

Record Detail \* (This section is required.)

Permit Type	Permit Number	Opened Date
Building/Residential/Misc/Tanks	[REDACTED]	10/02/2024

Description of Work

[REDACTED]

[check spelling](#)

Address \* (This section is required.)

Search Reset Clear Get Parcel & Owner

Approved 10/3/24

*[Signature]*

Street #	Street Name	Street Type	
13044	HIGHLAND	RD	
Unit Type	Unit #	X Coordinate	Y Coordinate
-Select-		-76.96569	39.18511
City	State	Zip Code	Primary
HIGHLAND	MD	20777	Yes

Parcel \* (This section is required.)

Search Reset Clear Get Address & Owner

GIS ID *	Parcel	Parcel Area	Land Value	Improved Value	Exemption Value	Plan Area
1104918	117	1.38	0	198700	0	RURAL

Legal Description

LOT 2 1.377 A. [ ]13044 HIGHLAND RD [ ]MCDANIEL PROP

[check spelling](#)

Block	Census Tract	Council Dist	Inspection Dist	Supervisor Dist	Map #	DAP Zone
	605101	5				
Plan Area	State Tax Id	Subdivision Name				
	1405598723	McDaniel Property				
Section	Area	Tax Map				
		34				
Grid	Zoning District	ADC Map				
34-22	RR-DEO	5051-F1				
SDP No.	Final Plan No.	WP File No.				
	ECP-12-048					
Record Plat No.	WS Contract No.	FDP No.	Primary			
23440-2344			Yes			
Owner Occupied	Year Built	Historic District				
<input type="radio"/> Yes <input checked="" type="radio"/> No	0	<input checked="" type="radio"/> Yes <input type="radio"/> No				
Historic District Registry No.	Stat Area	Flood Plain				
	5-04A	<input type="radio"/> Yes <input checked="" type="radio"/> No				
Building No						

Owner \* (This section is required.)

Search Reset Clear

Name \*

MCDAI

Address Line 1

13032 HIGHLAND RD

Address Line 2

Address Line 3

**Mail City**  
 HIGHLAND  
**Mail State**  
 MD  
**Mail Zip Code**  
 20777  
**Phone**  
 443-610-7514  
**Primary**  
 Yes  
**E-mail**  
  
**Cell Number**      **Fax Number**

**Professionals** (This section is not required.)

**License # \***      **Business Name**  
 20100102776      N/A  
**License Type \***      **First Name**      **Middle Name**      **Last Name**  
 Propane Gs      ROBERT      FRANCIS      HINKLEMAN  
**Primary**      **Address Line 1**  
 Yes      5260 WESTVIEW DR., STE. 200  
                                  **Address Line 2**  
                                    
**City**      **State**      **ZIP Code**  
 FREDERICK      MD      21703  
**Phone 1**      **Phone 2**      **Fax**  
 410-652-0050      855-965-5577  
**E-mail**  
 RHINKLEMAN@THOMPSONGAS.COM

**Applicant** (This section is not required.)

Search     
  As Owner     
  As Lic. Prof     
  As Contact

**Type \***      **First Name**      **MI**      **Last Name**  
 Applicant      MICHELLE           CLANCY  
**Relationship**      **Full Name**  
 Applicant      MICHELLE CLANCY  
**Primary**      **Organization Name**  
 Yes      APPLIED & APPROVED PERMITS LLC  
**Street Address**  
 P.O. BOX 310  
**Address Line 2**  
  
**City**      **State**      **Zip Code**  
 PERRY HALL      MD      21128  
**Phone**      **Cell**      **Fax**  
 443-340-1229  
**E-mail \***  
 MICHELLE@APPLIEDANDAPPROVED.COM

**Addtl Info**

**Est Construction Cost \***      **Housing Units \***      **Number of Buildings \***      **Public Owned**  
 1500      0      0      No  
**Construction Type**  
 --Select--

**TANK INFORMATION**

**RESIDENTIAL TANK INFORMATION**

**Capital Project-No Fee \***      **Capital Project Number**      **Fee Exempt \***      **Roadside Tree Project Permit \***      **Roadside Tree Permit #**  
 Yes  No      (Text)       Yes  No       Yes  No      (Text)

**Existing Use \***      **Number of Tanks Installed \***      **Number of Tanks Removed \***  
 SFD      1      (Number)      0      (Number)



10' to the house  
 5' to the Septic line  
 11' net  
 40' to the property

NOTE:  
 STORMWATER MANAGEMENT FOR THIS DEVELOPMENT IS PROVIDED BY THE USE OF ALTERNATIVE SURFACES, NON-STRUCTURAL PRACTICES & MICRO-SCALE PRACTICES IN ACCORDANCE WITH ENVIRONMENTAL SITE DESIGN CRITERIA. SEE F-14-021.

LAYOUT PLAN  
 SCALE: 1"=50'

Approved for LP Plan  
 B24003769  
 10/3/24

**VOGEL ENGINEERING**  
 TIMMONS GROUP  
 90 NORTH RIDGE ROAD, SUITE 110, ELICOTT CITY, MD 21043  
 P: 410.461.7666 F: 410.461.8981 www.timmons.com

**BUILDER**  
 WILLIAMSBURG HOMES, LLC  
 3483 HARPERS FARM ROAD, SUITE 200  
 COLUMBIA, MD 21044  
 ATTN: MR. BRUCE HARVEY  
 (410) 997-8800

**OWNER/DEVELOPER**  
 JOHN P. MCDONN  
 13032 HIGHLAND  
 HIGHLAND, MD 20  
 ATTN: MR. JOE RU  
 (443) 367-04

Menu Save Reset Cancel Help

Record Detail \* (This section is required.)

Case #  
EH-PLANS-24-0

Type  
EnvHealth/Environmental Health/Plan Check/Application

Status  
In Review

Opened Date  
06/13/2024

Approved 6.13.24  
-H.O.

Single Entry Edit-View Record Form

Application Name  
B24002083

Description  
SFD/ "DORCHESTER IV", 2 STORY, Full Basement, Basement = Partially Finished, 13R, 4FB, 1HB, 1FP, 3 Car Attached, 4BR, N/A, ENERGY METHOD = Prescriptive Method, null, 1-STORY SIDE CONSERVATORY, 4' AND 2' EXTENSIONS.

Total Invoiced  
0.00

Total Paid  
0.00

Balance  
0.00

Online BP.  
gls 6/20/24

Assigned to Department Current Department

--Select--

Assigned to Staff Current User

--Select--

Address \* (This section is required.)

New Search Delete Set Primary

<input type="checkbox"/> Primary	Street # (start)	Direction	Street Name	Street Type	City	State	Zip Code	Address Status	Street Suffix (Direction)	Unit Type	U
<input type="checkbox"/> <input checked="" type="radio"/>	13044		Highland	RD	High...	MD	20777				

Parcel (This section is not required.)

Search Delete Get Address & Owner Set Primary

<input type="checkbox"/> Primary	Parcel #	Book	Page	Parcel	Parcel Area	Land Value	Improved Value	Exemption Value	Legal Description	Tract
0 record(s) found.										

Owner (This section is not required.)

Search Delete Set Primary

<input type="checkbox"/> Primary	Name	Mail Address Line1	Mail Address Line2	Mail Address Line3	Mail City	Mail State	Mail Zip Code	Phone	Country/Region
<input type="checkbox"/> <input checked="" type="radio"/>	John McDaniel	13032 Highland Rd.			Highland	MD	20777	410-997-8800	US

Applicant \* (This section is required.)

Search As Owner As Lic. Prof As Contact

Single Entry Applicant Form

Type \*  
Applicant  
Primary

Yes

First Name \*  
Marina

Middle Name

Last Name \*  
Morris

Home Phone (000)000-0000  
[ ]

**Organization Name**  
 Williamsburg Group, LLC

**Mobile Phone** ((xxx)xxx-xxxx)  
 (410) 997-8800

**E-mail**  
 mainamorris@williamsburgllc.com

**Business Phone** ((xxx)xxx-xxxx)

**Preferred Channel**  
 --Select--

**Applicant Address**

[New](#)   [Look Up](#)   [Deactivate](#)   [Remove](#)

<input type="checkbox"/> Contact Address ID	Address Type	Address Line 1	City	State	Zip	Primary Recipient	Status
0 record(s) found.							

**Custom Fields**

**DATE TRACKING**

<b>Received Date</b> 6/13/2024	<b>Due Date</b> 6/27/2024
<b>Dates to Complete</b> 14 (Number)	<b>Received by Food</b>
<b>Food Review Type</b> --Select--	<b>Equipment Specification Sheets Submitted</b>
<b>Equipment Specification Sheet</b>	<b>Received by Community Hygiene</b>
<b>Received by Well and Septic</b> 6/13/2024	

**FACILITY INFORMATION**

<b>Name of Business (dba)</b> n/a (Text)	<b>Does this project have a Building Permit?</b> <input type="radio"/> Yes <input type="radio"/> No
<b>Associated Building Permit Number</b> (Text)	<b>Building Permit Issued Date</b> 
<b>Owner Switch Date</b> 	<input type="checkbox"/> <b>Non-Profit</b>
<b>Does the project include an Aquatic Facility such as a Public Pool? If Yes, forward to CH Program.</b> <input type="radio"/> Yes <input type="radio"/> No	<b>Does the project include Private Well? If Yes, forward to WS Program.</b> <input type="radio"/> Yes <input type="radio"/> No
<b>Does the project include Private Septic? If Yes, forward to WS Program.</b> <input type="radio"/> Yes <input type="radio"/> No	<b>Does the project include Food Services? If Yes, forward to FP Program.</b> <input type="radio"/> Yes <input type="radio"/> No
<b>Is this a Prototype Food Service Facility? If Yes, refer to State.</b> <input type="radio"/> Yes <input type="radio"/> No	<b>Facility Phone</b> 0 (Text)
<b>Facility Fax</b> 0 (Text)	<b>Facility Email</b> 0 (Text)
<b>Days of Operation</b> 0 (Text)	

**PROPERTY INFORMATION**

<b>Water Source</b> Private	<b>Sewage Disposal</b> Private
<b>Design Wastewater Flow</b> 0 (Number)	<b>Permit Type</b> --Select--

**PLAT STATS**

<b>Total Number of buildable lots to be recorded</b> 0 (Number)	<b>Total number of open space lots to be recorded</b> 0 (Number)
<b>Total number of bulk parcels to be recorded</b> 0 (Number)	<b>Total number of lots / parcels to be recorded</b> 0 (Number)
<b>New buildable lots created</b> 0 (Number)	<b>Date PLAT signed by Health Officer</b> 
<b>PLAT Type</b> --Select--	

DEVELOPMENT PLANS

<b>Property Type</b> Residential	<b>Plan Version</b> Initial
<b>Signature Required</b> <input type="radio"/> Yes <input checked="" type="radio"/> No	<b>Engineer</b> 0 (Text)
<b>Number of paper copies</b> 0 (Number)	<b>Number of mylar copies</b> 0 (Number)
<b>Number of buildable lots created</b> 0 (Number)	<b>Number of non-buildable lots created</b> 0 (Number)
<b>Total Number of Lots</b> 0 (Number)	<b>Associated Plans</b>

WELL AND SEPTIC INTERNAL

<b>State Review Required</b> <input type="radio"/> Yes <input type="radio"/> No	<b>Coordinate State Review</b> <input type="radio"/> Yes <input type="radio"/> No
<b>Proposed Septic System Type</b> --Select--	

FOOD ESTABLISHMENT FACILITY

<b>Priority Assessment</b> --Select--	<b>Licensed Type</b> --Select--
<b>License Category</b> --Select--	

