



Building Permit Application

Howard County Maryland
Department of Inspections, Licenses and Permits
3430 Court House Drive
Permits: 410-313-2455
www.howardcountymd.gov

Date Received: 3-3-2016

Permit No.: P16000812

Building Address: 11957 Osborn Street
City: Farmersville State: MD Zip Code: 20757
Suite/Apt. #: _____ SDP/WP/BA #: _____
Census Tract: _____ Subdivision: Mascoma Park
Section: _____ Area: _____ Lot: 3
Tax Map: 41 Parcel: 67 Grid: _____
Zoning: _____ Map Coordinates: _____ Lot Size: 5770

Existing Use: _____
Proposed Use: _____
Estimated Construction Cost: \$ _____
Description of Work: _____

Occupant or Tenant: _____
Was tenant space previously occupied? Yes No
Contact Name: _____
Address: _____
City: _____ State: _____ Zip Code: _____
Phone: _____ Fax: _____
Email: _____

Property Owner's Name: Garth Sizer (owner)
Address: 11957 Osborn St
City: _____ State: MD Zip Code: 20757
Phone: 301-490-3905 Fax: _____
Email: _____

Applicant's Name & Mailing Address, (if other than stated herein)
Applicant's Name: _____
Address: _____
City: _____ State: _____ Zip Code: _____
Phone: _____ Fax: _____
Email: _____

Contractor Company: _____
Contact Person: _____
Address: _____
City: _____ State: _____ Zip Code: _____
License No.: _____
Phone: _____ Fax: _____
Email: _____

Engineer/Architect Company: _____
Responsible Design Prof.: _____
Address: _____
City: _____ State: _____ Zip Code: _____
Phone: _____ Fax: _____
Email: _____

Commercial Building Characteristics	Residential Building Characteristics	
Height:	<input type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse	
No. of stories:	Depth	Width
Gross area, sq. ft./floor:	1 st floor:	
	2 nd floor:	
Area of construction (sq. ft.):	Basement:	
	<input type="checkbox"/> Finished Basement	
Use group:	<input type="checkbox"/> Unfinished Basement	
	<input type="checkbox"/> Crawl Space	
Construction type:	<input type="checkbox"/> Slab on Grade	
<input type="checkbox"/> Reinforced Concrete	No. of Bedrooms:	
<input type="checkbox"/> Structural Steel	Multi-family Dwelling	
<input type="checkbox"/> Masonry	No. of efficiency units:	
<input type="checkbox"/> Wood Frame	No. of 1 BR units:	
<input type="checkbox"/> State Certified Modular	No. of 2 BR units:	
	No. of 3 BR units:	
	Other Structure:	
	Dimensions:	
<input checked="" type="checkbox"/> Roadside Tree Project Permit	Footings:	
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Roof:	
Roadside Tree Project Permit #	<input type="checkbox"/> State Certified Modular	
	<input type="checkbox"/> Manufactured Home	

Utilities	
Water Supply	
<input type="checkbox"/> Public	
<input type="checkbox"/> Private	
Sewage Disposal	
<input type="checkbox"/> Public	
<input type="checkbox"/> Private	
Electric: <input type="checkbox"/> Yes <input type="checkbox"/> No	
Gas: <input type="checkbox"/> Yes <input type="checkbox"/> No	
Heating System	
<input type="checkbox"/> Electric <input type="checkbox"/> Oil	
<input type="checkbox"/> Natural Gas <input type="checkbox"/> Propane Gas	
<input type="checkbox"/> Other:	
Sprinkler System:	
<input type="checkbox"/> Yes <input type="checkbox"/> No	
Grading Permit Number:	
Building Shell Permit Number:	

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature _____
Email Address _____
Title/Company _____

Print Name _____
Date _____

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY
PLEASE WRITE NEATLY & LEGIBLY
-FOR OFFICE USE ONLY-

AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
Building Officials		
PSZA (Zoning)		
PSZA (Engineering)		
Health	<u>8/17/16</u>	<u>H. Osmond</u>

Is Sediment Control approval required for issuance? Yes No
 CONTINGENCY CONSTRUCTION START

DPZ SETBACK INFORMATION	
Front:	
Rear:	
Side:	
Side St.:	
All minimum setbacks met?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Is Entrance Permit Required?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Historic District?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Lot Coverage for New Town Zone:	
SDP/Red-line approval date:	

Filing Fee	\$
Permit Fee	\$
Tech Fee	\$
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$
Add'l per Fee	\$
Total Fees	\$
Sub-Total Paid	\$
Balance Due	\$
Check	#

5/5/16
Approved

Michael J. Clark hr builder @ comcast.net
Nud BAT inter phone 410-977-1328 CELL

STEPHEN FORNEY
3368 BRANTLY CT
GLEENWOOD, MD. 21738

WAIVER REQUEST:

11954 QUEEN STREET
FULTON, MD. 20759
Permit # B16000812

PERCOLATION CERTIFICATION PLAN

TO: DEPUTY DIRECTOR MIKE DAVIS
THE BUREAU OF ENVIRONMENTAL HEALTH

I BUILT THE HOME FOR THE SUBERS.
ABOUT 2001, WE DON'T PLAN ON
ANY CHANGES TO SEPTIC AREA, THE
EXISTING TRENCHES ARE DETERMINED TO BE
FINE FOR THE HOME WITH THE NEW CHANGES.
WE ARE INCREASING FROM 3 BEDROOMS TO
5 BEDROOMS. THIS WILL REQUIRE A
NEW TANK TO ACCOMMODATE 5 BEDROOMS,
IT WILL BE A HOOT SYSTEM MODEL
600BNR TO ACCOMMODATE 5 BEDROOMS,
NEW CONNECTION FROM HOME TO TANK

NEW CONNECTION TO LINE WHICH
GOES TO THE DISTRIBUTION BOX,
CONFIRM INSPECTION/OBSERVATION PIPES
ON THE THREE TRENCHES, BUMP THE
EXISTING TANKS AND ABANDON THEM,
PER COUNTY INSTRUCTIONS.

