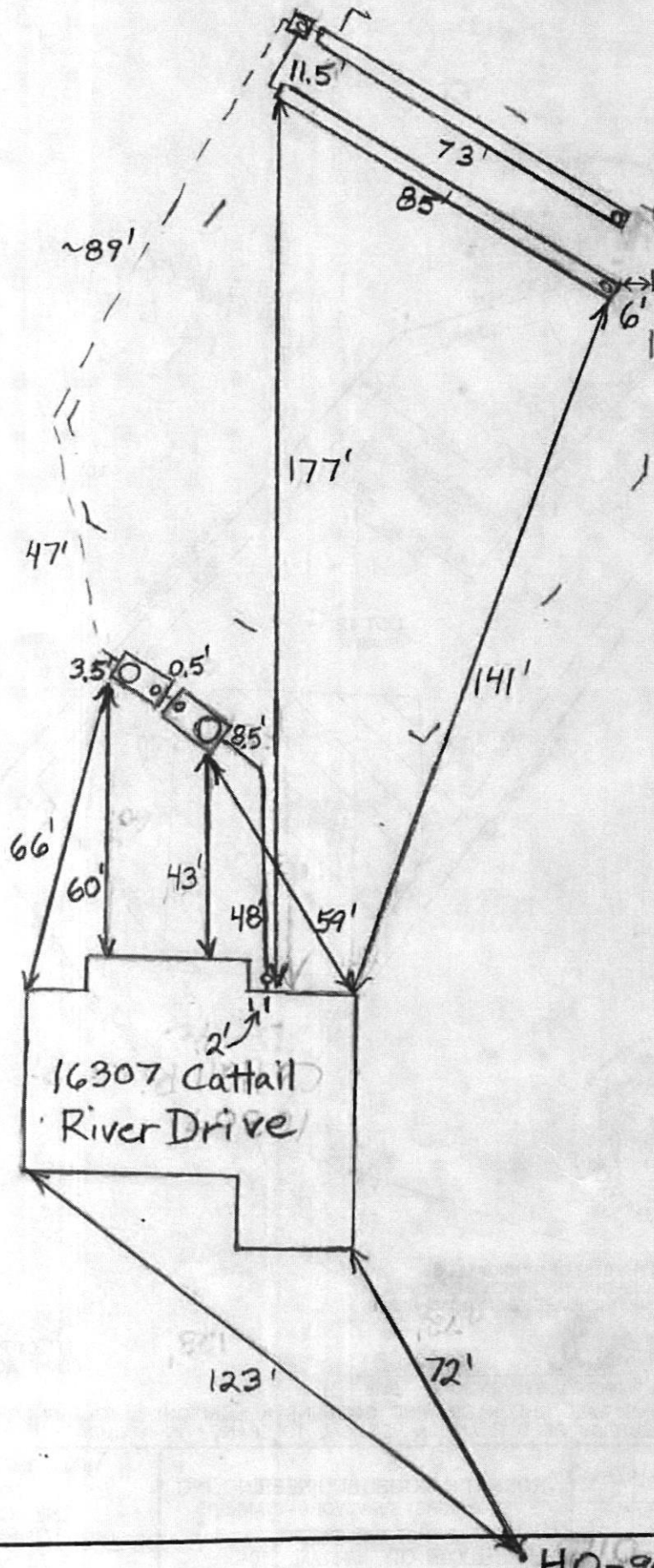
Thomas M. Hoffman Jr. 6-17-10
THOMAS M. HOFFMAN JR., PROPERTY LINE SURVEYOR #267 DATE

16307 CATTAIL RIVER DRIVE
PERMIT NO. B10000958

THIS WALL CHECK DRAWING CONTAINS A HORIZONTAL TOLERANCE IN ACCURACY OF 0.1' AND A VERTICAL TOLERANCE IN ACCURACY OF 0.2'

SCALE 1"=50'	DATE 06/16/10	ROBERT H. VOGEL ENGINEERING, INC. ENGINEERS - SURVEYORS - PLANNERS 8407 MAIN STREET ELLCOTT CITY, MARYLAND 21043 TEL:410-461-7666 FAX:410-461-8961	WALL CHECK DRAWING LOT 12 THE CHASE AT STONEY BROOK PLAT NO. 18648 FOURTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
DRAWN BY B.ABBOTT	CHECKED BY T.M.H.		
PLAT NUMBER 18644-18649	JOB NUMBER 06-34.01		