FOOD ESTABLISHMENT INFORMATION

<b>Hours of Operation</b> (Text)	<input type="checkbox"/> <b>Operating Seasonally Only</b>
<b>If Operating Seasonally, What is the start month?</b> (Text)	<b>Are pets allowed in a outdoor seating area?</b> <input type="radio"/> Yes <input type="radio"/> No
<b>Full Bar?</b> <input type="radio"/> Yes <input type="radio"/> No	

RESTAURANT AND FOOD SERVICE

<b>Food Service Facility Secondary Category</b> --Select--	<b>Total Seating Capacity</b> (Number)
<b>Number of Restrooms</b> (Number)	<b>Interior Restaurant Seating Capacity</b> (Number)
<b>Bar Seating Capacity</b> (Text)	<b>Outdoor Seating Capacity</b> (Text)
<b>Does the restaurant have outdoor seating</b> <input type="radio"/> Yes <input type="radio"/> No	

EQUIPMENT

<b>Evaluated non NSF, ANSI, CF or other standards</b> <input type="radio"/> Yes <input type="radio"/> No	<b>Description of Refrigeration Units</b>
<b>Number of Walk-In Refrigerator Units</b> (Number)	<b>Description of Walk-In Freezer Units</b> (Text)
<b>Is there a bulk ice machine available</b> <input type="radio"/> Yes <input type="radio"/> No	<b>Space Limitation</b>
<b>Number of Hand Sinks Available</b> (Number)	<b>Hood System</b> (Text)
<b>Ventless Equipment</b> (Text)	

PLUMBING

<b>Size and installation of the water heater?</b> (Text)	<b>Is there a grease interceptor or grease trap?</b> --Select--
---	--

REFUSE AND RECYCLABLES

<b>Dumpsters Located on a impervious surface?</b> --Select--	<b>Will there be a grease receptacle?</b> --Select--
---	---

## Oswald Jr, Woodin

---

**From:** Marina Morris <MarinaMorris@williamsburgllc.com>  
**Sent:** Monday, June 24, 2024 3:03 PM  
**To:** Oswald Jr, Woodin  
**Subject:** Re: Floor Plan\_13044 Highland Road

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

Thank you!!!  
Marina Morris  
Sent from my iPhone

On Jun 24, 2024, at 2:52 PM, Oswald Jr, Woodin <hoswald@howardcountymd.gov> wrote:

Hi Marina,

That will do. I approved the building permit, but I am attaching a basement bedroom memo for the owner. Please see attached.

Let me know if you have any questions.

Regards,

Hank

Hank Oswald  
Licensed Environmental Health Specialist  
Bureau of Environmental Health  
Howard County Health Department  
8930 Stanford Blvd. Columbia, MD 21045  
(410) 313 - 1786  
[www.hchealth.org](http://www.hchealth.org)

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---

**From:** Marina Morris <MarinaMorris@williamsburgllc.com>  
**Sent:** Monday, June 24, 2024 11:39 AM  
**To:** Oswald Jr, Woodin <hoswald@howardcountymd.gov>  
**Subject:** RE: Floor Plan\_13044 Highland Road

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

I uploaded to project dox a letter and a new basement page showing those rooms crossed off. Please let me know if these will suffice.

Sorry for any confusion!

Marina Morris  
Sales and Settlements Coordinator  
Williamsburg Homes  
5485 Harpers Farm Rd #200  
Columbia, MD 21044  
(410) 997-8800 X18  
<image003.png>

**From:** Oswald Jr, Woodin <[hoswald@howardcountymd.gov](mailto:hoswald@howardcountymd.gov)>  
**Sent:** Monday, June 24, 2024 11:32 AM  
**To:** Marina Morris <[MarinaMorris@williamsburgllc.com](mailto:MarinaMorris@williamsburgllc.com)>  
**Subject:** RE: Floor Plan\_13044 Highland Road

Hi Marina,

Under approved architectural plans in p-dox, it's not clear to me (on page #5) what is being finished in the basement.

Hank

Hank Oswald  
Licensed Environmental Health Specialist  
Bureau of Environmental Health  
Howard County Health Department  
8930 Stanford Blvd. Columbia, MD 21045  
(410) 313 - 1786  
[www.hchealth.org](http://www.hchealth.org)

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**From:** Marina Morris <[MarinaMorris@williamsburgllc.com](mailto:MarinaMorris@williamsburgllc.com)>  
**Sent:** Monday, June 24, 2024 11:14 AM  
**To:** Oswald Jr, Woodin <[hoswald@howardcountymd.gov](mailto:hoswald@howardcountymd.gov)>  
**Subject:** RE: Floor Plan\_13044 Highland Road

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

I'll call George. I am a little confused because he has already approved my plans with the descriptions. The office and the media room were not included. I am afraid I am going to confuse everyone by going in and revising the permit. I'll let you know what he says.

Thanks.

Marina Morris

Sales and Settlements Coordinator  
Williamsburg Homes  
5485 Harpers Farm Rd #200  
Columbia, MD 21044  
(410) 997-8800 X18  
<image003.png>

**From:** Oswald Jr, Woodin <[hoswald@howardcountymd.gov](mailto:hoswald@howardcountymd.gov)>  
**Sent:** Monday, June 24, 2024 11:07 AM  
**To:** Marina Morris <[MarinaMorris@williamsburgllc.com](mailto:MarinaMorris@williamsburgllc.com)>  
**Subject:** RE: Floor Plan\_13044 Highland Road

Hi Marina,

I believe you would need to upload a copy as a revision to the permit system. I am not sure if it's any of the ones that you listed. In case you want to call them, permits # is 410.313.2455.

Thanks,

Hank

Hank Oswald  
Licensed Environmental Health Specialist  
Bureau of Environmental Health  
Howard County Health Department  
8930 Stanford Blvd. Columbia, MD 21045  
(410) 313 - 1786  
[www.hchealth.org](http://www.hchealth.org)

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**From:** Marina Morris <[MarinaMorris@williamsburgllc.com](mailto:MarinaMorris@williamsburgllc.com)>  
**Sent:** Monday, June 24, 2024 11:02 AM  
**To:** Oswald Jr, Woodin <[hoswald@howardcountymd.gov](mailto:hoswald@howardcountymd.gov)>  
**Subject:** RE: Floor Plan\_13044 Highland Road

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

What I sent over was highlighted. I'm afraid what you got was a black and white version. I will resend crossing off the areas that are not in the plan. Should I send it to Docs4dillp or buildingtech, or should I put it in projectdox?

Marina Morris  
Sales and Settlements Coordinator  
Williamsburg Homes  
5485 Harpers Farm Rd #200  
Columbia, MD 21044

(410) 997-8800 X18  
<image003.png>

**From:** Oswald Jr, Woodin <[hoswald@howardcountymd.gov](mailto:hoswald@howardcountymd.gov)>  
**Sent:** Monday, June 24, 2024 10:59 AM  
**To:** Marina Morris <[MarinaMorris@williamsburgllc.com](mailto:MarinaMorris@williamsburgllc.com)>  
**Subject:** RE: Floor Plan\_13044 Highland Road

Hi Marina,

Please provide an updated basement floor plan to permits office highlighting finished areas.

Thanks,

Hank

Hank Oswald  
Licensed Environmental Health Specialist  
Bureau of Environmental Health  
Howard County Health Department  
8930 Stanford Blvd. Columbia, MD 21045  
(410) 313 - 1786  
[www.hchealth.org](http://www.hchealth.org)

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**From:** Marina Morris <[MarinaMorris@williamsburgllc.com](mailto:MarinaMorris@williamsburgllc.com)>  
**Sent:** Monday, June 24, 2024 10:21 AM  
**To:** Oswald Jr, Woodin <[hoswald@howardcountymd.gov](mailto:hoswald@howardcountymd.gov)>  
**Subject:** RE: Floor Plan\_13044 Highland Road

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

I am responding now that I just heard that they did not do the office and the media room in the basement. Only the highlighted areas, which probably did not come as highlighted to you. So the only rooms in the basement are the finished basement area and the full bath. Hope this clarifies things. Sorry for any confusion!

Marina Morris  
Sales and Settlements Coordinator  
Williamsburg Homes  
5485 Harpers Farm Rd #200  
Columbia, MD 21044  
(410) 997-8800 X18  
<image003.png>

**From:** Oswald Jr, Woodin <[hoswald@howardcountymd.gov](mailto:hoswald@howardcountymd.gov)>  
**Sent:** Monday, June 24, 2024 9:29 AM  
**To:** Marina Morris <[MarinaMorris@williamsburgllc.com](mailto:MarinaMorris@williamsburgllc.com)>  
**Cc:** Bruce Harvey <[BruceHarvey@williamsburgllc.com](mailto:BruceHarvey@williamsburgllc.com)>  
**Subject:** Floor Plan\_13044 Highland Road

Hi Marina,

Good morning. I'm currently reviewing the building permit for 13044 Highland Road, and I have a question and a concern about the floor plan. Is the room on the 2<sup>nd</sup> floor labeled "Family Room Below" an actual room or is it open to below? Also, it looks like there are 4 bedrooms on the 2<sup>nd</sup> floor and 2 rooms labeled "office and media" room in the basement that meet the definition of a bedroom (6 total bedrooms). I mention this because the OSDS Plan is designed for 5 bedrooms (see attachment). Please either revise the OSDS Plan to accommodate a 6<sup>th</sup> BR or reduce the # of BRs to 5 on the floor plan.

Should you have any questions, please don't hesitate to ask.

