

COPY

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PERMIT NUMBER: B 20004193

DATE ACCEPTED: NOV 13 2020



RESIDENTIAL BUILDING PERMIT APPLICATION

LICENSES & PERMITS

HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES, AND PERMITS

3430 COURT HOUSE DRIVE, ELLICOTT CITY, MD 21043 - PHONE: (410) 313-2455 OPTION #4 www.howardcountymd.gov

BUILDING SITE ADDRESS REQUIRED

Street Address: 15607 Thistle Downs Court, City: Woodbine, State: MD, Zip Code: 21797, Subdivision/Village/Complex Name: Camden Downs, SDP/WP/BA #: , Lot: 2, Tax Map: 8, Parcel: 237, Grading Permit #:

DESCRIPTION OF WORK REQUIRED

Existing Use: New Construction, Proposed Use: Detached Garage Rec. Use, Estimated Cost: \$ 70,000, Trade Work to Be Completed (Separate Permits Required): Mechanical (HVACR) [ ], Electrical [x], Plumbing [ ], None [ ], 30'x60' Pole building garage with concrete floor with 1 story. Building will have electricity but no water or sewage. Ceiling and walls will be insulated.

PROPERTY OWNER INFORMATION REQUIRED

Owner(s) Name(s) (As it appears on tax records): Adam George and Laura Wall, Primary Residence: [x] Yes [ ] No, Owner's Street Address: 15607 Thistle Downs Court, City: Woodbine, State: Maryland, Zip Code: 21797, Phone: 484-678-7238, Email: dsprit2005@yahoo.com

APPLICANT NAME REQUIRED - INDIVIDUAL WHO SIGNS THIS APPLICATION

Business Name: , Contact Name: Adam George, Street Address: 15607 Thistle Downs Court, City: Woodbine, State: Maryland, Zip Code: 21797, Phone: 484-678-7238, Email: dsprit2005@yahoo.com

CONTRACTOR INFORMATION REQUIRED

Business Name: Apex Structures, LLC, Licensee's Name: Apex Structures, LLC, License #: 110050, Street Address: P.O. Box 173, City: New Holland, State: PA, Zip Code: 17557, Phone: 1-800-449-9079, Email: info@apexstructuresllc.com

ARCHITECT/ENGINEER INFORMATION INDIVIDUAL WHO SIGNED PLANS, IF APPLICABLE

Business Name: MAS Engineering, Name: Michael Sinniger, Street Address: 55 Ashley St., City: Lyons, State: NY, Zip Code: 14489, Phone: 315-573-0765, Email: maseng@rochester.rr.com

BUILDING CHARACTERISTICS REQUIRED

Primary Structure: [ ] SF Dwelling [ ] SF Townhouse [ ] SF Duplex [x] Mobile Home [ ] Multi-Family Dwelling (MF\*), Condo: [ ] Yes [x] No, Utilities: [x] Electric [ ] Gas, Water Supply: [ ] Public [ ] Private (Well) N/A, Sewage Disposal: [ ] Public [x] Private (Septic) N/A, Heating System: [ ] Electric [ ] Natural Gas [ ] Propane [ ] Other: None, Roadside Tree Project: [x] No [ ] Yes: #, Sprinkler System: [ ] NFPA 13 [ ] NFPA 13R [ ] NFPA 13D [x] None, Fire Alarm System: [ ] Yes [x] No [ ] Voice Evac

ADDITIONAL RESIDENTIAL INFORMATION (PLEASE SELECT/COMPLETE ALL THAT APPLY)

Model Name & Options: , # of Bedrooms (SF): , # of efficiency units (MF\*): , # of 1 BR (MF\*): , # of 2 BR (MF\*): , # of 3 BR (MF\*): , # Rooms: , # Full Baths: , # Half Baths: , # Fireplaces: , Garage/Carport Info: [ ] Attached Garage [x] Detached Garage [ ] Integral Garage [ ] Carport [ ] None, Basement/Foundation Info: [ ] Slab on Grade [x] Post & Pier [ ] Unfinished Basement [ ] Finished Basement: [ ] Full or [ ] Partial, 1st Fl Width: , 1st Fl Depth: , 2nd Fl Width: , 2nd Fl Depth: , Bsmt Width: , Bsmt Depth: , Energy Method: [ ] Prescriptive [ ] Performance [ ] UA Alternative [ ] ERI, Gross Area: 1,800 sq ft, Occupiable Area: sq ft