SINCE WE ARE NOT MOVING
OR ALTERING THE PERC AREA I
WAS REQUESTING A WAIVER REQUESTING
A PERCOLATION CERTIFICATION PLAN.
I AM HOPING THAT ALL THE INFORMATION
ON FILE AND THE NEW PAPER WORK I'M
SUPPLYING WILL BE ADEQUATE.

THANK YOU
Stephen Lomey



Bureau of Environmental Health

8930 Stanford Boulevard, Columbia, MD 21045

Main: 410-313-2640 | Fax: 410-313-2648

TDD 410-313-2323 | Toll Free 1-866-313-6300

www.hchealth.org

Facebook: www.facebook.com/hocohealth

Twitter: HowardCoHealthDep

Maura J. Rossman, M.D., Health Officer

March 15, 2016

STEPHEN FORNEY
3368 BRANTLY CT
GLENWOOD, MD 21738

Sent via email to: INFO@AEZDESIGN.COM; HRBUILDER@COMCAST.NET;

RE: **B16000812**
11954 Queen Street
Fulton, MD 20759

STEPHEN FORNEY:

This letter is in response to building permit **B16000812**. The building permit application describes a *2-story addition*. Upon review the building permit and site plan, the submittal did not include a copy of the floor plans of the existing house plus proposed changes. The house floor plan (basement, first and second floor) may be hand drawn. Floor plans are necessary to determine if the onsite septic system is sized properly for existing plus proposed number of bedrooms (See attached definition of a bedroom). Additionally, the site plan must include all septic system components (tank, trench and septic reserve area) to ensure setback requirements are being met.

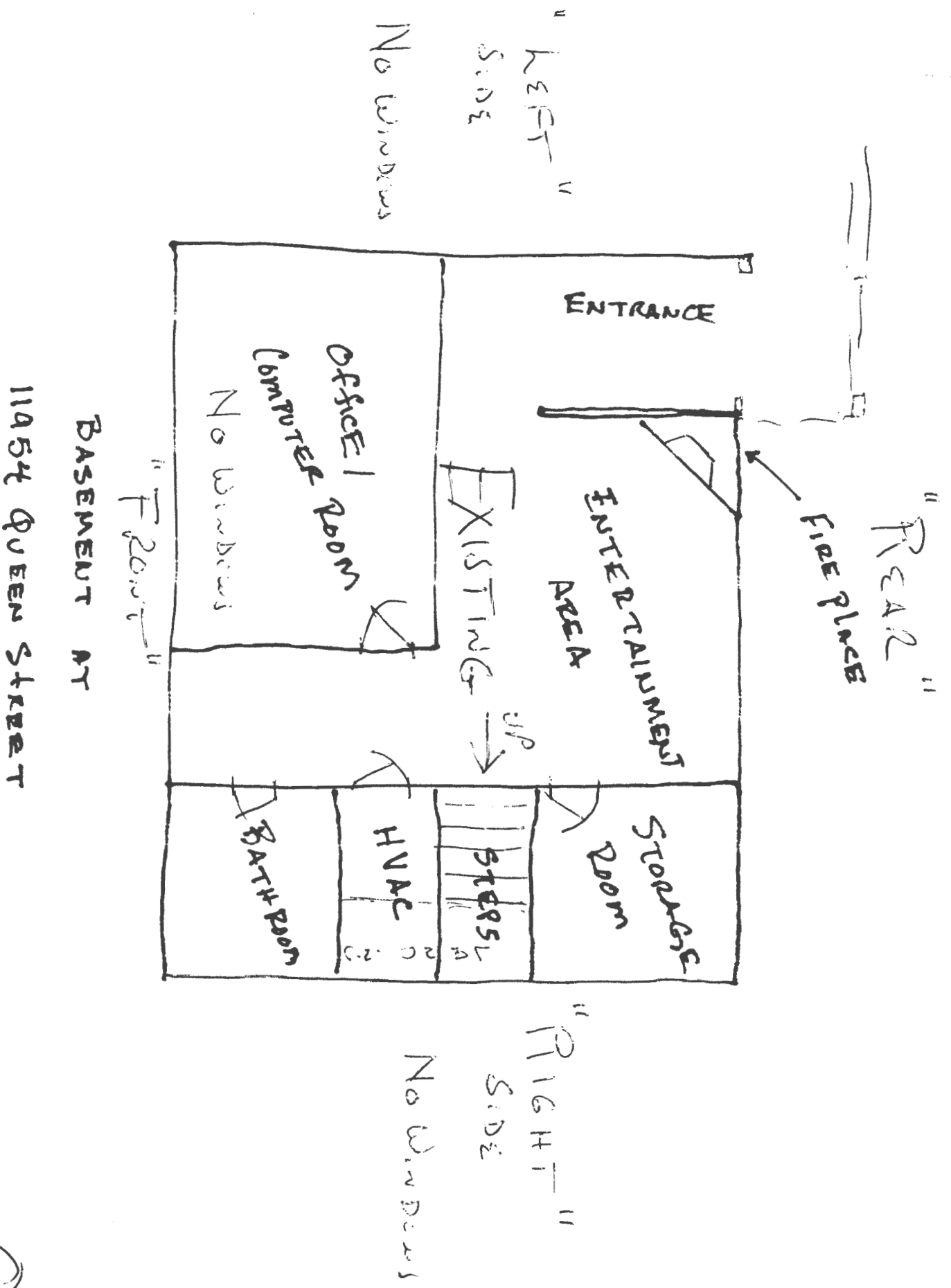
Additionally, under *Howard County Code Sec 3.805*, there must also be an approved percolation certification plan on record prior to Health Department approval of a building permit. If one doesn't exist, then it must be established prior to approval. You may request a waiver to the percolation certification plan requirement in a letter. You must include details of the proposal, the existing conditions on the property including acreage/area, setback details and address the letter to Deputy Director Mike Davis of the Bureau of Environmental Health.