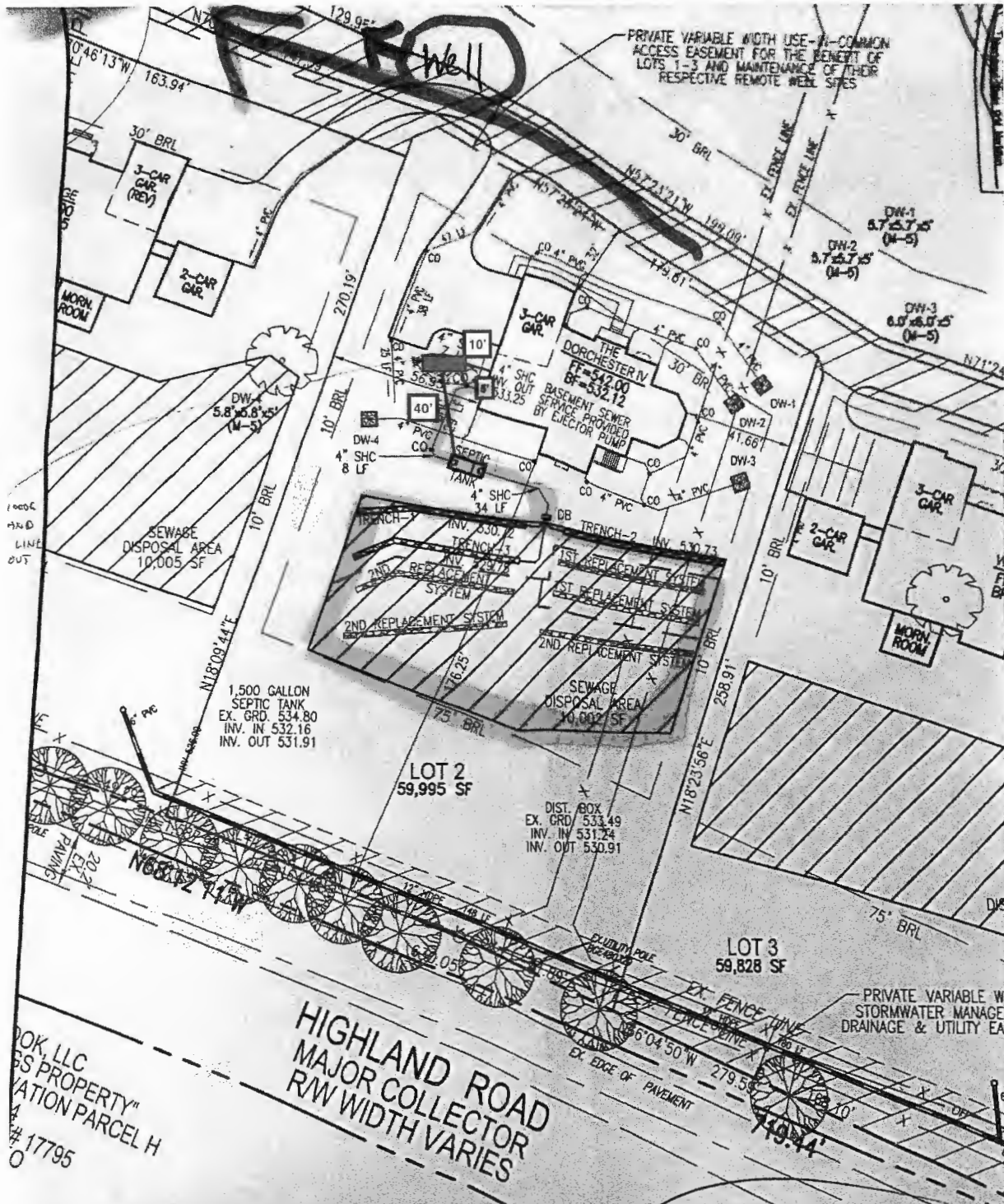
Regards,

Hank

Hank Oswald  
Licensed Environmental Health Specialist  
Bureau of Environmental Health  
Howard County Health Department  
8930 Stanford Blvd. Columbia, MD 21045  
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<Basement Bedroom Memo.pdf>



10' to the house  
 5' to the Septic line  
 40' to the property line

**NOTE:**  
 STORMWATER MANAGEMENT FOR THIS DEVELOPMENT IS PROVIDED BY THE USE OF ALTERNATIVE SURFACES, NON-STRUCTURAL PRACTICES & MICRO-SCALE PRACTICES IN ACCORDANCE WITH ENVIRONMENTAL SITE DESIGN CRITERIA. SEE F-14-021.

**LAYOUT PLAN**  
 SCALE: 1"=50'

Approved for LP tank  
 B24003769  
 [Signature]  
 1/3/24

**VOGEL ENGINEERING**  
  
**TIMMONS GROUP**  
 60 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043  
 P: 410.461.7666 F: 410.461.8961 www.timmons.com

**BUILDER**  
 WILLIAMSBURG HOMES, LLC  
 5485 HARPERS FARM ROAD, SUITE 200  
 COLUMBIA, MD 21044  
 ATTN: MR. BRUCE HARVEY  
 (410) 997-8800

**OWNER/DEVELOPER**  
 JOHN P. McMANUS  
 13032 HIGHLAND  
 HIGHLAND, MD 20707  
 ATTN: MR. JOE RYAN  
 (443) 367-0444

---

Maura J. Rossman, M.D., Health Officer

**MEMORANDUM**

**TO:** WILLIAMSBURG GROUP LLC  
5485 HARPERS FARM ROAD SUITE 200  
Columbia, MD 20146

**FROM:** Hank Oswald  
Well & Septic Program

**RE:** 13044 Highland Road  
Potential Basement Bedroom

**DATE:** 6/24/2024

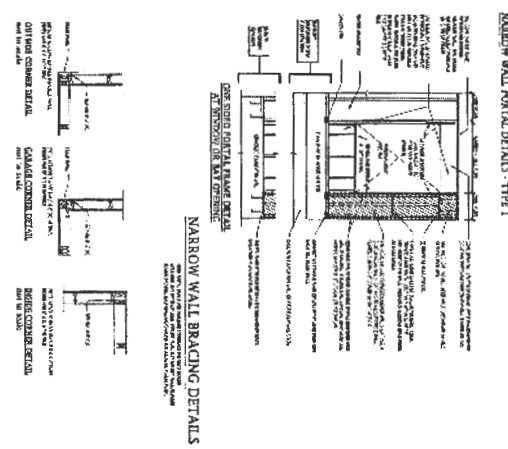
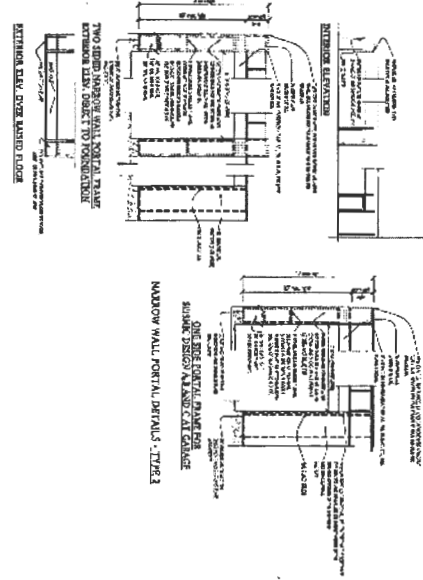
I have reviewed the floor plans in support of Building Permit B24002083 for a new home at 13044 Highland Road and noted that there is a full bathroom in the partially finished basement. Please note that this makes it very likely for one or more rooms to be considered bedrooms upon conversion of the rest of the basement to finished living space.

For reference, the following is the bedroom definition in Howard County Code Section 3.801(b):

- (1) Except as provided in paragraph (2) of this subsection, a bedroom is any space in the conditioned are of a dwelling unit or accessory structure that:
  - (i) Is 90 square feet or greater in size;
  - (ii) May be used as a private sleeping area; and
  - (iii) Has at least one window and one interior door.
- (2) If a home office, library, or similar room is proposed, it may not be a bedroom if there is no closet; and
  - (i) The room contains permanently built-in bookcases around the perimeter of the room, desks, and other features that encumber the room;
  - (ii) A minimum 4-foot-wide opening, without doors, into another room;
  - (iii) A half wall (4-foot maximum height) between the room and another room; or
  - (iv) The room is a first-floor room or basement area that does not have direct access to full bathrooms or “roughed in” plumbing that would provide direct access to future full bathroom facilities.

The Health Department strongly recommends sizing the onsite sewage disposal system at least one bedroom larger than the existing 5-bedroom design to accommodate a fully finished basement. If you choose to only size for the existing design, any future building permit for a finished basement may be placed on hold until the system is upgraded to accommodate the proposed number of bedrooms. This memo will be retained in the Health Department file for future reference.



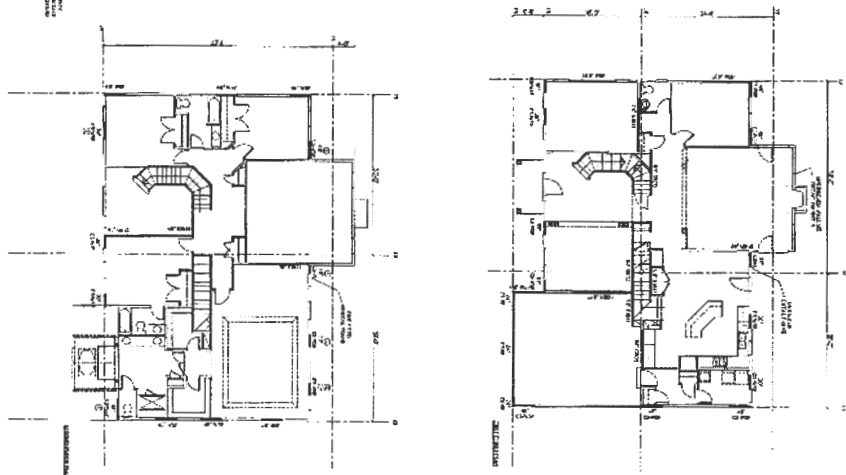


Material Schedule

NO.	DESCRIPTION	QTY	UNIT
1	1/2" Gypsum Board	100	SQ. FT.
2	1/2" Drywall	100	SQ. FT.
3	1/2" Sheetrock	100	SQ. FT.
4	1/2" Wallboard	100	SQ. FT.
5	1/2" Paneling	100	SQ. FT.
6	1/2" Boarding	100	SQ. FT.
7	1/2" Siding	100	SQ. FT.
8	1/2" Cladding	100	SQ. FT.
9	1/2" Facing	100	SQ. FT.
10	1/2" Lining	100	SQ. FT.
11	1/2" Covering	100	SQ. FT.
12	1/2" Finishing	100	SQ. FT.
13	1/2" Dressing	100	SQ. FT.
14	1/2" Parquet	100	SQ. FT.
15	1/2" Hardwood	100	SQ. FT.
16	1/2" Softwood	100	SQ. FT.
17	1/2" Plywood	100	SQ. FT.
18	1/2" Particleboard	100	SQ. FT.
19	1/2" Fiberboard	100	SQ. FT.
20	1/2" Gypsum	100	SQ. FT.
21	1/2" Concrete	100	SQ. FT.
22	1/2" Brick	100	SQ. FT.
23	1/2" Block	100	SQ. FT.
24	1/2" Stone	100	SQ. FT.
25	1/2" Tile	100	SQ. FT.
26	1/2" Slate	100	SQ. FT.
27	1/2" Marble	100	SQ. FT.
28	1/2" Granite	100	SQ. FT.
29	1/2" Quartz	100	SQ. FT.
30	1/2" Limestone	100	SQ. FT.
31	1/2" Sandstone	100	SQ. FT.
32	1/2" Travertine	100	SQ. FT.
33	1/2" Slate	100	SQ. FT.
34	1/2" Marble	100	SQ. FT.
35	1/2" Granite	100	SQ. FT.
36	1/2" Quartz	100	SQ. FT.
37	1/2" Limestone	100	SQ. FT.
38	1/2" Sandstone	100	SQ. FT.
39	1/2" Travertine	100	SQ. FT.
40	1/2" Slate	100	SQ. FT.

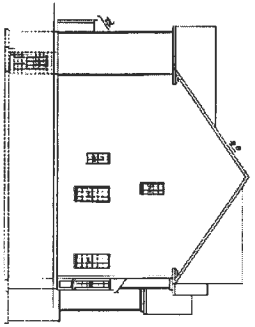
Notes

1. All dimensions are in feet and inches.
2. All materials are to be installed in accordance with manufacturer's instructions.
3. All work is to be done in accordance with the latest edition of the International Building Code.
4. All work is to be done in accordance with the latest edition of the International Residential Code.
5. All work is to be done in accordance with the latest edition of the International Mechanical Code.
6. All work is to be done in accordance with the latest edition of the International Electrical Code.
7. All work is to be done in accordance with the latest edition of the International Plumbing Code.
8. All work is to be done in accordance with the latest edition of the International Fire Code.
9. All work is to be done in accordance with the latest edition of the International Energy Conservation Code.
10. All work is to be done in accordance with the latest edition of the International Green Building Code.