AGREEMENT/ DISCALIMER REQUIRED

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

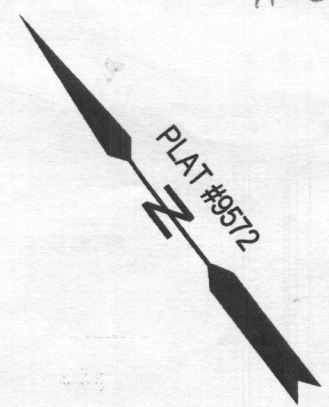
Signature: Adam George, Date Signed: 11/13/2020

FOR OFFICE USE ONLY

CHECKS PAYABLE TO: DIRECTOR OF FINANCE OF HOWARD COUNTY

AGENCIES REQUIRED/APPROVALS: [ ] PR [ ] DPZ [ ] DED [ ] Health [x] [ ] SHA [ ] CID, SUBMITTAL FEES: 165, PAYMENT: 298, ACCEPTED BY: [Signature]

#B20004193



LOT 3  
CAMDEN DOWNS  
SECTION ONE  
LOTS 1 THRU 21  
PLAT # 9572

LOT 1  
CAMDEN DOWNS  
SECTION ONE  
LOTS 1 THRU 21  
PLAT # 9572

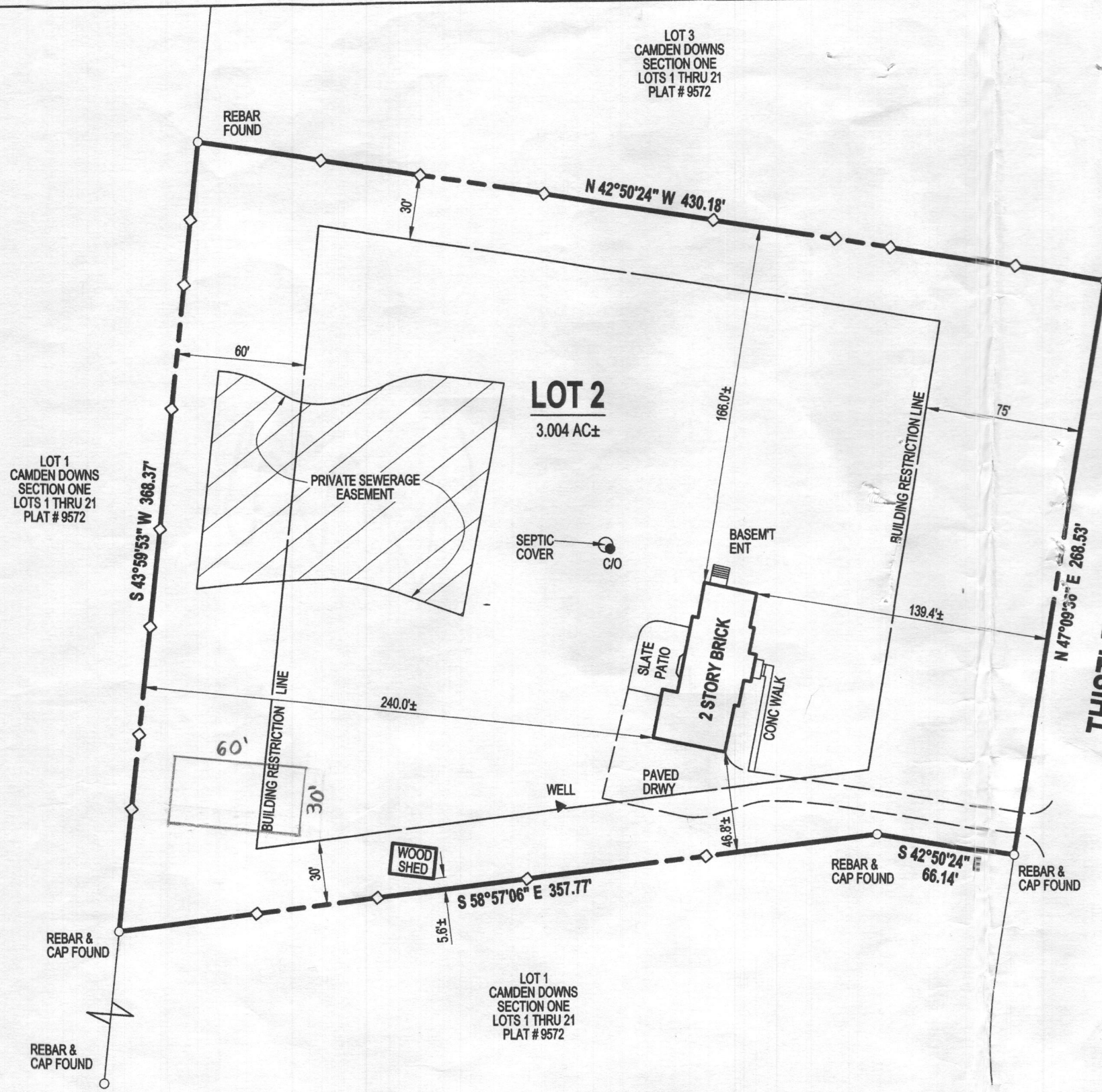
LOT 2  
3.004 AC±

LOT 1  
CAMDEN DOWNS  
SECTION ONE  
LOTS 1 THRU 21  
PLAT # 9572

Approved Septic System Plan  
Howard County Health Department  
*D. Bernard* 2-18-21  
Date  
*B20004193*