To → Building permit approval is being placed on hold until a site plan along with floor plans, and a percolation certification plan or Waiver request has been forwarded to the Health Department. Should you have any questions, please don't hesitate to ask.

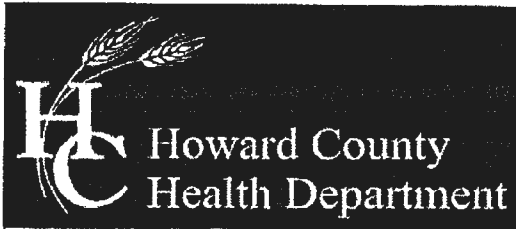
Respectfully,

A handwritten signature in cursive script that reads "Hank Oswald".

Hank Oswald, L.E.H.S
Bureau of Environmental Health
Well & Septic Program



* EXISTING FINISHED BASEMENT "No Bedrooms" (6)



Bureau of Environmental Health

8930 Stanford Boulevard, Columbia, MD 21045

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www.hchealth.org

Facebook: www.facebook.com/hocohealth

Twitter: HowardCoHealthDep

Maura J. Rossman, M.D., Health Officer

SEWAGE DISPOSAL SYSTEM SPECIFICATIONS WORKSHEET

Address: 11954 Queen Street

Subdivision: Lot:

Initial system: Application rate: Effective area beginning depth: Bottom maximum depth:

1st Replacement: Application rate: 0.8 Effective area beginning depth: 5.5/4.5 Bottom maximum depth: 8

2nd Replacement: Application rate: 0.8 Effective area beginning depth: 5/7 Bottom maximum depth: 7.5

Design Flow = 150 gallons per day per bedroom

Design flow + application rate = square footage of drainfield required

Linear length of trench required = drainfield square footage x sidewall reduction percentage + trench width

Sidewall reduction credit formula:

(W+2)/(W+1+2D) x 100 = Percent of length of standard trench where W=trench width and D= depth between effective area beginning depth and trench bottom.

Standard design requirements:

- All trenches must be equal length unless low pressure dosed
All trenches must be on contour
Minimum trench spacing: 10' for all trenches utilizing sidewall reduction credit.
Additional spacing may be necessary for any trench using over 3.5' of effective sidewall.
In those cases, the spacing formula is 2D +W up to a maximum spacing of 18'.
Minimum trench spacing for trenches with no sidewall credit (bottom area only) is 6' for a 2' wide trench and 9' for a 3' wide trench (spacing is measured edge to edge)
Maximum trench length is 100'
Maximum pipe depth is 4'

Additional requirements:

Stay away from hole # B - keep branches to other side towards hole #1 when at bottom of area

Approved: Date:

11954 Queen Street, Fulton_Septic

From : Hank Oswald <hoswald@howardcountymd.gov>

Mon, Dec 14, 2015 10:52 AM

Subject : 11954 Queen Street, Fulton_Septic

To : Stephen Forney (hrbuilder@comcast.net) <hrbuilder@comcast.net>

Hi Mr. Forney:

In order to receive a permit for 5 BRs, both tanks would have to be upgraded to a BAT unit to accommodate 5 BR's. Total trench length required is 227 FT. Existing total length trench is 225 Ft. As long as the observation ports look okay, we would not require additional trench.

I've created a file for this project in our pending records. Should you have any questions, please don't hesitate to ask.

Respectfully,

Hank

Hank Oswald, L.E.H.S.
Howard County Health Department
Bureau of Environmental Health
Well & Septic Program
8930 Stanford Boulevard
Columbia, MD 21045
410.313.1786 (Office)
410.313.2648 (Fax)

RE: 11954 Queen Street, Fulton_Septic

From : Hank Oswald <hoswald@howardcountymd.gov>

Mon, Dec 21, 2015 08:56 AM

Subject : RE: 11954 Queen Street, Fulton_Septic

To : Stephen Forney <hrbuilder@comcast.net>

Hi Stephen:

The minimum septic tank capacity is as follows:

1000 gallon = 3 bedrooms or less

1250 gallon = 1250

Ford each additional bedroom, add 250 gallons

In this scenario as you described, I recommend that you contact a BAT manufacturer like HOOT to see if you can utilize the pump tank with their product and still have enough emergency storage for 5 bedrooms

Should you have questions, please don't hesitate to ask.

Hank.

From: Stephen Forney [mailto:hrbuilder@comcast.net]

Sent: Friday, December 18, 2015 12:58 PM

To: Oswald, Hank

Subject: Re: 11954 Queen Street, Fulton_Septic

Hello Mr. Oswald it's Stephen, I have a question about Queen Street, Is it possible to just replace the septic tank and put a baffle tank in and then that drains into the grinder pump tank which goes up to the trenches? And if it's four bedrooms versus five bedrooms with that make a difference in meeting new tanks? If you could get back to me I greatly appreciate it we're trying to sign a contract and the last thing I want to do is to go back with any extras. Thank you ,Stephen Forney You have my cell phone and email address look forward to hearing from you.

Sent from my iPhone

On Dec 14, 2015, at 10:52 AM, Oswald, Hank <hoswald@howardcountymd.gov> wrote:

Hi Mr. Forney:

In order to receive a permit for 5 BRs, both tanks would have to be upgraded to a BAT unit to accommodate 5 BR's. Total trench length required is 227 FT. Existing total length trench is 225 Ft. As long as the observation ports look okay, we would not require additional trench.