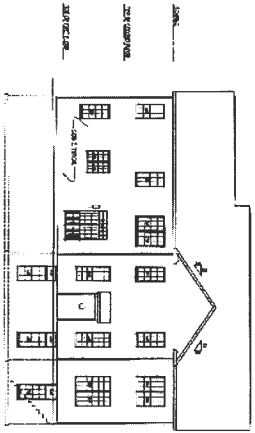


REVISED 8.23

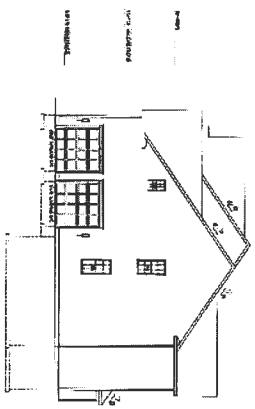
<b>D2</b>	Project: WILLIAMSBURG GROUP DORCHESTER ESLATE HOME	Date: 6/15 Scale: 1/8" = 1'-0" Drawn: T.M.	AND REVISIONS	DATE DESCRIPTION	<b>Plymouth Road Architects</b> 640 Plymouth Road, Catonsville, MD 21229 410-788-0281
	NO. 1022 PAGE 10				



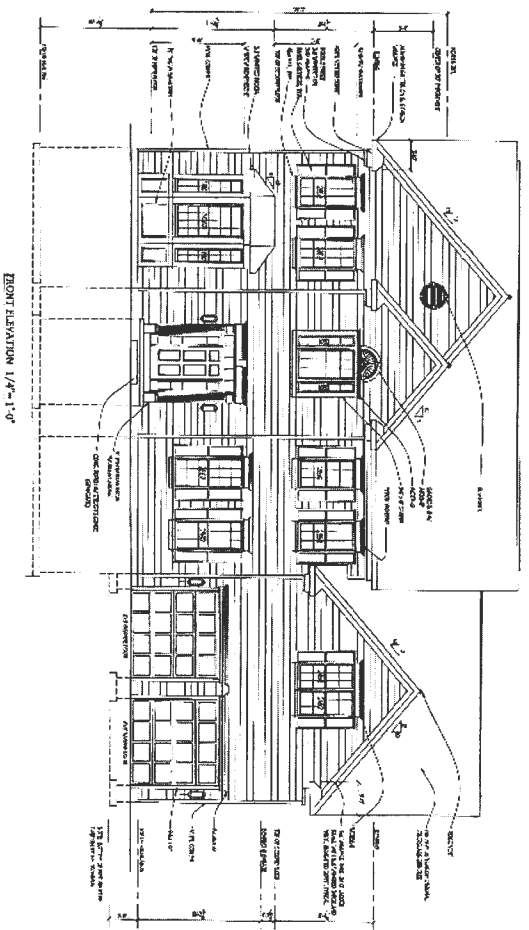
LEFT SIDE ELEVATION 1/4" = 1'-0"



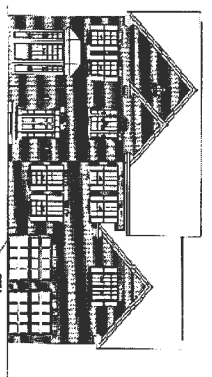
REAR ELEVATION 1/4" = 1'-0"



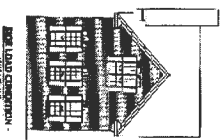
RIGHT SIDE ELEVATION 1/4" = 1'-0"



FRONT ELEVATION 1/4" = 1'-0"



FRONT ELEVATION 1/4" = 1'-0"



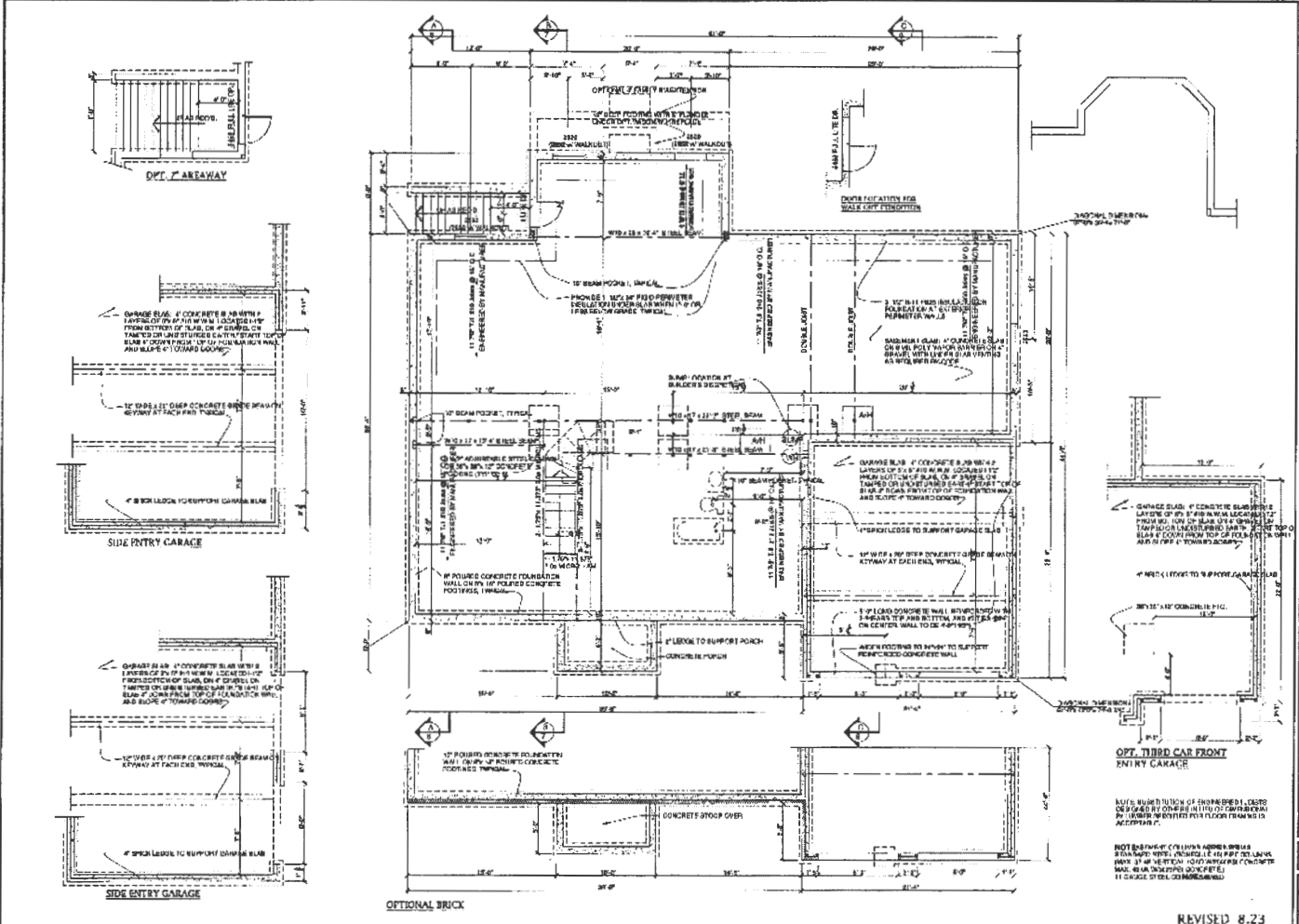
REAR ELEVATION 1/4" = 1'-0"

REVISED 10.23

1b

Drawing: ELEVATION 2 Project: WILLIAMSBURG GROUP DORCHESTER 4 ESTATE HOME	Date: 6/15 Scale: NOTED Drawn: TIM	<table border="1"> <thead> <tr> <th>DATE</th> <th>REVISION</th> <th>BY</th> <th>REASON</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	DATE	REVISION	BY	REASON												
DATE	REVISION	BY	REASON															

Plymouth Road Architects  
 640 Plymouth Road, Catonsville, MD 21229 410-788-0281



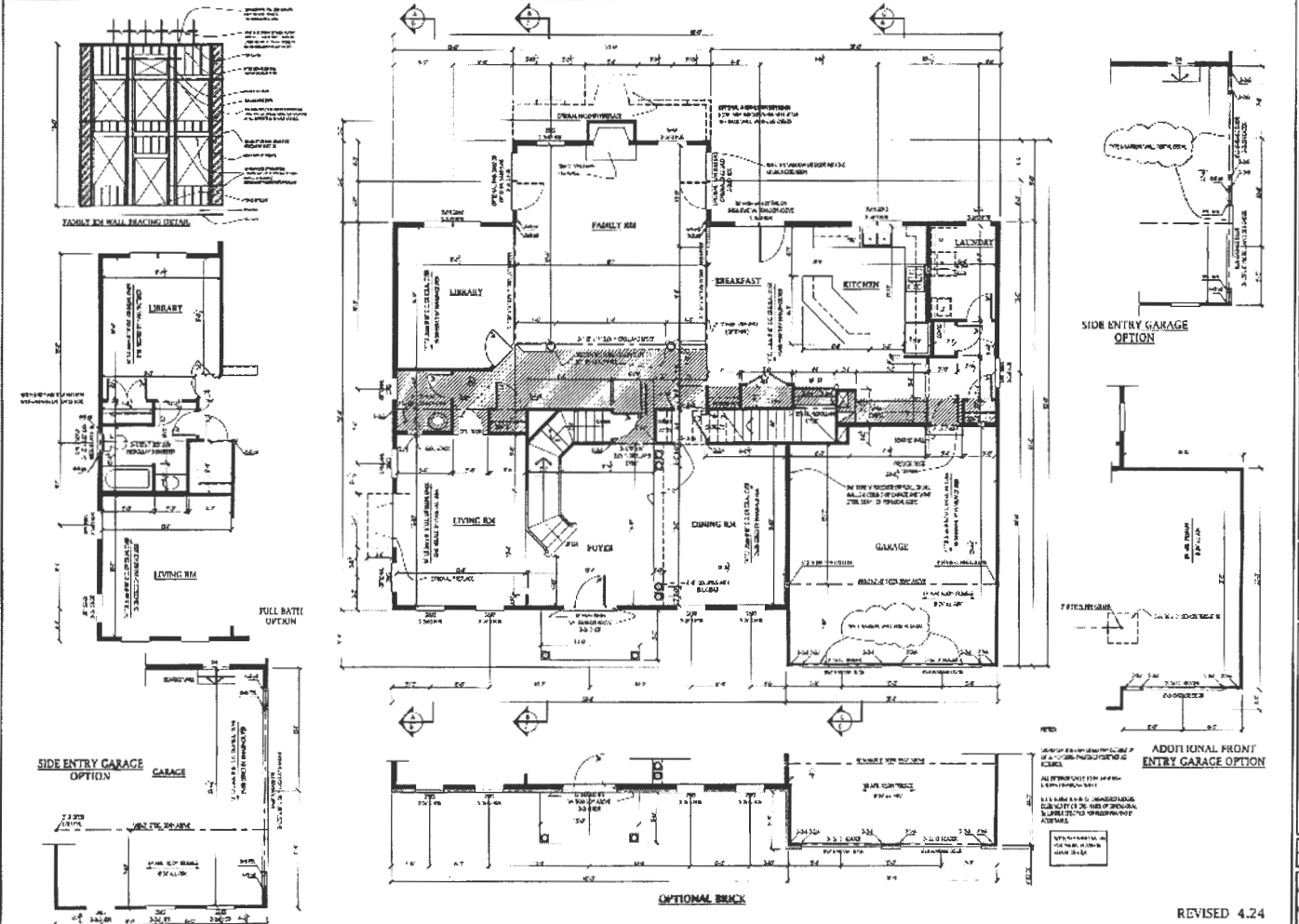
**Plymouth Road Architects**  
 640 Plymouth Road, Calverville, MD 21229 410-764-0281

DATE	8/15/07
SCALE	1/4" = 1'-0"
PROJECT	WILLIAMSBURG GROUP
PROJECT NO.	2a

**NOTES:**

1. FOUNDATION SHALL BE CONCRETE ON 4" SAND OR 6" GRAVEL.
2. ALL FOUNDATIONS SHALL BE 12" WIDE.
3. ALL FOUNDATIONS SHALL BE 12" DEEP.
4. ALL FOUNDATIONS SHALL BE 12" HIGH.
5. ALL FOUNDATIONS SHALL BE 12" LONG.
6. ALL FOUNDATIONS SHALL BE 12" WIDE.
7. ALL FOUNDATIONS SHALL BE 12" DEEP.
8. ALL FOUNDATIONS SHALL BE 12" HIGH.
9. ALL FOUNDATIONS SHALL BE 12" LONG.
10. ALL FOUNDATIONS SHALL BE 12" WIDE.
11. ALL FOUNDATIONS SHALL BE 12" DEEP.
12. ALL FOUNDATIONS SHALL BE 12" HIGH.
13. ALL FOUNDATIONS SHALL BE 12" LONG.
14. ALL FOUNDATIONS SHALL BE 12" WIDE.
15. ALL FOUNDATIONS SHALL BE 12" DEEP.
16. ALL FOUNDATIONS SHALL BE 12" HIGH.
17. ALL FOUNDATIONS SHALL BE 12" LONG.
18. ALL FOUNDATIONS SHALL BE 12" WIDE.
19. ALL FOUNDATIONS SHALL BE 12" DEEP.
20. ALL FOUNDATIONS SHALL BE 12" HIGH.