SURVEY  
OF  
LOT 2  
**CAMDEN DOWNS**  
SECTION ONE  
LOTS 1 THRU 21  
RECORDED IN PLAT CMP # 9572  
15607 THISTLE DOWNS COURT  
4TH ELECTION DISTRICT, HOWARD CO. MD  
TAX MAP: 8, GRID: 1, PARCEL: 237

**THISTLE DOWNS COURT**  
50' RIGHT OF WAY  
(EXISTING PAVING)



□ = STAKE SET ON PROPERTY LINE AUGUST 19, 2020.

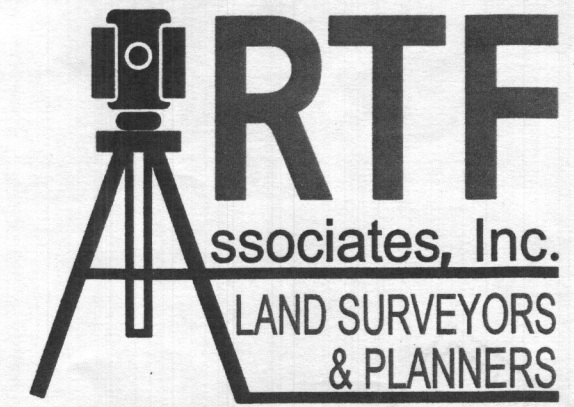
NOTE:  
THIS SURVEY WAS COMPLETED WITHOUT THE BENEFIT OF A TITLE REPORT.

NOTE:  
A LICENSEE EITHER PERSONALLY PREPARED THIS BOUNDARY SURVEY OR WAS IN RESPONSIBLE CHARGE OVER ITS PREPARATION AND THE SURVEY WORK REFLECTED IN IT, IN COMPLIANCE WITH REQUIREMENTS SET FORTH IN §09.13.06.12 OF THE ANNOTATED CODE OF MARYLAND.