I've created a file for this project in our pending records. Should you have any questions, please don't hesitate to ask.

Respectfully,

Hank

Hank Oswald, L.E.H.S.
Howard County Health Department
Bureau of Environmental Health
Well & Septic Program
8930 Stanford Boulevard
Columbia, MD 21045
410.313.1786 (Office)
410.313.2648 (Fax)

7
7/17/01
Layout
PM
8/29/01
Fulton UP
11 AM
9/20/01
Septic Pump Test
11:00

PERMIT

SEWAGE DISPOSAL SYSTEM

HOWARD COUNTY HEALTH DEPARTMENT
BUREAU OF ENVIRONMENTAL HEALTH

P 515345-B

A 47963

410-313-2640
INDEXED

ISSUE DATE 7/17/2001

APPROVAL DATE 9/20/01

Union Paving Company, Inc IS PERMITTED TO INSTALL X ALTER

ADDRESS 5977 Sandy Ridge Road, Elkridge, MD 21075 PHONE 410-379-6463

SUBDIVISION Malcolm Prop. LOT NUMBER 8 ADDRESS 11954 Queen St., Fulton MD

PROPERTY OWNER Hamilton Reed PROPERTY OWNER'S ADDRESS 8000 Main St., Ellicott City MD 21043

SEPTIC TANK CAPACITY 1000 GALLONS *WATER TIGHT SEPTIC TANK REQUIRED*

PUMP CHAMBER CAPACITY 1000 GALLONS *WATER TIGHT PUMP CHAMBER REQUIRED*

NUMBER OF BEDROOMS 3

SQUARE FEET PER BEDROOM 300

LINEAR FEET OF TRENCH REQUIRED 225

**BUILDING PERMIT SIGNED
AND RETURNED**

5-13-04 800148158-DECK

TRENCHES: Trenches to be 2 feet wide. Inlet 5 feet below original grade. Bottom maximum depth 9 feet below original grade. 4 feet of stone below distribution ~~man~~ pipe.

LOCATION: Starting from the intersection of the 300' and 6889' lot lines, place the distribution box 130' down the 688 lot line and 10' off the same lot line. Run trenches on contour in both directions. Maintain 100' minimum from all wells to all parts of the septic system.

3/20/01 OK (BB)

PLANS APPROVED Mark Rifkin DATE 3/12/01

PERMIT VOID AFTER 2 YEARS

NOTE: CONTRACTOR RESPONSIBLE FOR SCHEDULING A PRE-CONSTRUCTION INSPECTION FOR ALL INSTALLATIONS

NOTE: TOP OF SEPTIC TANKS ARE TO BE NO DEEPER THAN 3.0 FEET BELOW FINISH GRADE

NOTE: WATERTIGHT SEPTIC TANKS REQUIRED

NOTE: CLEANOUT REQUIRED EVERY 70 FEET OF SEWER LINE AND/OR AT 90° SWEEPS IN LINES FROM HOUSE TO DRAIN FIELDS, 90° ELBOWS ARE NOT ACCEPTABLE

NOTE: ALL PARTS OF SEPTIC SYSTEMS (I.E. TANK, DISTRIBUTION BOX, DRAINFIELDS) TO BE 100 FEET FROM ANY WATER WELL UNLESS OTHERWISE SPECIFICALLY AUTHORIZED

NOTE: NO ABSORPTION TRENCH TO EXCEED 100 FEET IN LENGTH UNLESS SPECIFICALLY AUTHORIZED

NOTE: ALL PIPE FROM HOUSE TO SEPTIC TANK MUST BE CAST IRON OR SCHEDULE 35/40 PVC OR ABS

NOTE: MANHOLE RISERS REQUIRED ON ALL SEPTIC TANKS AND PUMP CHAMBERS

NOTE: DISTRIBUTION BOXES MUST HAVE BAFFLES

NOTE: IF PUMPED SEPTIC SYSTEM REQUIRED, (1) SEPTIC PUMP DETAIL TO BE PROVIDED BY INSTALLER PRIOR TO ISSUANCE OF SEPTIC PERMIT (2) PUMP PERFORMANCE TEST IS NECESSARY PRIOR TO HEALTH DEPARTMENT APPROVAL OF SEPTIC PERMIT

NEITHER THE HOWARD COUNTY COUNCIL NOR THE HEALTH DEPARTMENT IS RESPONSIBLE FOR THE SUCCESSFUL OPERATION OF ANY SYSTEM
PERMITTEE RESPONSIBLE FOR OBTAINING FINAL APPROVAL ON THIS PERMIT
CALL 410-313-2640 FOR INSPECTION OF SEPTIC SYSTEM

7012575-12



SEPTIC
AREA

USE

W344

182016
FEBRUARY 18 2016
FEDERAL BUREAU OF INVESTIGATION
U.S. DEPARTMENT OF JUSTICE



Bureau of Environmental Health

8930 Stanford Boulevard, Columbia, MD 21045

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Maura J. Rossman, M.D., Health Officer

March 15, 2016

STEPHEN FORNEY
3368 BRANTLY CT
GLENWOOD, MD 21738

Sent via email to: INFO@AE2DESIGN.COM; HRBUILDER@COMCAST.NET;

RE: B16000812
11954 Queen Street
Fulton, MD 20759

STEPHEN FORNEY:

This letter is in response to building permit **B16000812**. The building permit application describes a *2-story addition*. Upon review the building permit and site plan, the submittal did not include a copy of the floor plans of the existing house plus proposed changes. The house floor plan (basement, first and second floor) may be hand drawn. Floor plans are necessary to determine if the onsite septic system is sized properly for existing plus proposed number of bedrooms (See attached definition of a bedroom). Additionally, the site plan must include all septic system components (tank, trench and septic reserve area) to ensure setback requirements are being met.