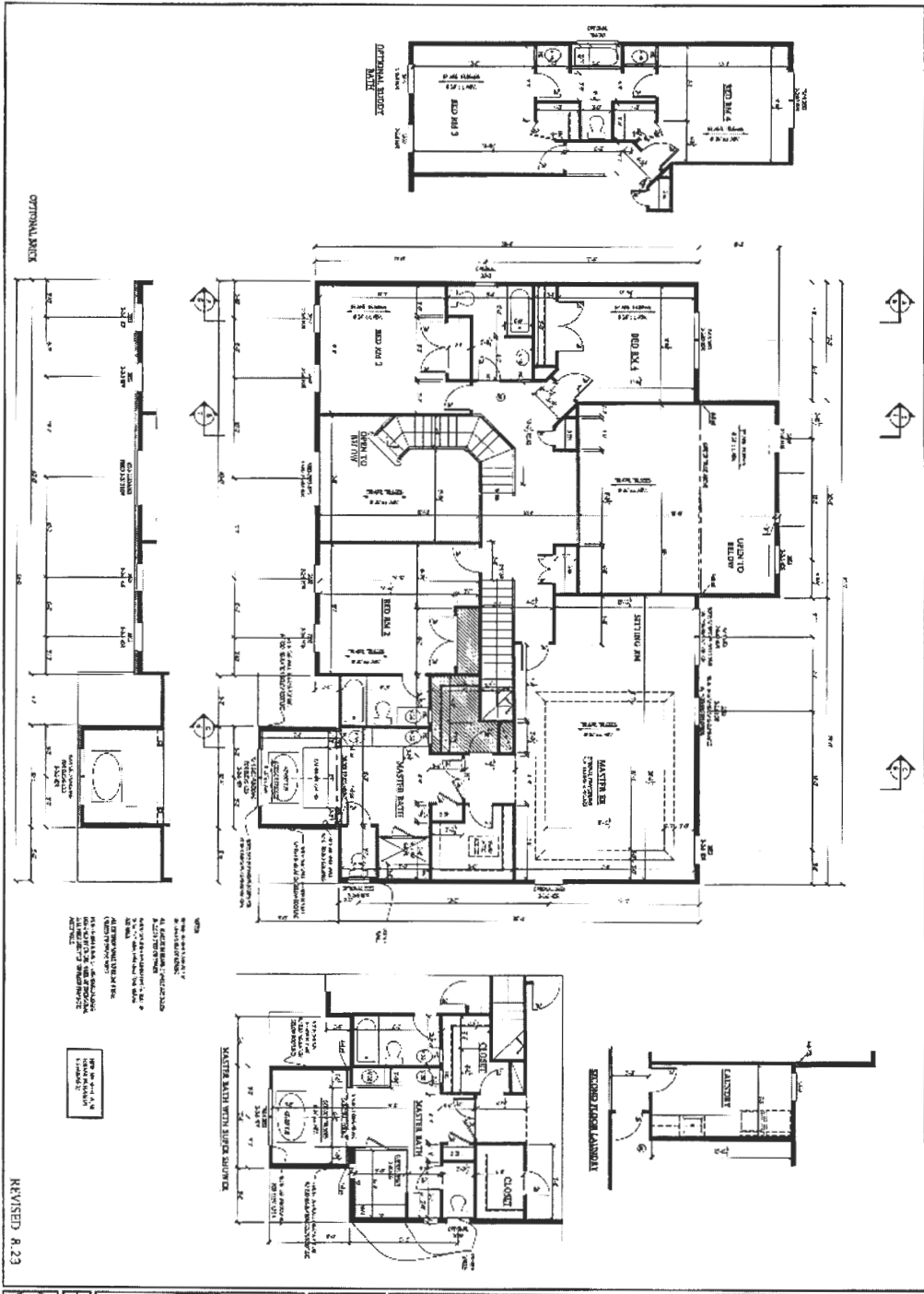
**Plymouth Road Architects**  
 640 Plymouth Road, Cambridge, MD 21729 410-788-0281

DATE: 11/15/11	SCALE: 1/4" = 1'-0"
PROJECT: WILLIAMSBURG GROUP	DESIGNER: JRM
DRAWN: JRM	CHECKED: JRM

DATE: 11/15/11  
 SCALE: 1/4" = 1'-0"  
 PROJECT: WILLIAMSBURG GROUP  
 DESIGNER: JRM  
 DRAWN: JRM

W23104  
 Project No.  
**3**

REVISED 4.24



4

REVISIONS

Drawn: SECOND FLOOR PLAN  
 Project: WILLIAMSBURG GROUP  
 IN CHARLESTON &  
 ESTATE 100MG

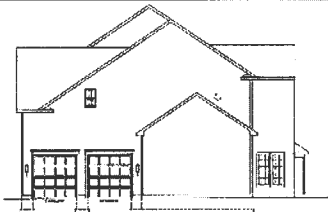
Date: 8/15  
 Scale: 1/4"=1'-0"  
 Drawn: TBM

NO.	DATE	BY	REVISION
1	8/15	TBM	CHANGED TO 1/8"

Plymouth Road Architects  
 640 Plymouth Road, Catonsville, MD 21229 410-788-0281



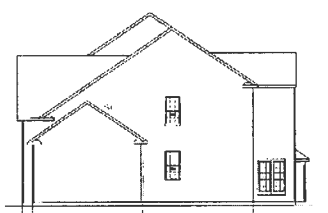




FRONT ELEVATION



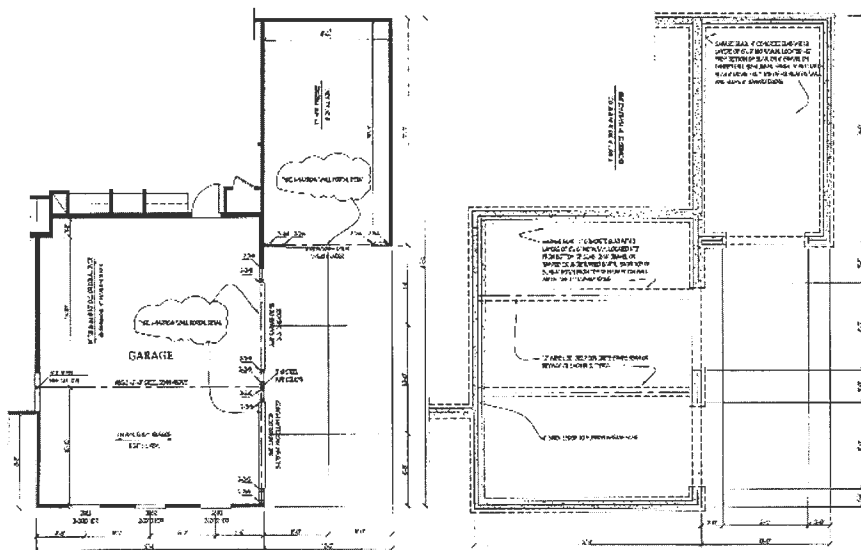
SIDE ELEVATION



REAR ELEVATION



FRONT ELEVATION



NOTE: GARAGE EXTENDS 3' IN THIS CONDITION

REVISED 5.23

**Plymouth Road Architects**  
640 Plymouth Road, Cambridge, MD 21129 410-785-0281

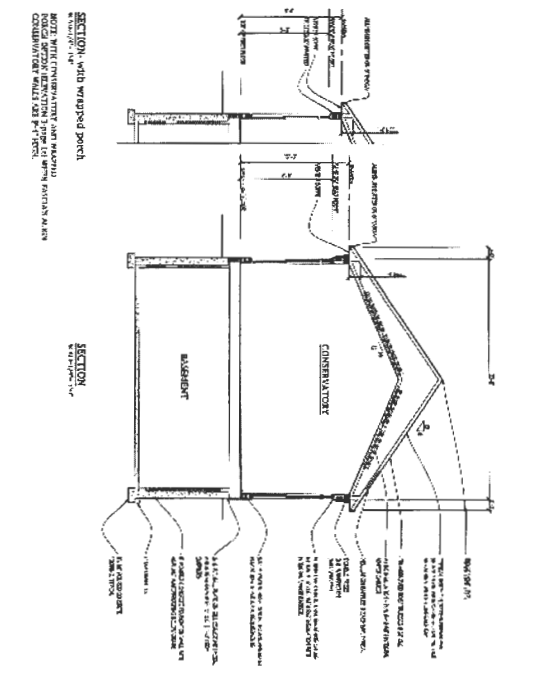
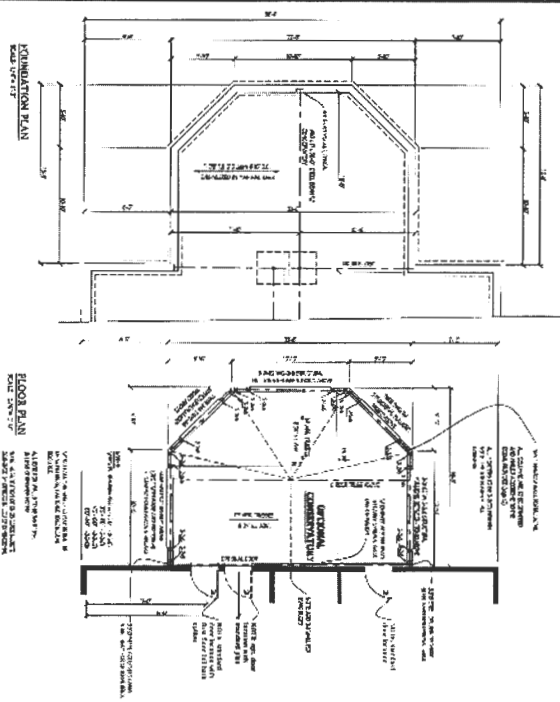
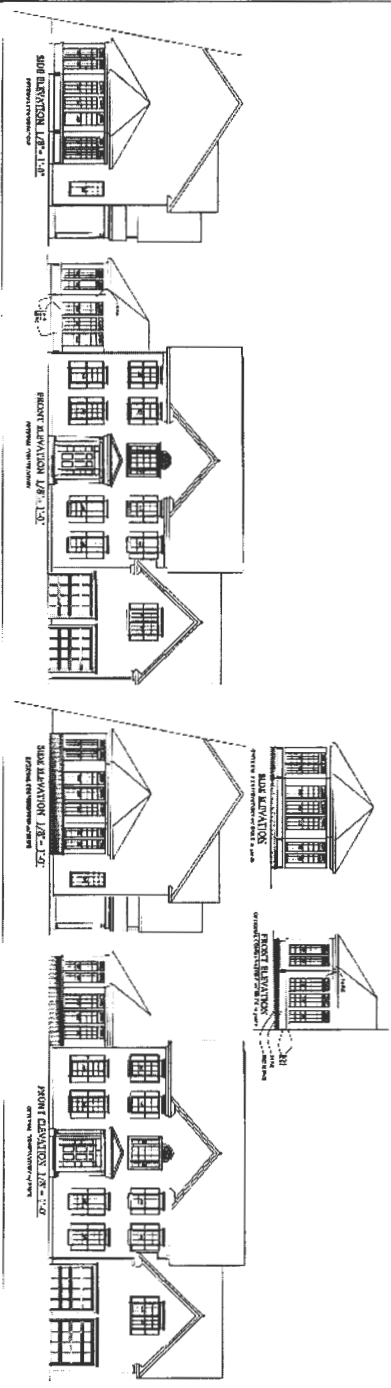
DATE	DESCRIPTION

Date: 6/15  
Scale: 1/4" = 1'-0"  
Drawing: 104

DRAWN BY: JIM CARL GARAGE EPPS & PLANS  
PROJECT: WILLIAMSBURG GROUND  
ROCHESTER  
SQUALL HILL

7/23/14  
Project No.