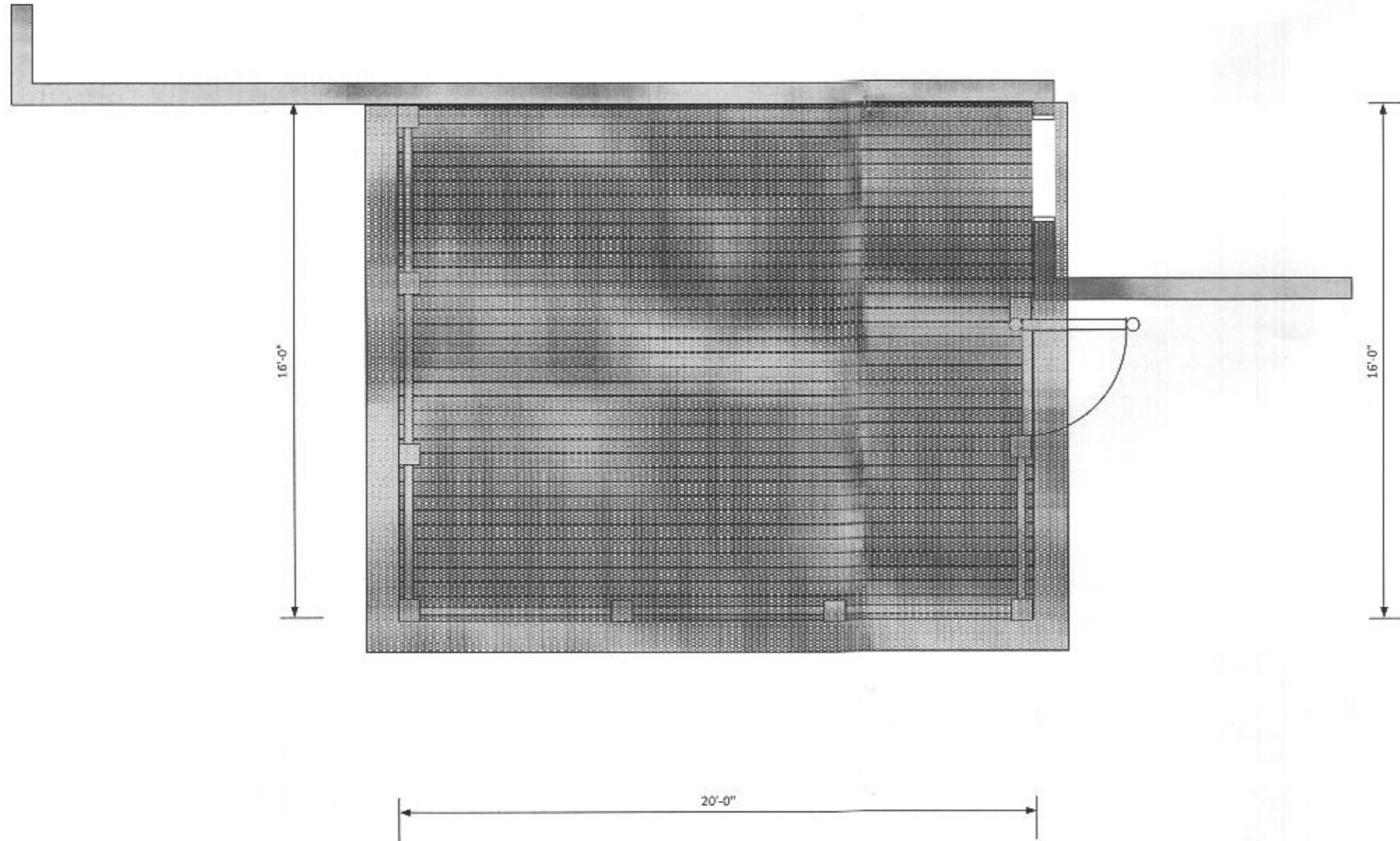
NOT TO SCALE



HO-95-0115

PAGE 2 ROOF DETAIL

SCOPE
BUILD NEW TREATED GABLE
PORCH WITH AND
VINYL RAILING