Additionally, under *Howard County Code Sec 3.805*, there must also be an approved percolation certification plan on record prior to Health Department approval of a building permit. If one doesn't exist, then it must be established prior to approval. You may request a waiver to the percolation certification plan requirement in a letter. You must include details of the proposal, the existing conditions on the property including acreage/area, setback details and address the letter to Deputy Director Mike Davis of the Bureau of Environmental Health.

Building permit approval is being placed on hold until a site plan along with floor plans, and a percolation certification plan or Waiver request has been forwarded to the Health Department. Should you have any questions, please don't hesitate to ask.

Respectfully,

A handwritten signature in cursive script that reads 'Hank Oswald'.

Hank Oswald, L.E.H.S
Bureau of Environmental Health
Well & Septic Program

Oswald, Hank

From: Oswald, Hank
Sent: Tuesday, March 15, 2016 1:32 PM
To: Stephen Forney (hrbuilder@comcast.net)
Subject: B16000812
Attachments: B16000812_11954 Queen Street_3.2016.pdf; Section 3.801 Bedroom Definition.pdf

Mr. Forney:

Please see attached building permit review letter for 11954 Queen Street, Fulton MD.

Should you have any questions, please don't hesitate to ask.

Respectfully,

Hank

Hank Oswald, L.E.H.S.
Howard County Health Department
Bureau of Environmental Health
Well & Septic Program
8930 Stanford Boulevard
Columbia, MD 21045
410.313.1786 (Office)
410.313.2648 (Fax)

Oswald, Hank

From: Oswald, Hank
Sent: Thursday, May 05, 2016 10:09 AM
To: Stephen Forney (hrbuilder@comcast.net)
Subject: B16000812_11954 Queen Street_Waiver Request Approval_BAT Plan

Mr. Forney:

The waiver to the perc cert plan requirements has been approved. At this time, we will need to see a BAT Plan, and septic upgrade application/fee and eventually the installation of the new BAT unit prior to building permit approval.

Should you have any questions or concerns, please don't hesitate to contact me.

Respectfully,

Hank

Hank Oswald, L.E.H.S.
Howard County Health Department
Bureau of Environmental Health
Well & Septic Program
8930 Stanford Boulevard
Columbia, MD 21045
410.313.1786 (Office)
410.313.2648 (Fax)

Oswald, Hank

From: Oswald, Hank
Sent: Monday, May 09, 2016 8:55 AM
To: 'hrbuilder@comcast.net'
Subject: RE: B16000812_11954 Queen Street_Waiver Request Approval_BAT Plan

Mike Davis should be sending out a letter shortly. Should you require a copy of it sooner, please contact him directly.

From: hrbuilder@comcast.net [<mailto:hrbuilder@comcast.net>]
Sent: Sunday, May 08, 2016 8:56 PM
To: Oswald, Hank
Cc: Stephen Forney
Subject: Re: B16000812_11954 Queen Street_Waiver Request Approval_BAT Plan

Can you send (email) a copy of the Waiver. or should I pick up ?

From: "Hank Oswald" <hoswald@howardcountymd.gov>
To: "Stephen Forney (hrbuilder@comcast.net)" <hrbuilder@comcast.net>
Sent: Thursday, May 5, 2016 10:08:38 AM
Subject: B16000812_11954 Queen Street_Waiver Request Approval_BAT Plan

Mr. Forney:

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Howard County Health Department
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Well & Septic Program
8930 Stanford Boulevard
Columbia, MD 21045
410.313.1786 (Office)
410.313.2648 (Fax)

Oswald, Hank

From: Oswald, Hank
Sent: Thursday, May 05, 2016 10:09 AM
To: Stephen Forney (hrbuilder@comcast.net)
Subject: B16000812_11954 Queen Street_Waiver Request Approval_BAT Plan

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Maura J. Rossman, M.D., Health Officer

March 15, 2016

STEPHEN FORNEY
3368 BRANTLY CT
GLENWOOD, MD 21738

Sent via email to: INFO@AE2DESIGN.COM; HRBUILDER@COMCAST.NET;

RE: B16000812
11954 Queen Street
Fulton, MD 20759

STEPHEN FORNEY:

This letter is in response to building permit **B16000812**. The building permit application describes a *2-story addition*. Upon review the building permit and site plan, the submittal did not include a copy of the floor plans of the existing house plus proposed changes. The house floor plan (basement, first and second floor) may be hand drawn. Floor plans are necessary to determine if the onsite septic system is sized properly for existing plus proposed number of bedrooms (See attached definition of a bedroom). Additionally, the site plan must include all septic system components (tank, trench and septic reserve area) to ensure setback requirements are being met.