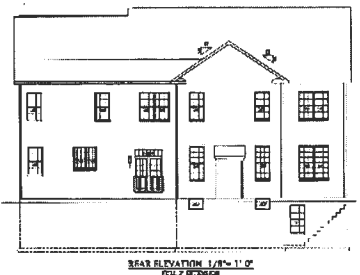
**8b**



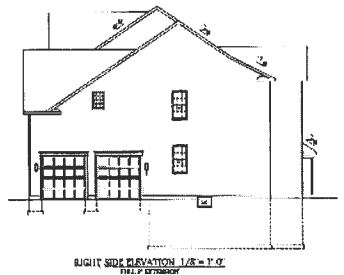
<b>8d</b>	W23 04 PROJECT NO.	Drawing: CONSERVATORY PLANS & ELEVATIONS	Date: 6/15	REV: JAMES	CAD: JAMES	<b>Plymouth Road Architects</b> 640 Plymouth Road, Catonsville, MD 21229 410-788-0261
	Project: WILLIAMSBURG GROUP DORLISTER ESTATE HOME	Scale: 1/4"=1'-0"	Drawn: TCM			

SECTION - with wrapped porch  
 NOTES: WITH CONSERVATORY AND PORCH  
 FOUNDATION SHALL BE 12" MIN. CONCRETE  
 CONSERVATORY SHALL BE 12" MIN. CONCRETE  
 REVISIONS:  
 REVISED 6.23

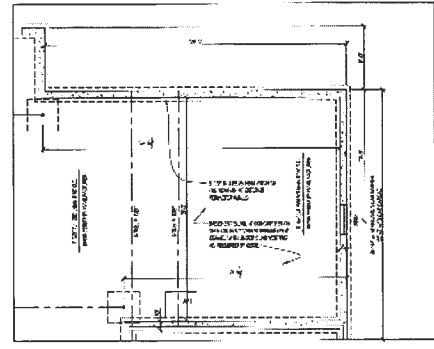




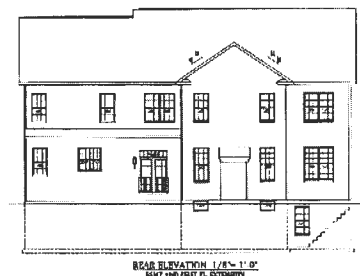
REAR ELEVATION 1/8" = 1'-0"  
FULL 2' EXTENSION



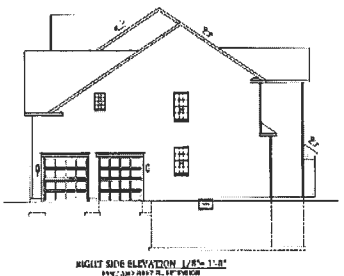
RIGHT SIDE ELEVATION 1/8" = 1'-0"  
FULL 2' EXTENSION



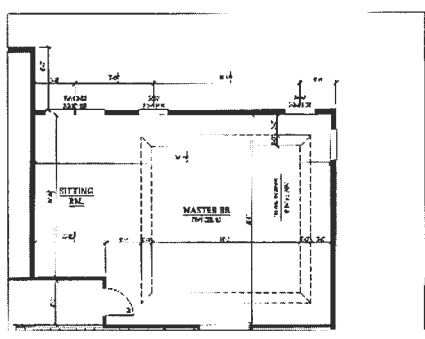
FOUNDATION PLAN 1/4" = 1'-0"  
W/ 2' EXTENSION



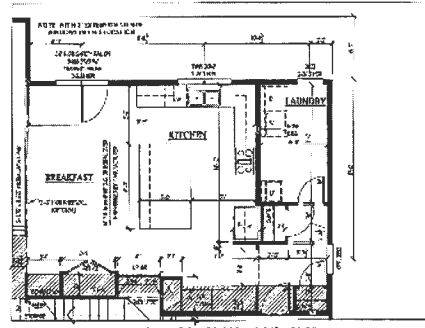
REAR ELEVATION 1/8" = 1'-0"  
LEFT AND RIGHT 2' EXTENSION



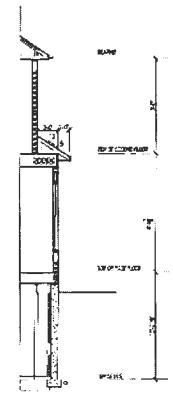
RIGHT SIDE ELEVATION 1/8" = 1'-0"  
EXTENDED FRONT 2' EXTENSION



SECOND FLOOR PLAN 1/4" = 1'-0"  
W/ 2' EXTENSION



FIRST FLOOR PLAN 1/4" = 1'-0"  
W/ 2' EXTENSION



SECTION  
REVISED 5.23

**Plymouth Road Architects**  
640 Plymouth Road, Catonsville, MD 21229 410-788-0281

DATE	2/18
SCALE	AS NOTED
PROJECT	WILLIAMSBURG GROUP
PROJECT NO.	W23 14
DATE	5.23

DATE: 2/18  
SCALE: NOTED  
PROJECT: WILLIAMSBURG GROUP  
PROJECT NO.: W23 14  
DATE: 5.23





1.0 DESIGN CRITERIA

1.1 DESIGN CRITERIA
1.2 DESIGN CRITERIA
1.3 DESIGN CRITERIA

2.0 DESIGN ASSUMPTIONS

- 2.1 GENERAL NOTES
2.2 BUILDING ENVELOPE PROPERTIES

Table with columns: PROPERTY, VALUE, UNIT. Includes properties like Thermal Mass, Thermal Conductivity, etc.

3.0 HEATING & COOLING EQUIPMENT

Table with columns: SYSTEM DESCRIPTION, EQUIPMENT, CAPACITY, etc. Lists various heating and cooling equipment.

3.2 SYSTEM INSTALLATION NOTES

- 3.2.1 SYSTEM INSTALLATION NOTES
3.2.2 SYSTEM INSTALLATION NOTES

4.0 AIR DISTRIBUTION SYSTEM

- 4.1 GENERAL NOTES
4.2 GENERAL NOTES
4.3 GENERAL NOTES

- 4.4 FLEXIBLE DUCTWORK NOTES
4.5 FLEXIBLE DUCTWORK NOTES

5.0 REGISTERS AND GRILLES

- 5.1 GENERAL NOTES
5.2 GENERAL NOTES

Table with columns: TYPE, DESCRIPTION, SIZE, etc. Lists various registers and grilles.

6.0 EXHAUST AND VENTILATION

- 6.1 EXHAUST AND VENTILATION
6.2 EXHAUST AND VENTILATION

DUCT DESIGN SCHEDULE

Table with columns: Name, Volume, Length, etc. Lists ductwork for various rooms.

Table with columns: Name, Volume, Length, etc. Lists ductwork for various rooms.

Table with columns: Name, Volume, Length, etc. Lists ductwork for various rooms.

Table with columns: Name, Volume, Length, etc. Lists ductwork for various rooms.

Table with columns: Name, Volume, Length, etc. Lists ductwork for various rooms.

HVAC LEGEND

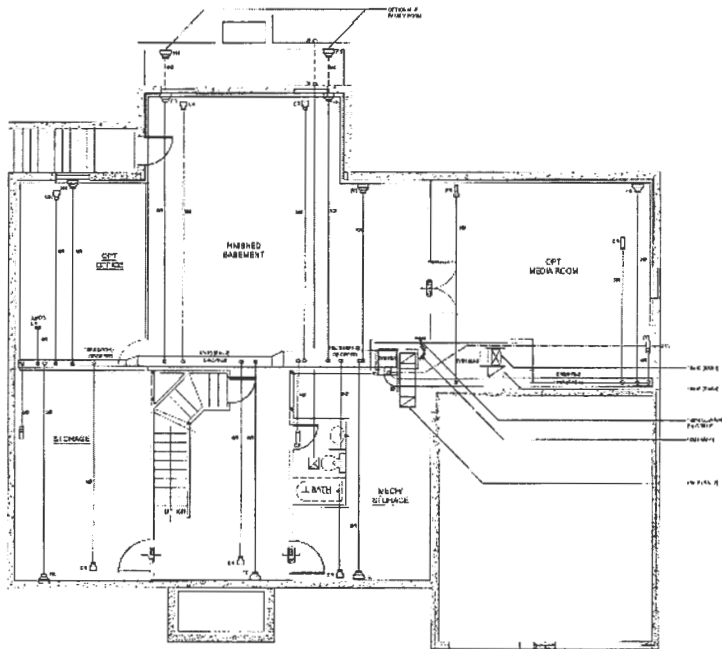
HVAC LEGEND containing symbols and descriptions for various HVAC components like registers, grilles, ducts, etc.

Williamsburg Homes logo and project information including address, date, and contact details.

MECHANICAL PLAN information including project name, date, and scale.

**\*\*\*IMPORTANT NOTE\*\*\***

THE DUCT SIZING AND SYSTEM SPECIFICATIONS ARE BASED ON THE WORST CASE OPTION COMBINATION AND ORIENTATION FOR THIS PLAN. LOT SPECIFIC LOAD CALCULATIONS AND DUCT SIZING ARE REQUIRED FOR CONSTRUCTION.