Joe & Lena Nebel
16307 Cattail River Dr.
Woodbine, MD 21797

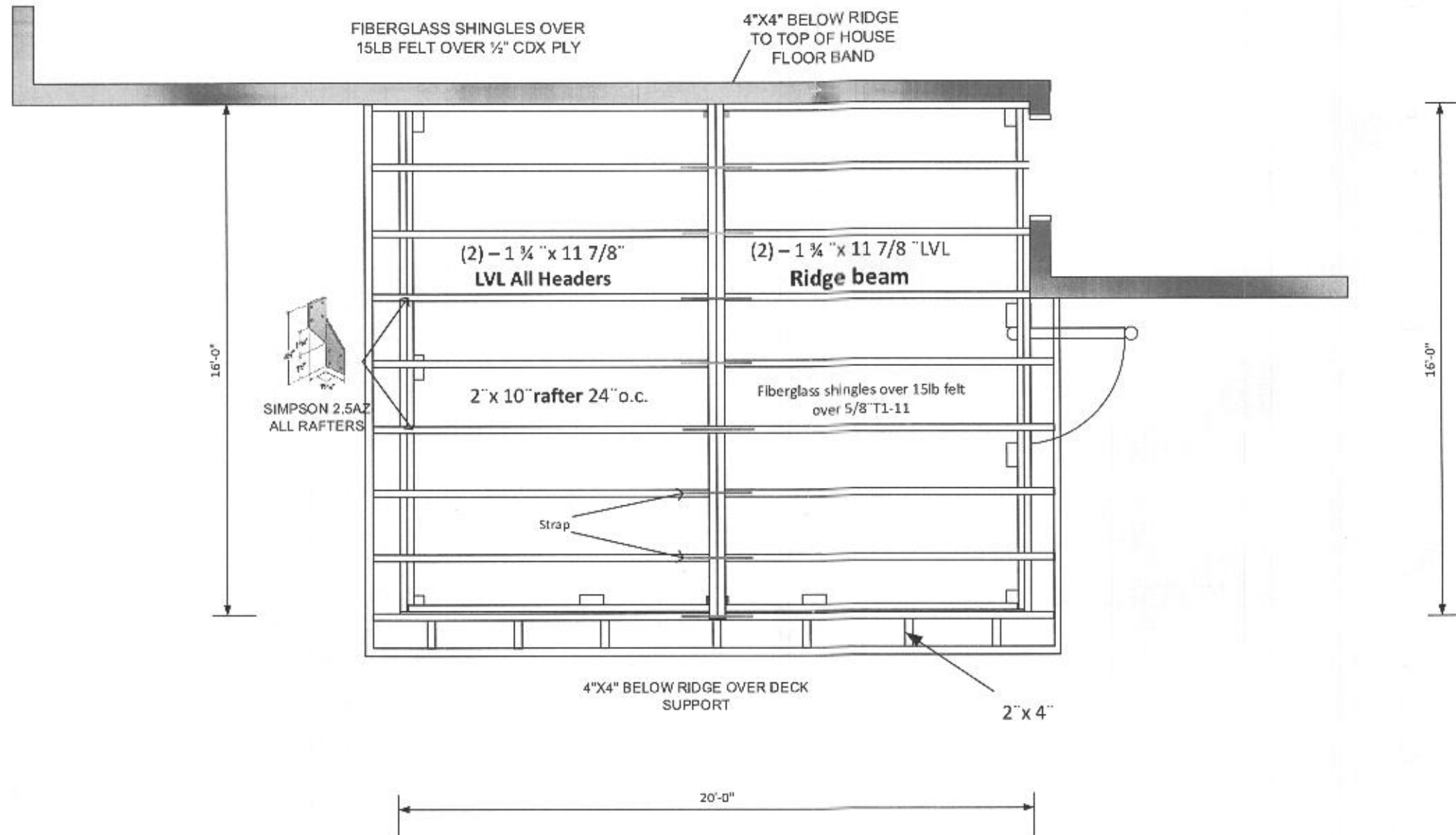
PLAN VIEW

Dec/2022

PAGE 1 DE 2

Scale 1/4"=1'