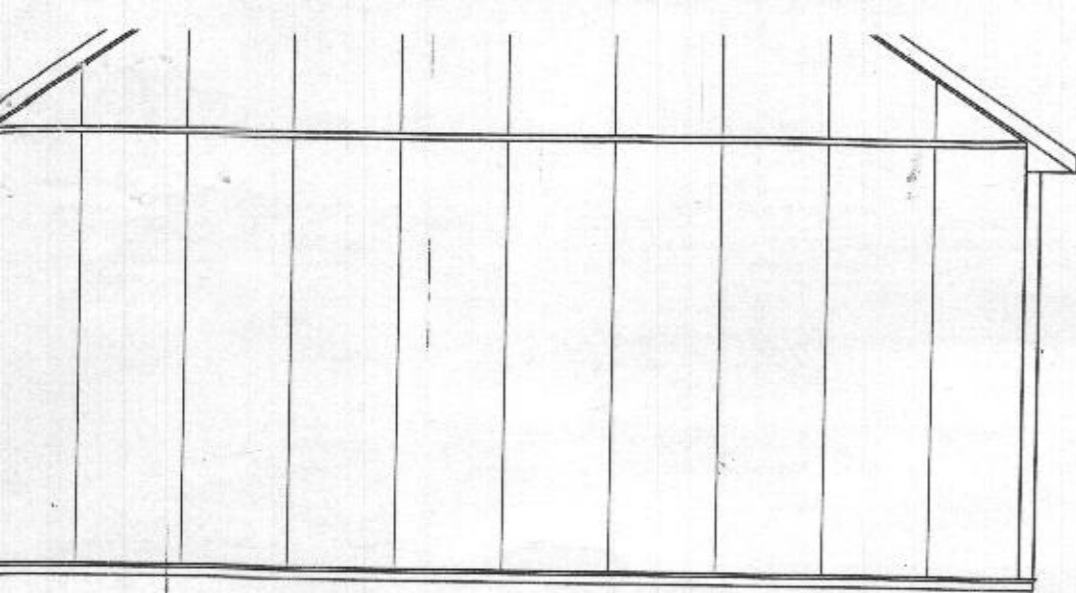
REVISIONS	
DATE	REASON

*John E. Lemmerman*  
**JOHN E. LEMMERMAN**  
REGISTERED PROFESSIONAL LAND SURVEYOR NO. 21096  
EXP. 8-3-21

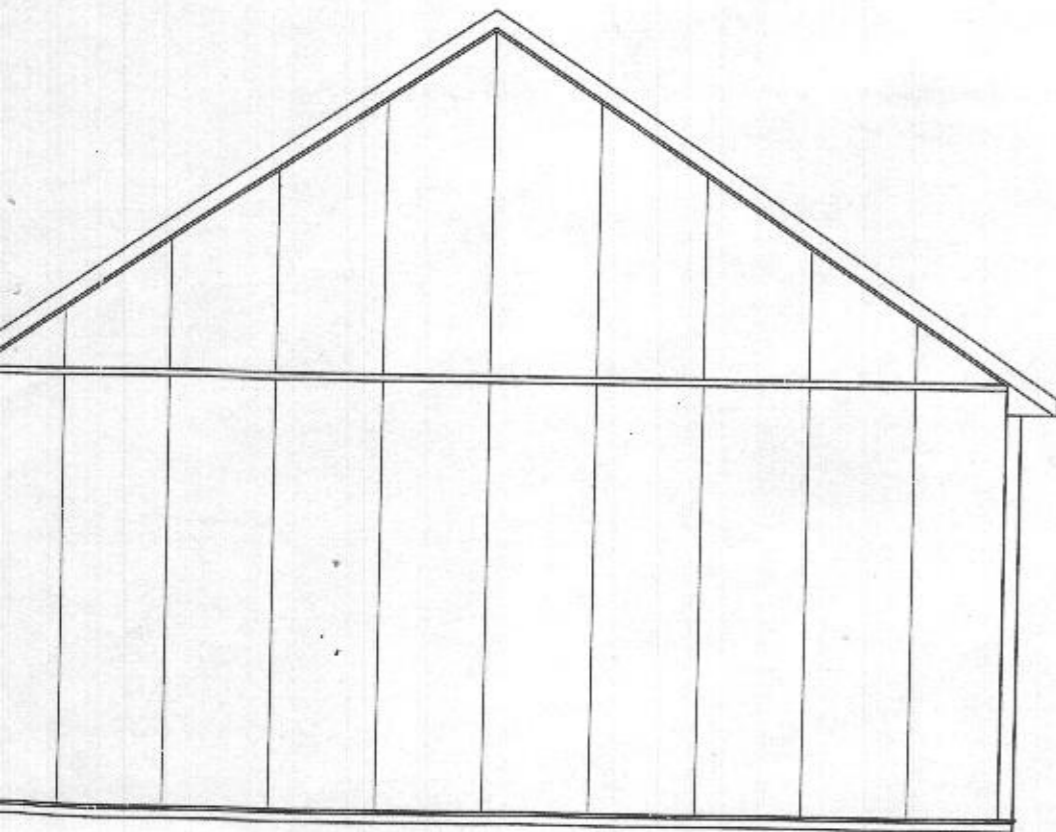
**TITLE REFERENCE**  
ALEXIS N. DANKANICH  
NICHOLAS J. DANKANICH  
ANDREW E. DANKANICH  
W.A.R. 14932 - 223  
JANUARY 28, 2013



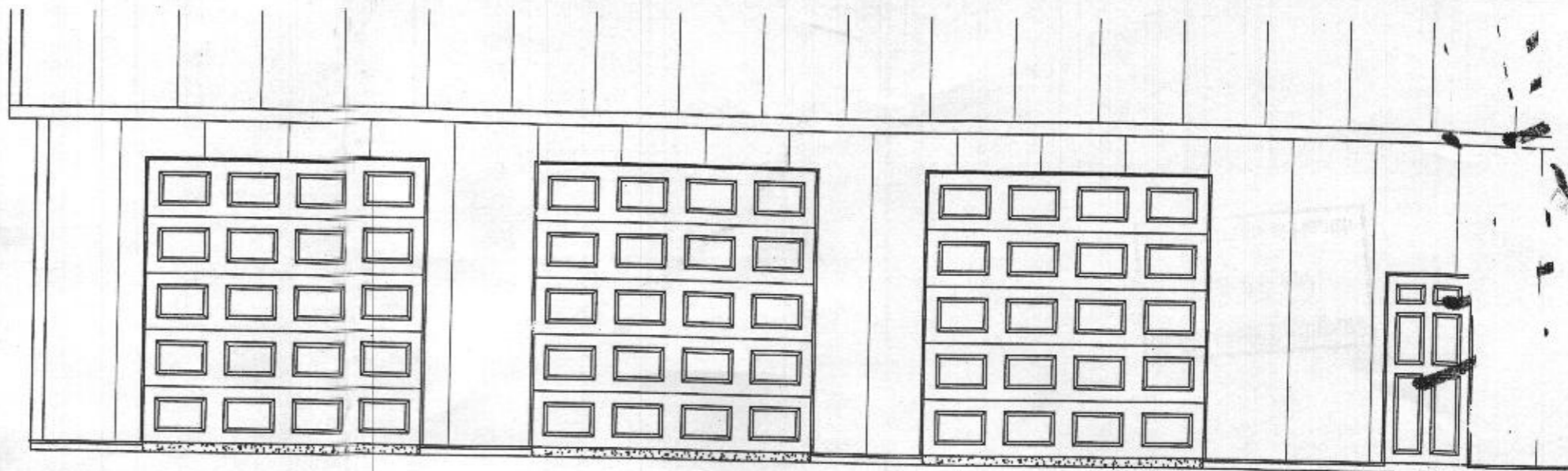
142 EAST MAIN STREET WESTMINSTER, MD 21157  
410-848-2040 FAX# 443-289-8942 410-876-1222  
EMAIL: RTF142@GMAIL.COM WWW.RTFSURVEYING.COM  
CHECKED BY: JEL DATE: 08-24-2020  
DRAWN BY: SP DATE: 08-24-2020  
SCALE: 1" = 60' RTF JOB#: 20-123