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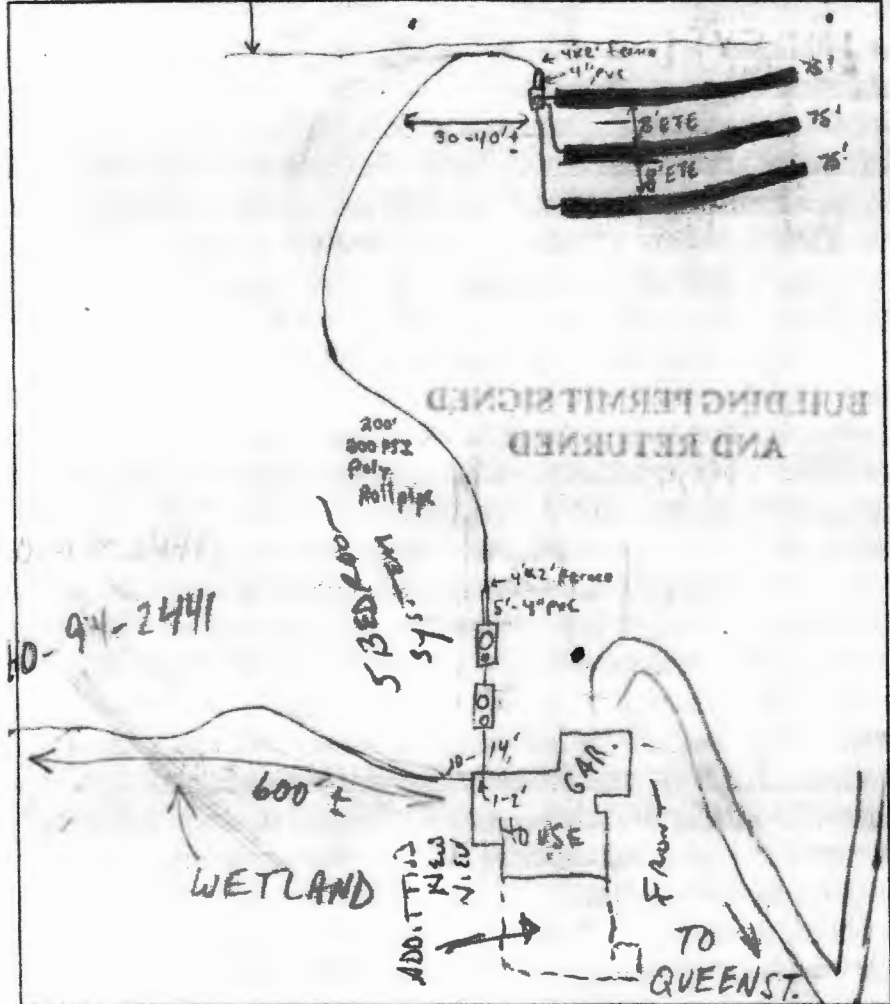
Respectfully,

A handwritten signature in cursive script that reads "Hank Oswald".

Hank Oswald, L.E.H.S
Bureau of Environmental Health
Well & Septic Program

Ex. Buried Power line to be disconnected - new prop. location of power line

NOT TO SCALE



TRENCH DATA	
TRENCH WIDTH	2'
TRENCH INLET DEPTH	5'
TRENCH BOTTOM DEPTH	9'
DEPTH OF STONE	4'
NUMBER OF TRENCHES	3
TOTAL TRENCH LENGTH	225'
ABSORBENT AREA	ft ²
DISTRIBUTION BOX LEVEL	✓
BAFFLE IN DISTRIBUTION BOX	✓
4" Monitoring pipe on DBox	

SEPTIC TANK DATA	
SEPTIC TANK	1000 TS GALLONS
MANHOLE RISER	on center
6 INCH INSPECTION PORT	✓
Baffles In ✓	
PUMP CHAMBER DATA	
PUMP CHAMBER GALLONS	1000 TS
MANHOLE RISER	✓ (200)
ALARM	
PUMP PERFORMANCE TEST	

PRE-CONSTRUCTION INSPECTION: Layout OK - lines on site off high but box on site is OK

INSPECTION COMMENTS: Septic tank & Pump Chamber is installed & OK, Manhole OK - Pump is set, 8/29/01 - Pump & ALARM TEST NEEDED, OK TO COVER ALL WORK (SPL)
7/20/01 Pump and alarm working. (BA)

INSPECTOR B. Baker DATE SYSTEM APPROVED 9/20/01



7/17/01
Layout
PM
8/29/01
Follow up
11 AM
9/20/01
Septic Pump Test
11:00

PERMIT

SEWAGE DISPOSAL SYSTEM

HOWARD COUNTY HEALTH DEPARTMENT
BUREAU OF ENVIRONMENTAL HEALTH

P 516 345-B

A 47963

ISSUE DATE 7/17/2001

APPROVAL DATE 9/20/01

410-313-2640
INDEXED

Union Paving Company, Inc IS PERMITTED TO INSTALL X ALTER

ADDRESS 5977 Sandy Ridge Road, Elkridge, MD 21075 PHONE 410-379-6463

SUBDIVISION Malcolm Prop. LOT NUMBER 8 ADDRESS 11954 Queen St., Fulton MD

PROPERTY OWNER Hamilton Seed PROPERTY OWNER'S ADDRESS 8000 Main St., Ellicott City MD 21043

SEPTIC TANK CAPACITY 1000 GALLONS *WATER TIGHT SEPTIC TANK REQUIRED*

PUMP CHAMBER CAPACITY 1000 GALLONS *WATER TIGHT PUMP CHAMBER REQUIRED*

NUMBER OF BEDROOMS 3

SQUARE FEET PER BEDROOM 300 **BUILDING PERMIT SIGNED AND RETURNED**
5-13-04 800148158-DECK

LINEAR FEET OF TRENCH REQUIRED 225

TRENCHES: Trenches to be 2 feet wide. Inlet 5 feet below original grade. Bottom maximum depth 9 feet below original grade. 4 feet of stone below distribution ~~man~~ pipe.

LOCATION: Starting from the intersection of the 300' and 68899' lot lines, place the distribution box 130' down the 688 lot line and 10' off the same lot line. Run trenches on contour in both directions. Maintain 100' minimum from all wells to all parts of the septic system.