Roof Detail

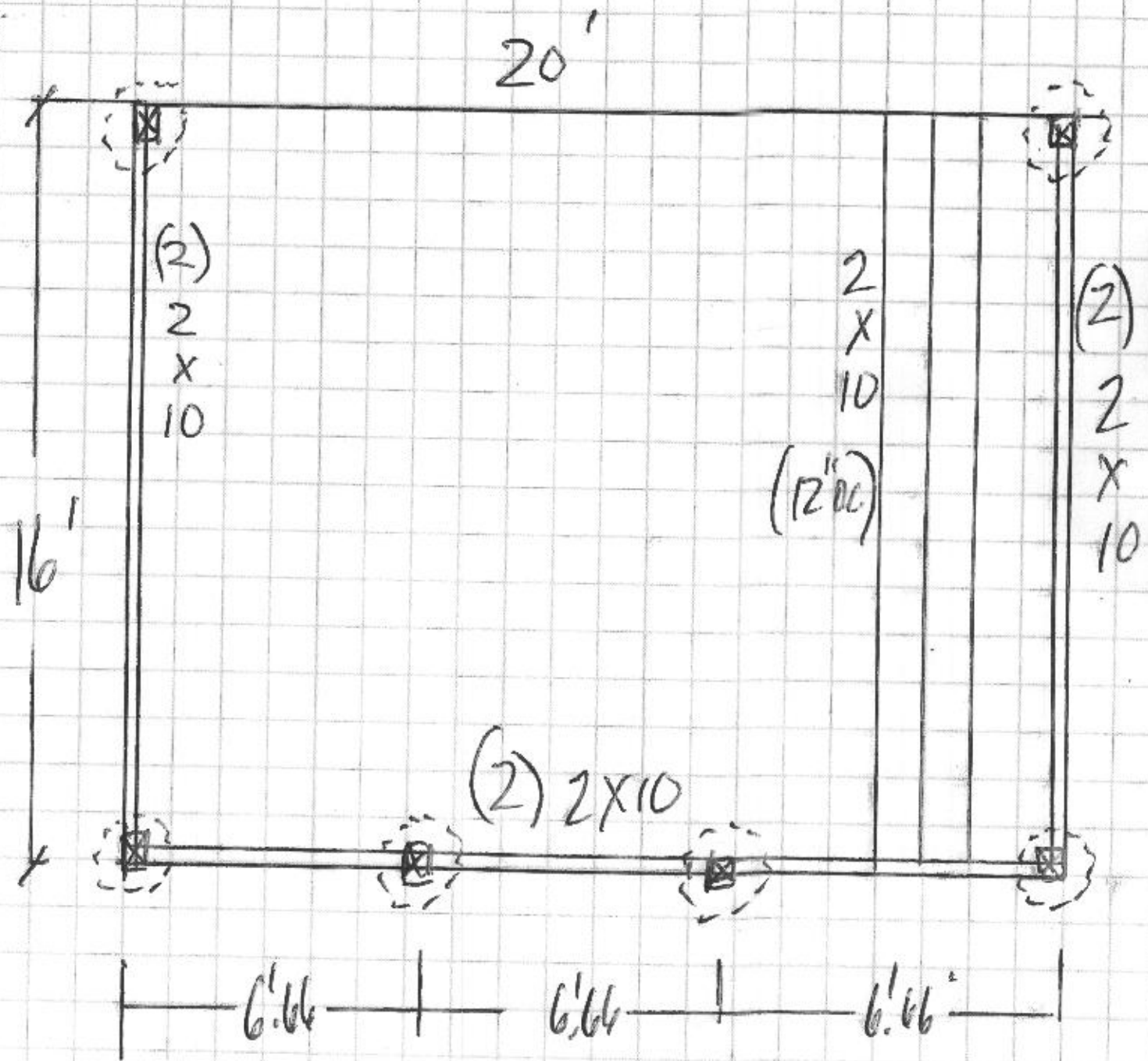


CONTRACTOR SHALL SUPERVISE AND DIRECT WORK AND BE SOLELY RESPONSIBLE FOR THE COORDINATION QUALITY AND SAFETY OF THIS PROJECT THE CONDITIONS AND ASSUMPTIONS STATED IN THESE DRAWINGS SHALL BE FIELD VERIFIED BY THE CONTRACTOR CONSTRUCTION IS TO BE IN COMPLIANCE WITH I.R.C. ONE AND TWO FAMILY DWELLING CODE 2019

ROOF FRAME
PAGE 2 OF 2
Scale 1/4"=1'

EXISTING DECK
FRAME / FOOTING

DETAIL



POSTS: 6x6
JOIST: 2x10 (12")