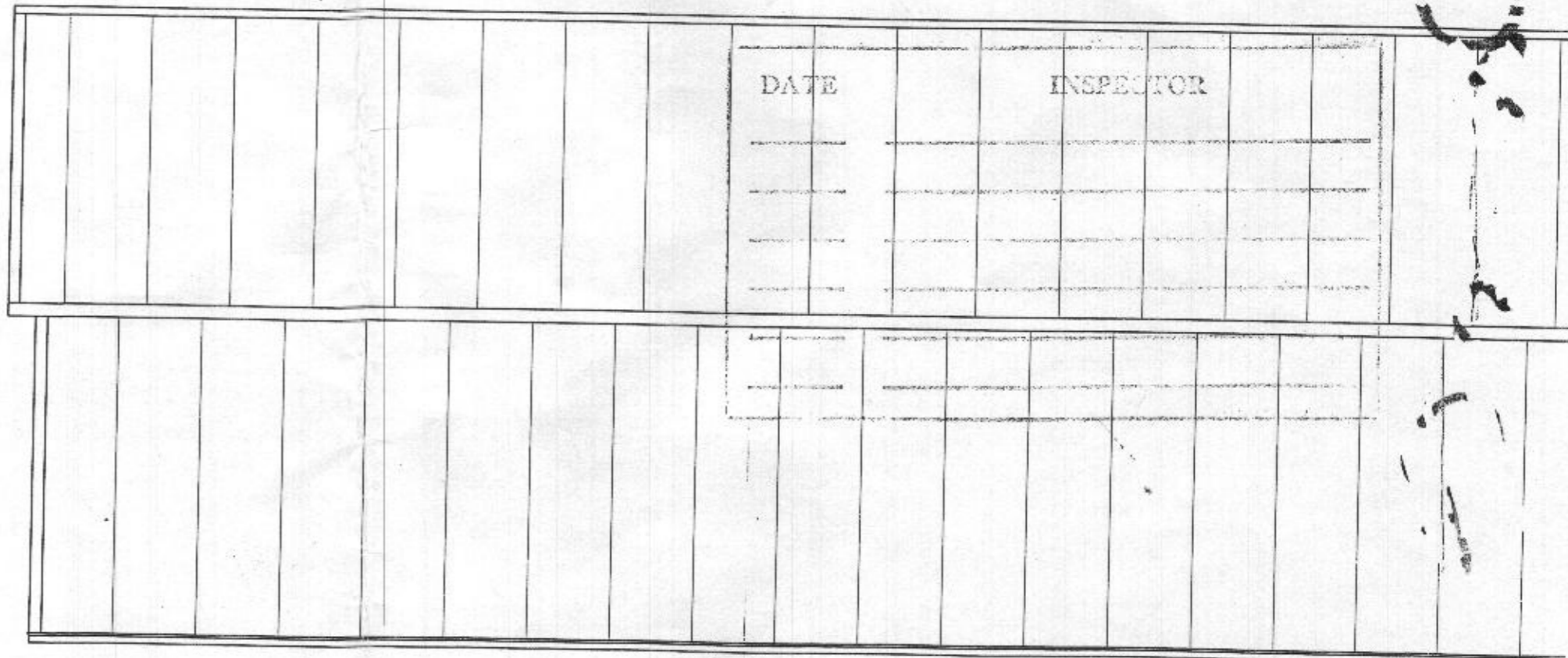
LEFT GABLE ELEVATION  
SCALE:  $\frac{3}{16}$ " = 1'-0"