3/20/01 OK BB

PLANS APPROVED Mark Rifkin DATE 3/12/01

PERMIT VOID AFTER 2 YEARS

NOTE: CONTRACTOR RESPONSIBLE FOR SCHEDULING A PRE-CONSTRUCTION INSPECTION FOR ALL INSTALLATIONS

NOTE: TOP OF SEPTIC TANKS ARE TO BE NO DEEPER THAN 3.0 FEET BELOW FINISH GRADE

NOTE: WATERTIGHT SEPTIC TANKS REQUIRED

NOTE: CLEANOUT REQUIRED EVERY 70 FEET OF SEWER LINE AND/OR AT 90° SWEEPS IN LINES FROM HOUSE TO DRAIN FIELDS, 90° ELBOWS ARE NOT ACCEPTABLE

NOTE: ALL PARTS OF SEPTIC SYSTEMS (I.E. TANK, DISTRIBUTION BOX, DRAINFIELDS) TO BE 100 FEET FROM ANY WATER WELL UNLESS OTHERWISE SPECIFICALLY AUTHORIZED

NOTE: NO ABSORPTION TRENCH TO EXCEED 100 FEET IN LENGTH UNLESS SPECIFICALLY AUTHORIZED

NOTE: ALL PIPE FROM HOUSE TO SEPTIC TANK MUST BE CAST IRON OR SCHEDULE 35/40 PVC OR ABS

NOTE: MANHOLE RISERS REQUIRED ON ALL SEPTIC TANKS AND PUMP CHAMBERS

NOTE: DISTRIBUTION BOXES MUST HAVE BAFFLES

NOTE: IF PUMPED SEPTIC SYSTEM REQUIRED, (1) SEPTIC PUMP DETAIL TO BE PROVIDED BY INSTALLER PRIOR TO ISSUANCE OF SEPTIC PERMIT (2) PUMP PERFORMANCE TEST IS NECESSARY PRIOR TO HEALTH DEPARTMENT APPROVAL OF SEPTIC PERMIT

NEITHER THE HOWARD COUNTY COUNCIL NOR THE HEALTH DEPARTMENT IS RESPONSIBLE FOR THE SUCCESSFUL OPERATION OF ANY SYSTEM
PERMITTEE RESPONSIBLE FOR OBTAINING FINAL APPROVAL ON THIS PERMIT
CALL 410-313-2640 FOR INSPECTION OF SEPTIC SYSTEM

7010570-12

of a multi-family dwelling owned by one person, patio, balcony, hallway, or stairwell of a structure or premises, a person shall not store or accumulate a motorcycle, moped, gasoline-powered lawnmower, or other similar equipment that may contain a hazardous material including, without limitation, gasoline.

(C.B. 63, 2004; C.B. 80, 2006, §§ 1, 2)

SUBTITLE 8. ON-SITE SEWAGE DISPOSAL SYSTEMS

Sec. 3.800. Authority; application; purpose.

(a) *Authority.* This subtitle is enacted pursuant to provisions of section 10-103 of the environment article of the Annotated Code of Maryland and provisions of the Code of Maryland Regulations that regulate on-site sewage disposal systems.

(b) *Application.* This subtitle sets forth the minimum requirements that apply to on-site sewage disposal systems for homes and other establishments in Howard County where a public sewerage system is not available. All on-site sewage disposal systems shall be constructed, added to, or altered in accordance with this subtitle.

(c) *Purpose.* The purpose of this subtitle is to protect the public health, safety, and welfare by establishing requirements and procedures for the ownership, operation, repair, and maintenance of on-site sewage disposal systems.

(Ord. No. 81, 2006, § 1)

Sec. 3.801. Definitions.

Terms used in this subtitle have the meanings indicated.

(a) *Approving Authority.* For on-site sewage disposal systems regulated by this subtitle, the approving authority is the Health Officer for Howard County or the Health Officer's designee.

(b) *Bedroom.*

(1) Except as provided in paragraph (2) of this subsection, a bedroom is any space in the conditioned area of a dwelling unit or accessory structure that:

(i) Is 90 square feet or greater in size;

(ii) May be used as a private sleeping area; and

(iii) Has at least one window and one interior door.

(2) If a home office, library, or similar room is proposed, it may not be a bedroom if there is no closet; and

(i) The room contains permanently built-in bookcases around the perimeter of the room, desks, and other features that encumber the room;

(ii) A minimum 4 foot-wide opening, without doors, into another room;

(iii) A half wall (4 foot maximum height) between the room and another room; or

(iv) The room is a first floor room or basement area that does not have direct access to full bathrooms or "roughed in" plumbing that would provide direct access to future full bathroom facilities.

(c) *COMAR.* The Code of Maryland Regulations.

(d) *Conditioned Space.* An area, room, or space normally occupied and being heated or cooled by any equipment for human habitation.

(e) *Domestic Sewage.* The liquid or water-carried wastes (including gray water and water treatment backwash) from all buildings including, but not limited to, residential buildings, bathhouses, clubhouses, floating homes, commercial buildings, and institutions.

(f) *Lot.* "Lot" shall have the meaning stated in COMAR.