"NEBEL"
16307 CRITAIL RIVER DR
WOODBINE, MD
21797

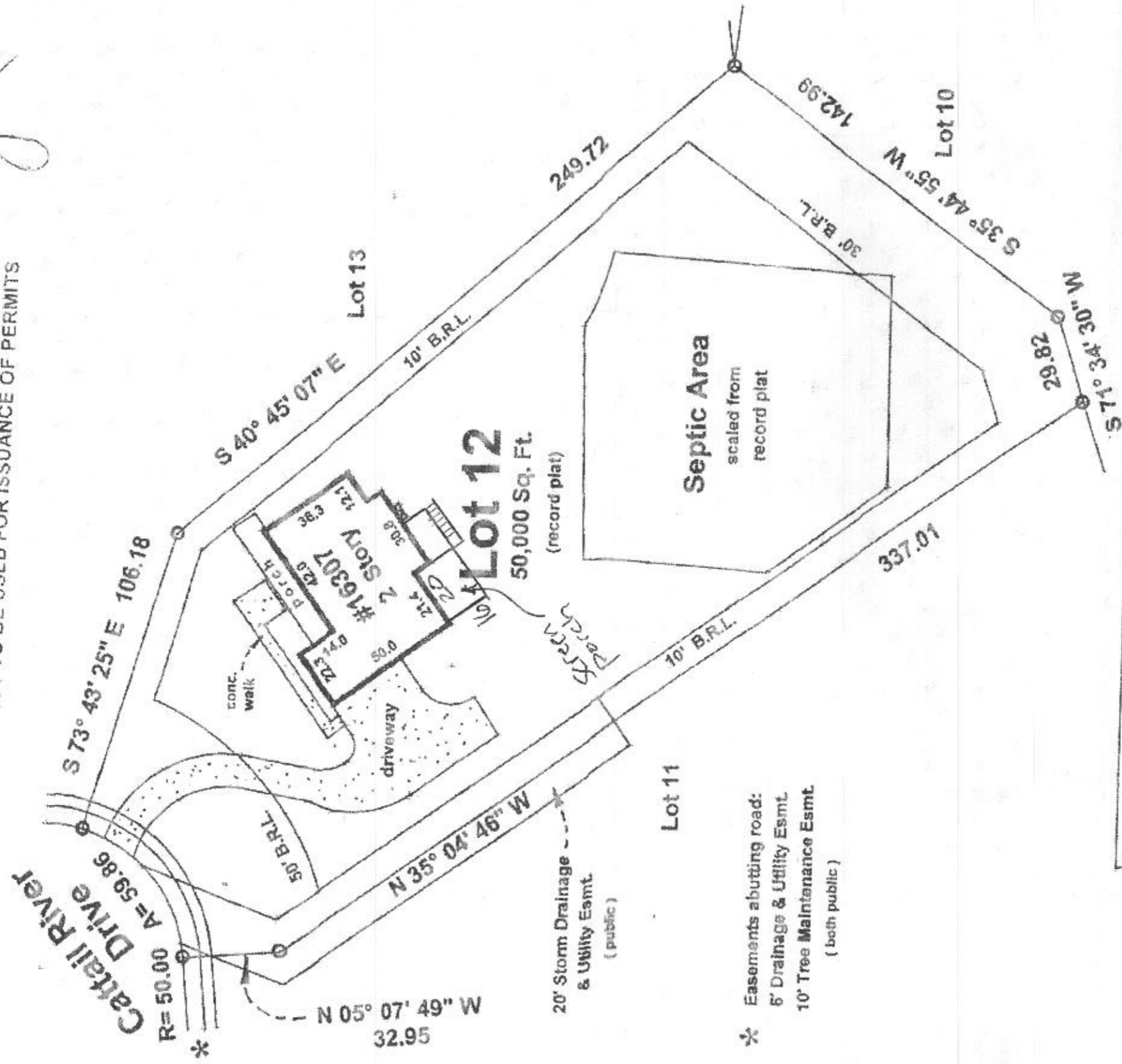
Landtech Associates Inc.