RIGHT GABLE ELEVATION  
SCALE:  $\frac{3}{16}$ " = 1'-0"



FRONT EAVE ELEVATION  
SCALE:  $\frac{3}{16}$ " = 1'-0"



REAR EAVE ELEVATION  
SCALE:  $\frac{3}{16}$ " = 1'-0"

DATE		INSPECTOR	

REVISION DESCRIPTION:	BY:	DATE:	SEAL:



JOB NAME: ADAM GEORGE  
 15607 THISTLE DOWNS CT  
 WOODBINE, MD 21797  
 SCALE: AS NOTED SIZE: 30' x 60' x 12'-4"  
 SHEET: 1 OF 1 DATE: 7/27/2020  
 JOB SITE: \_\_\_\_\_  
 DRAWING No: S-1

STRUCTURAL GABLE TRUSS

STANDARD ATTIC TRUSS

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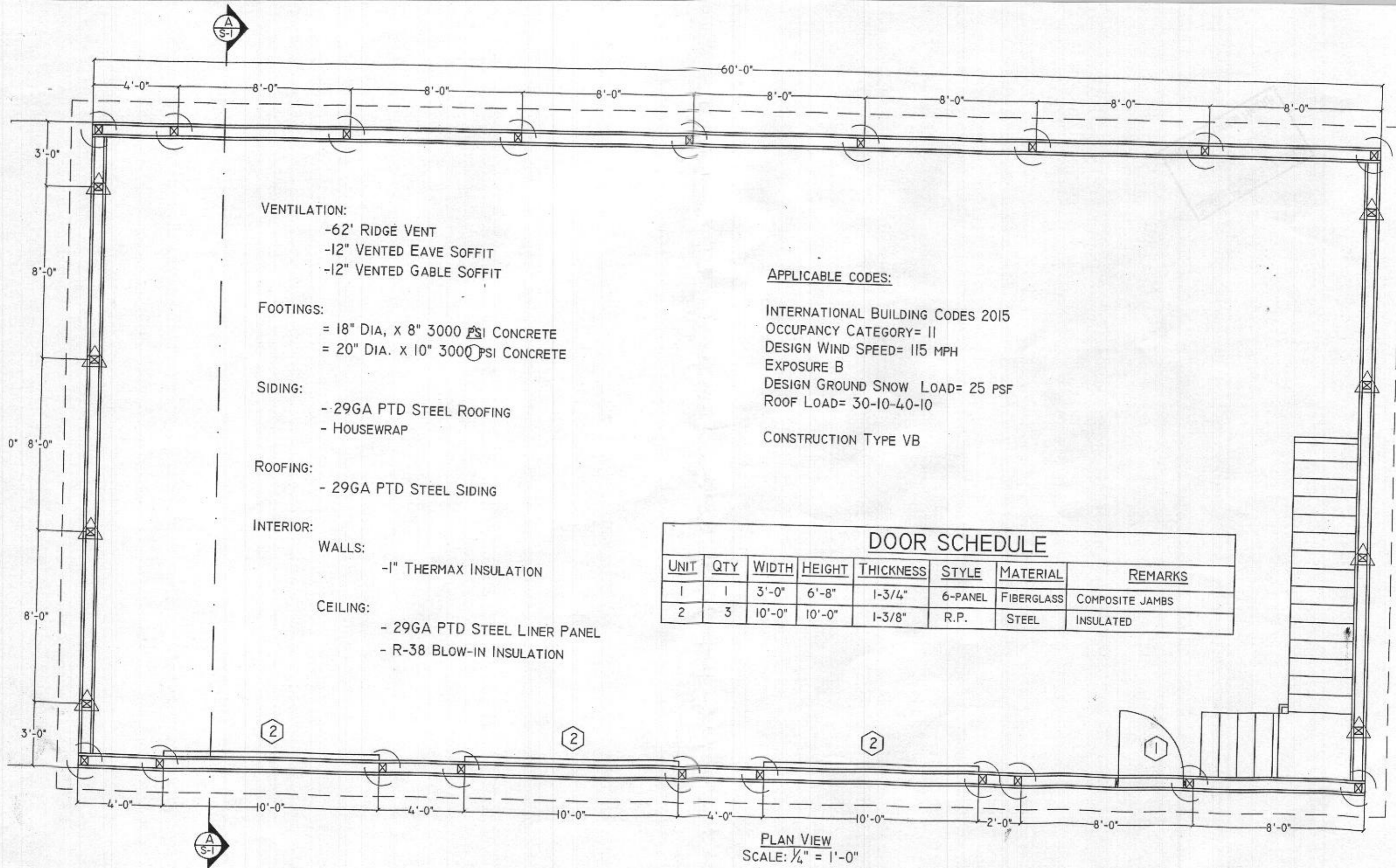
GIRDER ATTIC TRUSS