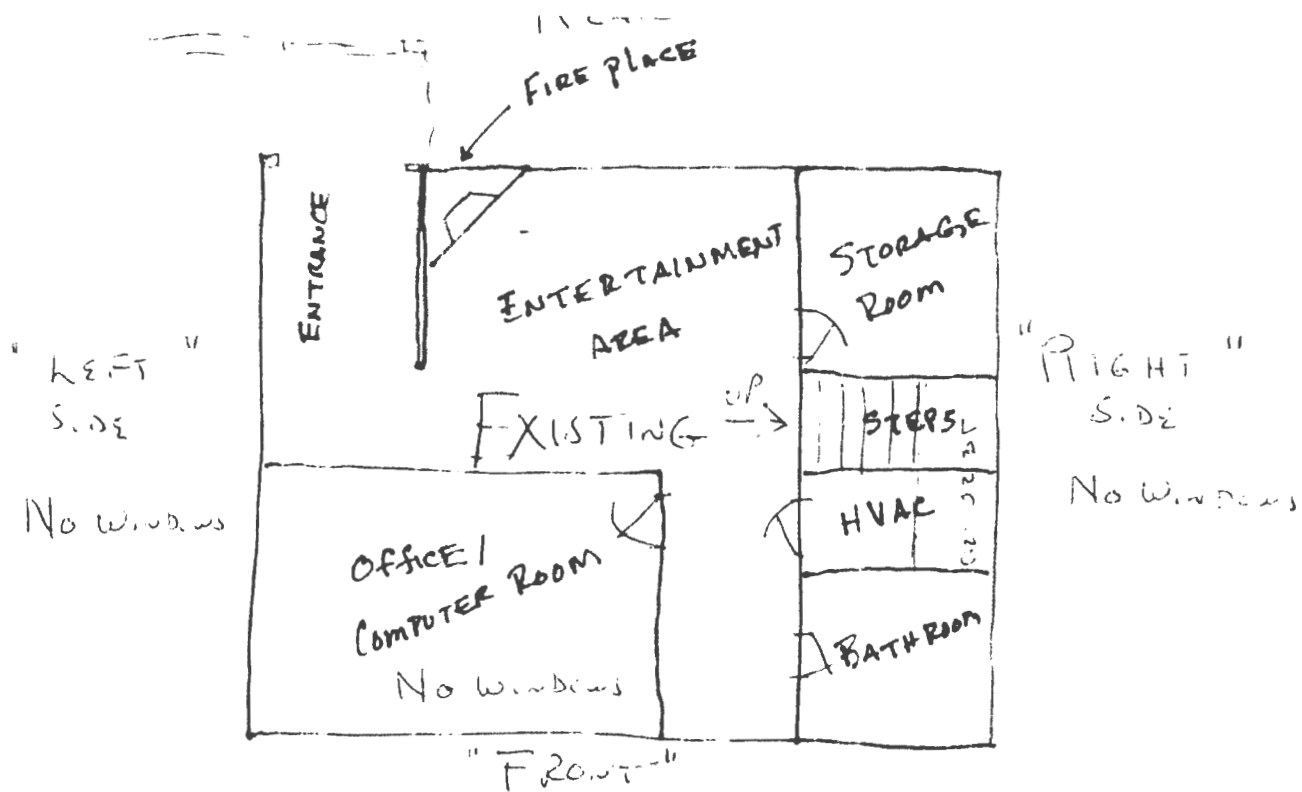
(g) *Minor Septic Repair Permit.* A permit issued for minor repairs or replacement made to an existing septic system component including the septic tank, distribution box, piping, or lift pump station.

(h) *Mound System.* An on-site sewage disposal system utilizing a raised bed of sand fill with a distribution system constructed so as to distribute sewage equally over the ground surface located under the base of the mound.

Respectfully,

Hank

Hank Oswald, L.E.H.S.
Howard County Health Department
Bureau of Environmental Health
Well & Septic Program
8930 Stanford Boulevard
Columbia, MD 21045
410.313.1786 (Office)
410.313.2648 (Fax)



BASEMENT AT
11454 QUEEN STREET

Oswald, Hank

From: Oswald, Hank
Sent: Tuesday, March 15, 2016 1:32 PM
To: Stephen Forney (hrbuilder@comcast.net)
Subject: B16000812
Attachments: B16000812_11954 Queen Street_3.2016.pdf; Section 3.801 Bedroom Definition.pdf

Mr. Forney:

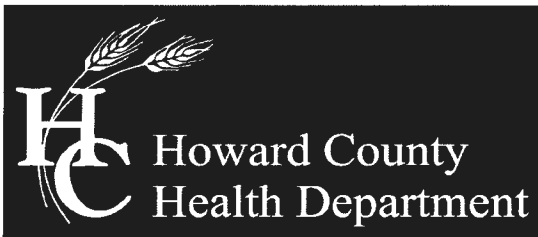
Please see attached building permit review letter for 11954 Queen Street, Fulton MD.

Should you have any questions, please don't hesitate to ask.

Respectfully,

Hank

Hank Oswald, L.E.H.S.
Howard County Health Department
Bureau of Environmental Health
Well & Septic Program
8930 Stanford Boulevard
Columbia, MD 21045
410.313.1786 (Office)
410.313.2648 (Fax)



Bureau of Environmental Health

8930 Stanford Boulevard, Columbia, MD 21045

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TDD 410-313-2323 | Toll Free 1-866-313-6300

www.hchealth.org

Facebook: www.facebook.com/hocohealth

Twitter: [HowardCoHealthDep](https://twitter.com/HowardCoHealthDep)

Maura J. Rossman, M.D., Health Officer

March 15, 2016

STEPHEN FORNEY
3368 BRANTLY CT
GLENWOOD, MD 21738

Sent via email to: INFO@AE2DESIGN.COM; HRBUILDER@COMCAST.NET;

RE: B16000812
11954 Queen Street
Fulton, MD 20759

STEPHEN FORNEY:

This letter is in response to building permit **B16000812**. The building permit application describes a *2-story addition*. Upon review the building permit and site plan, the submittal did not include a copy of the floor plans of the existing house plus proposed changes. The house floor plan (basement, first and second floor) may be hand drawn. Floor plans are necessary to determine if the onsite septic system is sized properly for existing plus proposed number of bedrooms (See attached definition of a bedroom). Additionally, the site plan must include all septic system components (tank, trench and septic reserve area) to ensure setback requirements are being met.

Additionally, under *Howard County Code Sec 3.805*, there must also be an approved percolation certification plan on record prior to Health Department approval of a building permit. If one doesn't exist, then it must be established prior to approval. You may request a waiver to the percolation certification plan requirement in a letter. You must include details of the proposal, the existing conditions on the property including acreage/area, setback details and address the letter to Deputy Director Mike Davis of the Bureau of Environmental Health.

Building permit approval is being placed on hold until a site plan along with floor plans, and a percolation certification plan or Waiver request has been forwarded to the Health Department. Should you have any questions, please don't hesitate to ask.

Respectfully,

A handwritten signature in cursive script that reads 'Hank Oswald'.

Hank Oswald, L.E.H.S
Bureau of Environmental Health
Well & Septic Program