10250 Old Columbia Road Rivers Center-Suite J
Columbia, MD 21046

Phone: 410-290-8099 Fax: 410-290-6299

NOTE: NOT TO BE USED FOR ISSUANCE OF PERMITS

[Handwritten signature]

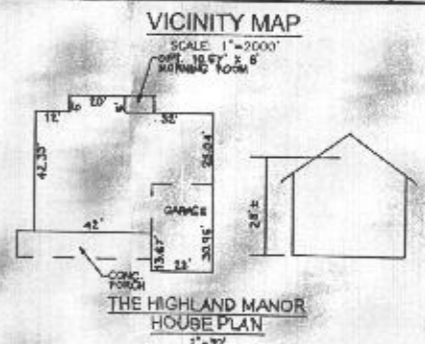
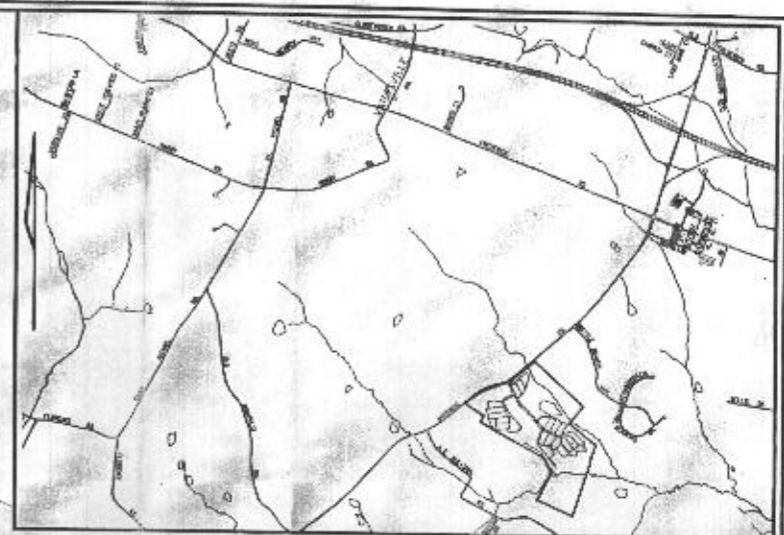
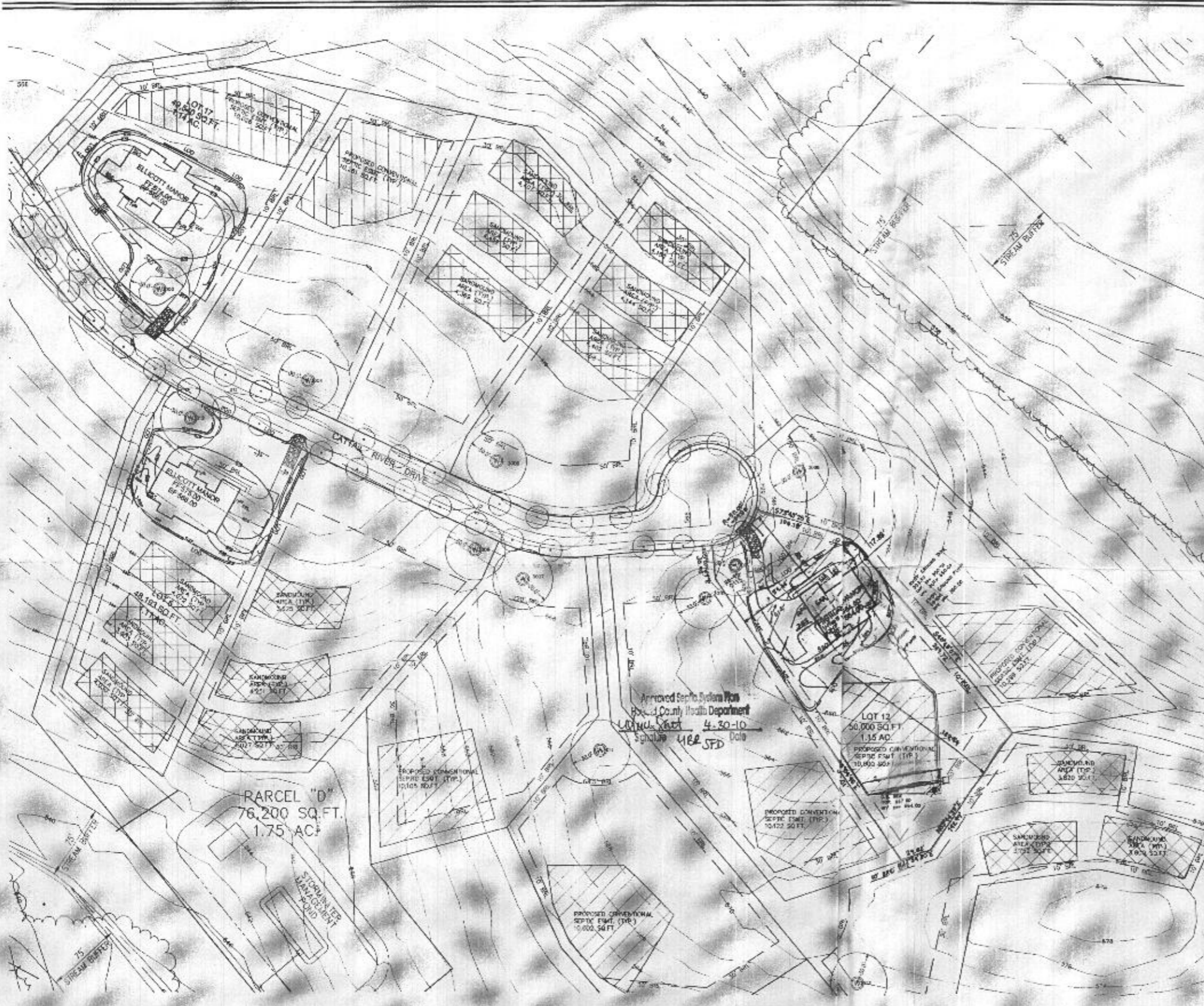