STRUCTURAL GABLE TRUSS

TRUSS LAYOUT  
SCALE: 1/4" = 1'-0"

30-0'

ENGR. / ARCH:	N
DATE:	

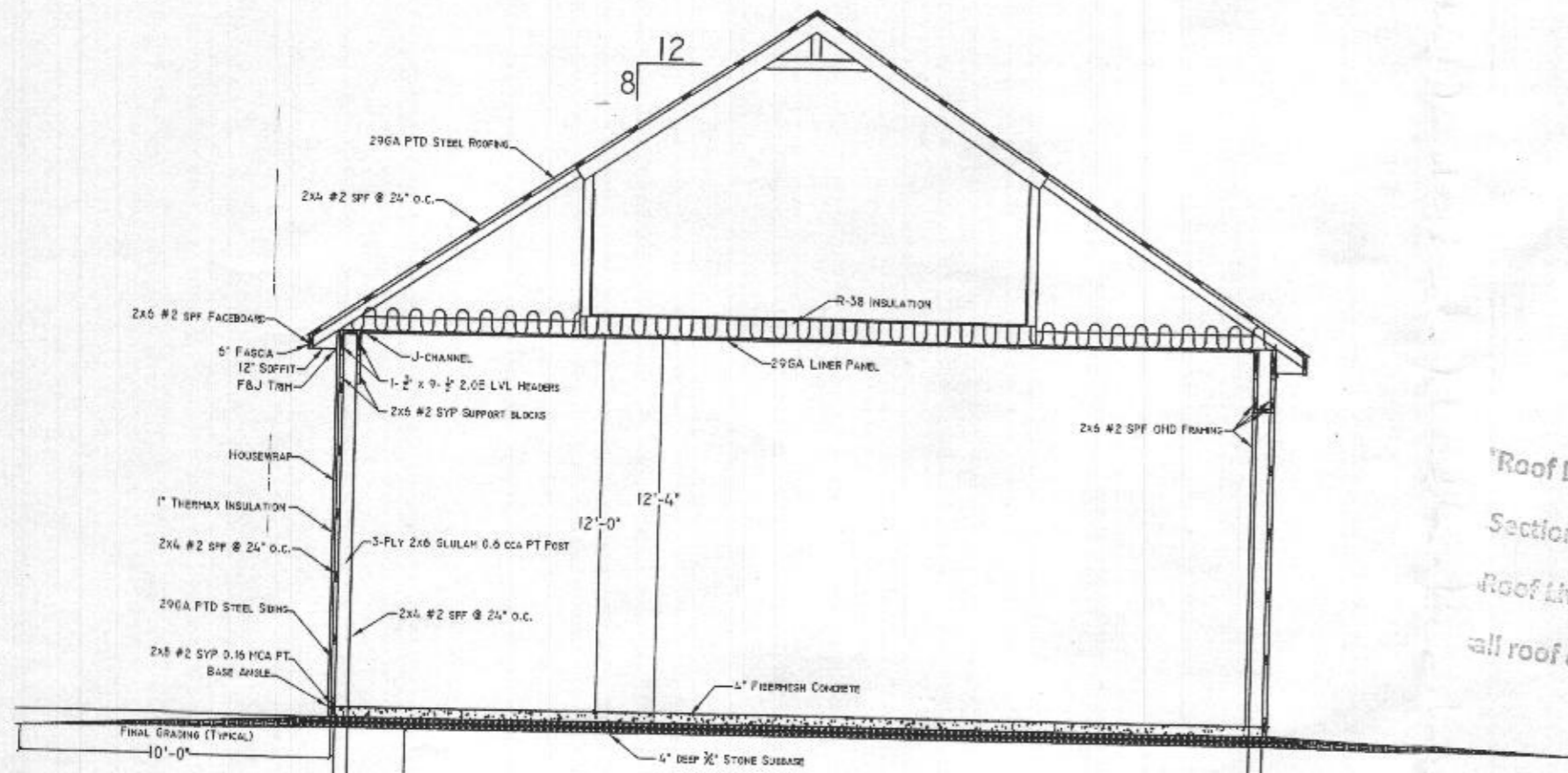


- VENTILATION:**  
 -62' RIDGE VENT  
 -12" VENTED EAVE SOFFIT  
 -12" VENTED GABLE SOFFIT
- FOOTINGS:**  
 = 18" DIA, x 8" 3000 PSI CONCRETE  
 = 20" DIA. x 10" 3000 PSI CONCRETE
- SIDING:**  
 - 29GA PTD STEEL ROOFING  
 - HOUSEWRAP
- ROOFING:**  
 - 29GA PTD STEEL SIDING
- INTERIOR:**  
**WALLS:**  
 -1" THERMAX INSULATION
- CEILING:**  
 - 29GA PTD STEEL LINER PANEL  
 - R-38 BLOW-IN INSULATION