**FINISHED BASEMENT**

- HVAC PLAN KEY NOTES**
01. UNLESS OTHERWISE NOTED, ALL ROOMS SHALL BE HEATED AND COOLED.
  02. UNLESS OTHERWISE NOTED, ALL ROOMS SHALL BE VENTILATED.
  03. UNLESS OTHERWISE NOTED, ALL ROOMS SHALL BE DEHUMIDIFIED.
  04. UNLESS OTHERWISE NOTED, ALL ROOMS SHALL BE FILTRATED.
  05. UNLESS OTHERWISE NOTED, ALL ROOMS SHALL BE EXHAUSTED.
  06. UNLESS OTHERWISE NOTED, ALL ROOMS SHALL BE SUPPLIED WITH FRESH AIR.
  07. UNLESS OTHERWISE NOTED, ALL ROOMS SHALL BE SUPPLIED WITH OUTDOOR AIR.
  08. UNLESS OTHERWISE NOTED, ALL ROOMS SHALL BE SUPPLIED WITH RECYCLED AIR.
  09. UNLESS OTHERWISE NOTED, ALL ROOMS SHALL BE SUPPLIED WITH EXHAUST AIR.
  10. UNLESS OTHERWISE NOTED, ALL ROOMS SHALL BE SUPPLIED WITH EXHAUST AIR.
  11. UNLESS OTHERWISE NOTED, ALL ROOMS SHALL BE SUPPLIED WITH EXHAUST AIR.
  12. UNLESS OTHERWISE NOTED, ALL ROOMS SHALL BE SUPPLIED WITH EXHAUST AIR.
  13. UNLESS OTHERWISE NOTED, ALL ROOMS SHALL BE SUPPLIED WITH EXHAUST AIR.
  14. UNLESS OTHERWISE NOTED, ALL ROOMS SHALL BE SUPPLIED WITH EXHAUST AIR.
  15. UNLESS OTHERWISE NOTED, ALL ROOMS SHALL BE SUPPLIED WITH EXHAUST AIR.
  16. UNLESS OTHERWISE NOTED, ALL ROOMS SHALL BE SUPPLIED WITH EXHAUST AIR.
  17. UNLESS OTHERWISE NOTED, ALL ROOMS SHALL BE SUPPLIED WITH EXHAUST AIR.
  18. UNLESS OTHERWISE NOTED, ALL ROOMS SHALL BE SUPPLIED WITH EXHAUST AIR.
  19. UNLESS OTHERWISE NOTED, ALL ROOMS SHALL BE SUPPLIED WITH EXHAUST AIR.
  20. UNLESS OTHERWISE NOTED, ALL ROOMS SHALL BE SUPPLIED WITH EXHAUST AIR.

**DORCHESTER IV - HVAC PLAN**

**1/4" = 1' 0"**

PROFESSIONAL ENGINEER  
 LICENSE NO. 10000  
 REGISTERED PROFESSIONAL ENGINEER  
 STATE OF MASSACHUSETTS  
 EXPIRES 12/31/2024

**Williamsburg Homes**

PROJECT NO. 1001001102  
 DATE: 10/15/2024  
 DRAWN BY: J. SMITH  
 CHECKED BY: M. JONES  
 APPROVED BY: R. BROWN

**M-101**  
**MECHANICAL**  
**PLAN**  
 FINISHED BASEMENT  
 MASTER PLAN

**APEX**  
 ENGINEERING  
 100 STATE STREET, SUITE 200  
 BOSTON, MA 02109  
 TEL: 617.552.1234  
 FAX: 617.552.1235  
 WWW.APEXENGINEERING.COM

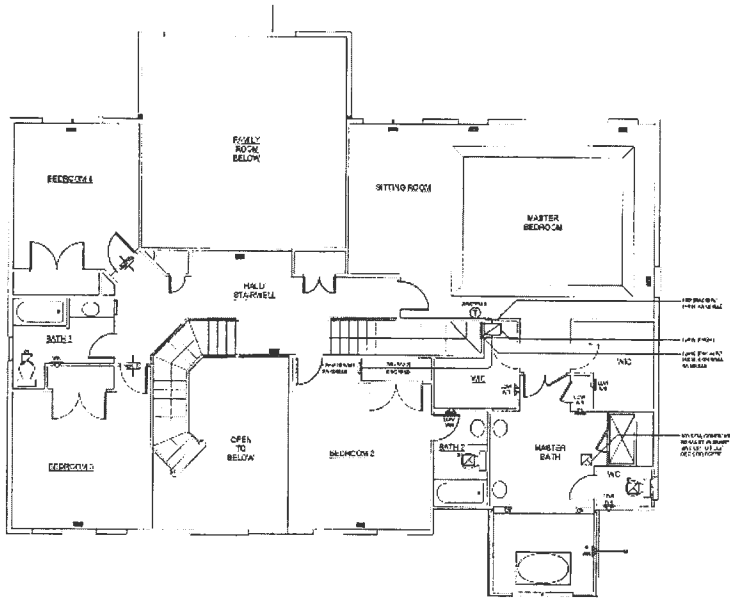


**\*\*\*IMPORTANT NOTE\*\*\***

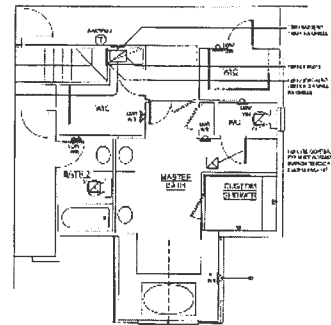
THE DUCT SIZING AND SYSTEM SPECIFICATIONS ARE BASED ON THE WORST CASE OPTION COMBINATION AND ORIENTATION FOR THIS PLAN. LOT SPECIFIC LOAD CALCULATIONS AND DUCT SIZING ARE REQUIRED FOR CONSTRUCTION.

**HVAC PLAN KEY NOTES**

1. UNLESS NOTED OTHERWISE, ALL ROOMS SHALL BE HEATED AND COOLED BY THE SYSTEM DESCRIBED HEREIN.
2. UNLESS NOTED OTHERWISE, ALL ROOMS SHALL BE HEATED AND COOLED BY THE SYSTEM DESCRIBED HEREIN.
3. UNLESS NOTED OTHERWISE, ALL ROOMS SHALL BE HEATED AND COOLED BY THE SYSTEM DESCRIBED HEREIN.
4. UNLESS NOTED OTHERWISE, ALL ROOMS SHALL BE HEATED AND COOLED BY THE SYSTEM DESCRIBED HEREIN.
5. UNLESS NOTED OTHERWISE, ALL ROOMS SHALL BE HEATED AND COOLED BY THE SYSTEM DESCRIBED HEREIN.
6. UNLESS NOTED OTHERWISE, ALL ROOMS SHALL BE HEATED AND COOLED BY THE SYSTEM DESCRIBED HEREIN.
7. UNLESS NOTED OTHERWISE, ALL ROOMS SHALL BE HEATED AND COOLED BY THE SYSTEM DESCRIBED HEREIN.



**SECOND FLOOR**



**OPTIONAL SUPER SHOWER**

**DORCHESTER IV - HVAC PLAN**

**1/4" = 1' 0"**

PROFESSIONAL DESIGN CONTRACT  
 IN ACCORDANCE WITH THE MASSACHUSETTS BOARD OF REGISTERED PROFESSIONAL ENGINEERS AND ARCHITECTS  
 PROJECT NO. 2021-09-162  
 DATE: 08/20/21

APR 15, 2021 10:00 AM  
 1000 WASHINGTON STREET, SUITE 100, BOSTON, MA 02111  
 TEL: 617-552-1234  
 FAX: 617-552-1235  
 WWW.APEXENGINEERING.COM

**Williamsburg Homes**

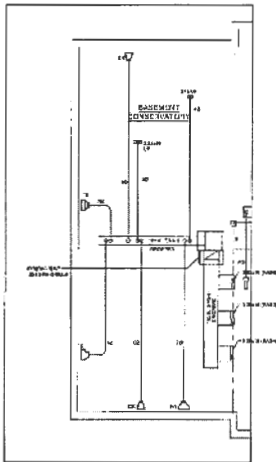
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TYPE:	MECHANICAL PLAN
DATE:	2021.09.162
DESIGNER:	MASTER PLAN
DATE:	
DESIGNER:	Dorchester IV
DATE:	CLB
DESIGNER:	CS
DATE:	
DESIGNER:	
DATE:	



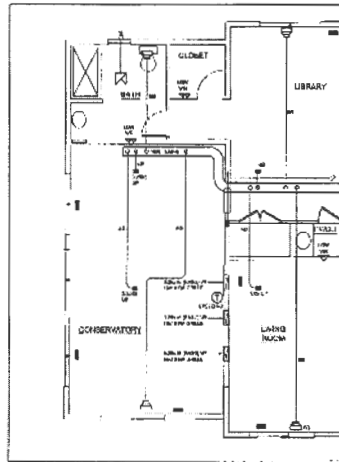


**\*\*\*IMPORTANT NOTE\*\*\***

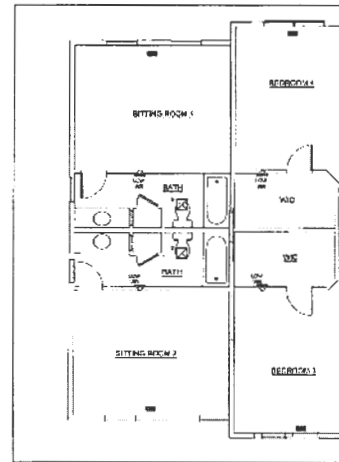
THE DUCT SIZING AND SYSTEM SPECIFICATIONS ARE BASED ON THE WORST CASE OPTION COMBINATION AND ORIENTATION FOR THIS PLAN. LOT SPECIFIC LOAD CALCULATIONS AND DUCT SIZING ARE REQUIRED FOR CONSTRUCTION.



**BASEMENT W/ TWO STORY ADDITION**



**1ST FLOOR CONSERVATORY W/ TWO STORY ADDITION**



**2ND FLOOR DUAL SITTING ROOMS W/ TWO STORY ADDITION**

**DORCHESTER IV OPTIONS**

**1/4" = 1' 0"**

PROFESSIONAL CERTIFICATION  
 ENGINEER CERTIFIED THAT THESE  
 DRAWINGS ARE HIS OWN WORK  
 OR APPROVED BY HIM AND  
 THAT HE IS A LICENSED  
 ARCHITECT IN THE STATE OF  
 MASSACHUSETTS. APEX 0111  
 RIGHTS OF INVENTOR, U.S. PATENT  
 AND TRADEMARK OFFICE, U.S. DEPARTMENT  
 OF COMMERCE

**Williamsburg Homes**

APEX, A.S. NOTICED TO BE IN COMPLIANCE WITH THE NATIONAL ARCHITECTURAL COMPETITION ACT, 1935, AS AMENDED, AND THE NATIONAL ARCHITECTURE ACT, 1937, AS AMENDED, AND THE NATIONAL ARCHITECTURE ACT, 1937, AS AMENDED, AND THE NATIONAL ARCHITECTURE ACT, 1937, AS AMENDED.