Location Survey of:	LOT: 12	BLOCK: none
#16307 Cattail River Dr.	PLAT BK:	PLAT #: 18648
The Chase At Stoney Brook	DATE: 5-30-14	SCALE: 1" = 50'
Howard County, MD	CASE NUMBER:	61445
	FILE NUMBER:	LT-2140805



CP M.A.

* Easements abutting road:
5' Drainage & Utility Esmt.
10' Tree Maintenance Esmt.
(both public)



THE EXISTING WELL SHOWN ON LOT 12 TAG NO. H0-95-0115 HAS BEEN FIELD LOCATED BY ROBERT H. VOGEL ENGINEERING, INC. BUILDING OF LOT 12 FLOOR AREAS:
 BASEMENT FLOOR AREA 1910
 FIRST FLOOR AREA 1950
 SECOND FLOOR AREA 2200

SWM FOR THESE LOTS IS PROVIDED BY AN EXISTING EXTENDED DETENTION FACILITY UNDER F-05-17 G

LEGEND	
---	EXISTING 2 FT. CONTOUR
---	EXISTING 10 FT. CONTOUR
---	LIMIT OF DISTURBANCE
---	SUPERSET FENCE

FOR GRADING PERMIT REFERENCE GP-07-69

GRADING AND SEDIMENT EROSION CONTROL PLAN
THE CHASE AT STONEYBROOK
 PHASE I LOTS 6, 12 & 17
 BUILDING PERMIT NO. _____
 REF: 5-01-21, P. 05-001, F.05-170
 ZONED: RC-060

TAX MAP 7, BLOCK 17
 4TH ELECTION DISTRICT

PARCEL 133
 HOWARD COUNTY, MARYLAND

ROBERT H. VOGEL ENGINEERING, INC.
 ENGINEERS • SURVEYORS • PLANNERS
 8407 HAWK STREET
 ELLICOTT CITY, MD 21043 TEL: 410-481-7669
 FAX: 410-481-8961

DESIGN BY: RJ
 DRAWN BY: RJ
 CHECKED BY: RJW
 DATE: JANUARY 2001
 SCALE: 1"=50'
 W.P. NO.: 8534.00

1 of 4

REVIEWED FOR HARBOR 500 AND MEETS TECHNICAL REQUIREMENTS
 Jim M... 5/1/01
 USA - NATURAL RESOURCES CONSERVATION SERVICE
 THE DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT
 John K. Roberts 5/1/01
 HARBOR 500

ENGINEERS CERTIFICATE
 I HEREBY CERTIFY THAT THIS PLAN FOR SEDIMENT AND EROSION CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.
 Robert H. Vogel, PE #1155
 DATE: 05/01/01

DEVELOPER'S CERTIFICATE
 I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE THE DESIGN HEREIN TO BE INSPECTED BY THE HOWARD SOIL CONSERVATION DISTRICT.
 Michael L. Frank
 DATE: 05/01/01

PLAN
 SCALE: 1"=50'

NOTE: STOCKPILING WILL BE PERMITTED ON EACH LOT ONLY.

OWNER/DEVELOPER
 TRINITY QUALITY HOMES, INC.
 3675 PARK AVENUE, SUITE 301
 ELLICOTT CITY, MARYLAND 21043
 (410) 480-0033