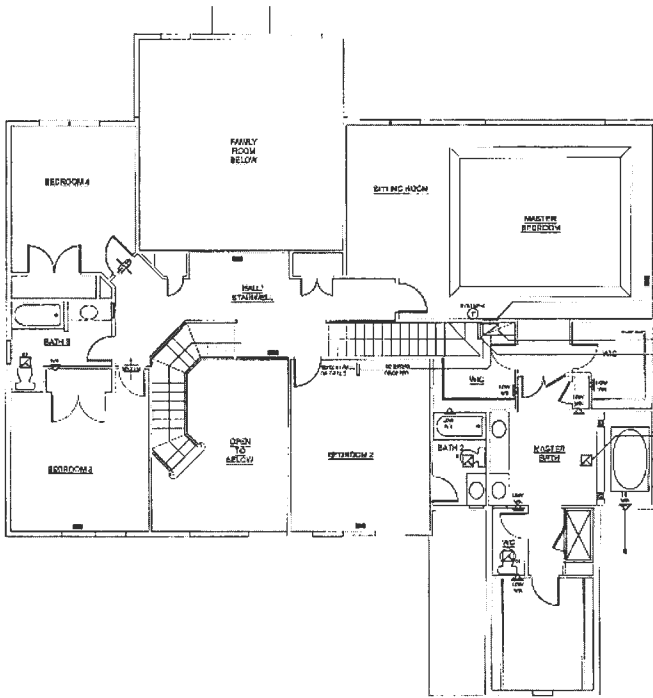
PROJECT NO.	100
DATE	2021.06.11.22
DESCRIPTION	MASTER PLAN
CLIENT	Williamsburg Homes
DESIGNER	APEX
SCALE	1/4" = 1' 0"
DATE	2021.06.11.22
BY	[Signature]
CHECKED BY	[Signature]
DATE	2021.06.11.22



**\*\*\*IMPORTANT NOTE\*\*\***

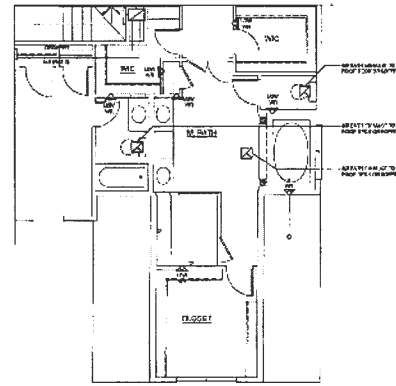
THE DUCT SIZING AND SYSTEM SPECIFICATIONS ARE BASED ON THE WORST CASE OPTION COMBINATION AND ORIENTATION FOR THIS PLAN. LOT SPECIFIC LOAD CALCULATIONS AND DUCT SIZING ARE REQUIRED FOR CONSTRUCTION.

- HVAC PLAN KEY NOTES**
1. UNLESS OTHERWISE NOTED, ALL UNITS SHALL BE SUPPLIED WITH 100% OUTDOOR AIR.
  2. UNLESS OTHERWISE NOTED, ALL UNITS SHALL BE SUPPLIED WITH 100% OUTDOOR AIR.
  3. UNLESS OTHERWISE NOTED, ALL UNITS SHALL BE SUPPLIED WITH 100% OUTDOOR AIR.
  4. UNLESS OTHERWISE NOTED, ALL UNITS SHALL BE SUPPLIED WITH 100% OUTDOOR AIR.
  5. UNLESS OTHERWISE NOTED, ALL UNITS SHALL BE SUPPLIED WITH 100% OUTDOOR AIR.
  6. UNLESS OTHERWISE NOTED, ALL UNITS SHALL BE SUPPLIED WITH 100% OUTDOOR AIR.
  7. UNLESS OTHERWISE NOTED, ALL UNITS SHALL BE SUPPLIED WITH 100% OUTDOOR AIR.
  8. UNLESS OTHERWISE NOTED, ALL UNITS SHALL BE SUPPLIED WITH 100% OUTDOOR AIR.
  9. UNLESS OTHERWISE NOTED, ALL UNITS SHALL BE SUPPLIED WITH 100% OUTDOOR AIR.
  10. UNLESS OTHERWISE NOTED, ALL UNITS SHALL BE SUPPLIED WITH 100% OUTDOOR AIR.



SECOND FLOOR W/ OPTIONAL 3 CAR GARAGE BELOW

Room	Max Fm Load (BTU/hr)	Max Cooling Load (BTU/hr)	Max Heating Load (BTU/hr)	Max Sens. Load (BTU/hr)	Max Latent Load (BTU/hr)	Max Total Load (BTU/hr)	Max Sens. Load (BTU/hr)	Max Latent Load (BTU/hr)	Max Total Load (BTU/hr)
Bedroom 1	1000	1000	1000	1000	1000	1000	1000	1000	1000
Family Room	1500	1500	1500	1500	1500	1500	1500	1500	1500
Living Room	2000	2000	2000	2000	2000	2000	2000	2000	2000
Master Bedroom	1200	1200	1200	1200	1200	1200	1200	1200	1200
Hall	500	500	500	500	500	500	500	500	500
Kitchen	800	800	800	800	800	800	800	800	800
Bath	600	600	600	600	600	600	600	600	600
Bedroom 2	1000	1000	1000	1000	1000	1000	1000	1000	1000
Bedroom 3	1000	1000	1000	1000	1000	1000	1000	1000	1000
Master Bath	800	800	800	800	800	800	800	800	800
Bedroom 4	1000	1000	1000	1000	1000	1000	1000	1000	1000
Bedroom 5	1000	1000	1000	1000	1000	1000	1000	1000	1000
Bedroom 6	1000	1000	1000	1000	1000	1000	1000	1000	1000
Bedroom 7	1000	1000	1000	1000	1000	1000	1000	1000	1000
Bedroom 8	1000	1000	1000	1000	1000	1000	1000	1000	1000
Bedroom 9	1000	1000	1000	1000	1000	1000	1000	1000	1000
Bedroom 10	1000	1000	1000	1000	1000	1000	1000	1000	1000



OPT MASTER BATH W/ SUPER SHOWER

DORCHESTER IV - HVAC PLAN

1/4" = 1' 0"

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Williamsburg Homes

**M-108**  
MECHANICAL PLAN  
PROJECT: DORCHESTER IV  
CLIENT: WILLIAMSBURG HOMES  
DATE: 08/20/24  
DRAWN BY: J. SMITH  
CHECKED BY: M. JONES  
APPROVED BY: A. BROWN  
SCALE: 1/4" = 1' 0"



June 24, 2024

To Whom it May concern:

This letter is to clarify what is being finished in the basement at Hickory ridge Farm lot 2,  
13044 Highland Road, permit #B24002083. The basement area and the full bath are the only areas  
being finished, The office and the media room are not being finished.

Thank you.

Marina Morris

Sales and Settlement Coordinator

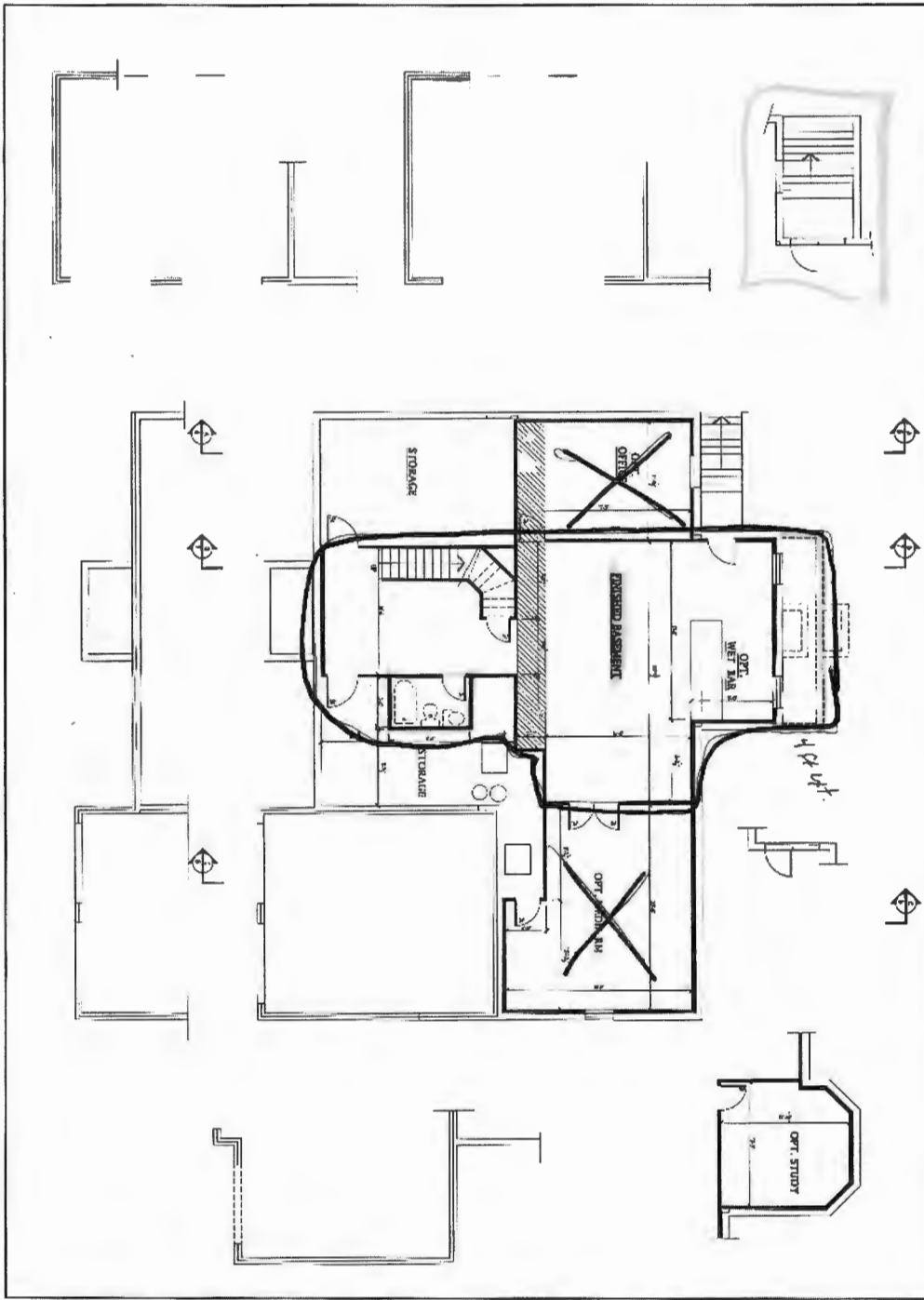
Williamsburg Group, LLC

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410-997-8800 FAX 410-997-4358 [www.WILLIAMSBURGLLC.COM](http://www.WILLIAMSBURGLLC.COM) MHBR # 155





<b>2b</b>	Drawing: FINISHED BSMT PLAN Project: WILLIAMSBURG GROUP PORCHES 4 ESTATE HOME	Date: 6/15 Scale: 1/4" = 1'-0" Drawn: TM	SHEET NO. 1 TOTAL SHEETS 1	<b>Plymouth Road Architects</b> 640 Plymouth Road, Catonsville, MD 21229 410-788-0281
	ARCHITECT PROJECT NO.	DATE SCALE	SHEET NO. TOTAL SHEETS	
	DRAWN BY CHECKED BY	DATE SCALE	SHEET NO. TOTAL SHEETS	
	PROJECT NO.	DATE SCALE	SHEET NO. TOTAL SHEETS	

## Oswald Jr, Woodin

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**From:** Oswald Jr, Woodin  
**Sent:** Monday, June 24, 2024 9:25 AM  
**To:** mainamorris@williamsburgllc.com  
**Cc:** 'Bruce Harvey'  
**Subject:** Floor Plan\_13044 Highland Road  
**Attachments:** Septic Plan\_13044 Highland Road.pdf

Hi Marina,

Good morning. I'm currently reviewing the building permit for 13044 Highland Road, and I have a question and a concern about the floor plan. Is the room on the 2<sup>nd</sup> floor labeled "Family Room Below" an actual room or is it open to below? Also, it looks like there are 4 bedrooms on the 2<sup>nd</sup> floor and 2 rooms labeled "office and media" room in the basement that meet the definition of a bedroom (6 total bedrooms). I mention this because the OSDS Plan is designed for 5 bedrooms (see attachment). Please either revise the OSDS Plan to accommodate a 6<sup>th</sup> BR or reduce the # of BRs to 5 on the floor plan.

Should you have any questions, please don't hesitate to ask.

Regards,

Hank

Hank Oswald  
Licensed Environmental Health Specialist  
Bureau of Environmental Health  
Howard County Health Department  
8930 Stanford Blvd. Columbia, MD 21045  
(410) 313 - 1786  
[www.hchealth.org](http://www.hchealth.org)

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