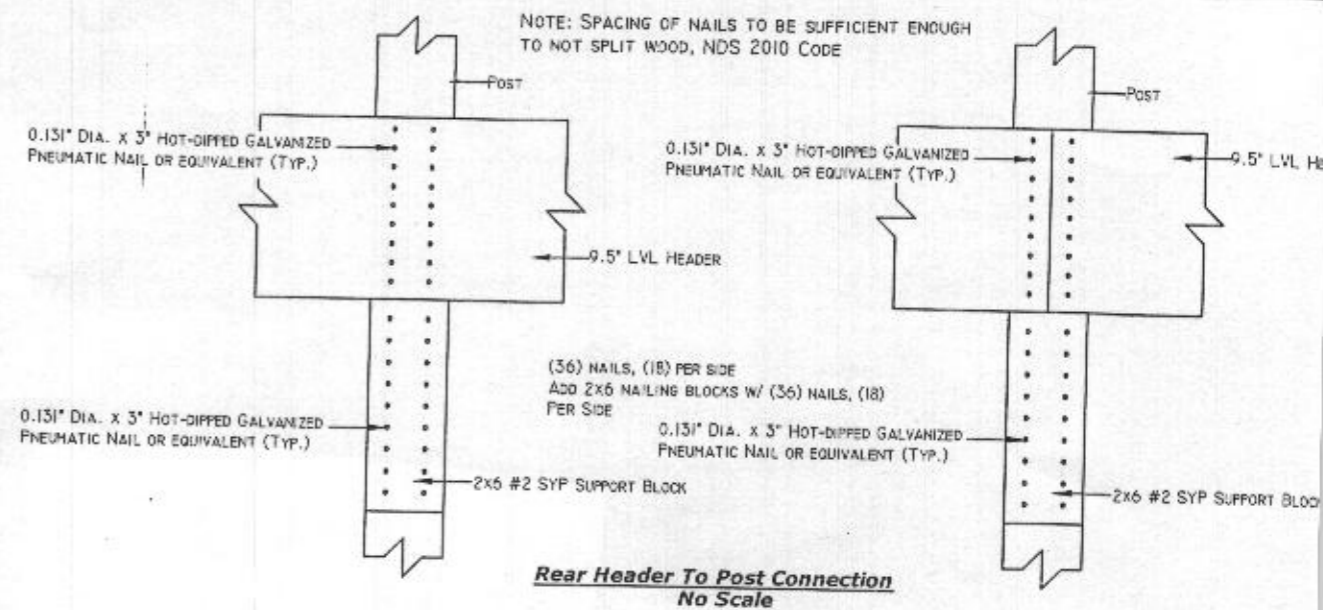
**APPLICABLE CODES:**  
 INTERNATIONAL BUILDING CODES 2015  
 OCCUPANCY CATEGORY= II  
 DESIGN WIND SPEED= 115 MPH  
 EXPOSURE B  
 DESIGN GROUND SNOW LOAD= 25 PSF  
 ROOF LOAD= 30-10-40-10  
 CONSTRUCTION TYPE VB

DOOR SCHEDULE							
UNIT	QTY	WIDTH	HEIGHT	THICKNESS	STYLE	MATERIAL	REMARKS
1	1	3'-0"	6'-8"	1-3/4"	6-PANEL	FIBERGLASS	COMPOSITE JAMBS
2	3	10'-0"	10'-0"	1-3/8"	R.P.	STEEL	INSULATED

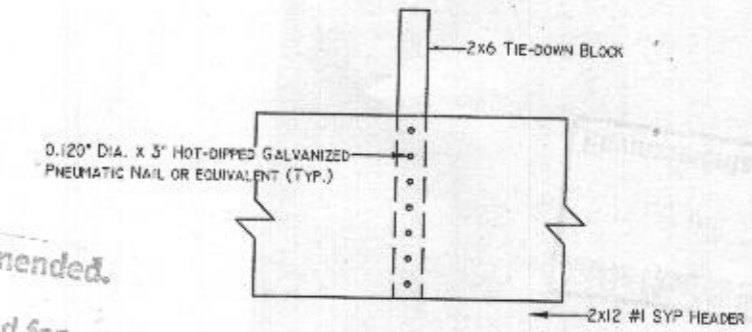
PLAN VIEW  
 SCALE: 1/4" = 1'-0"



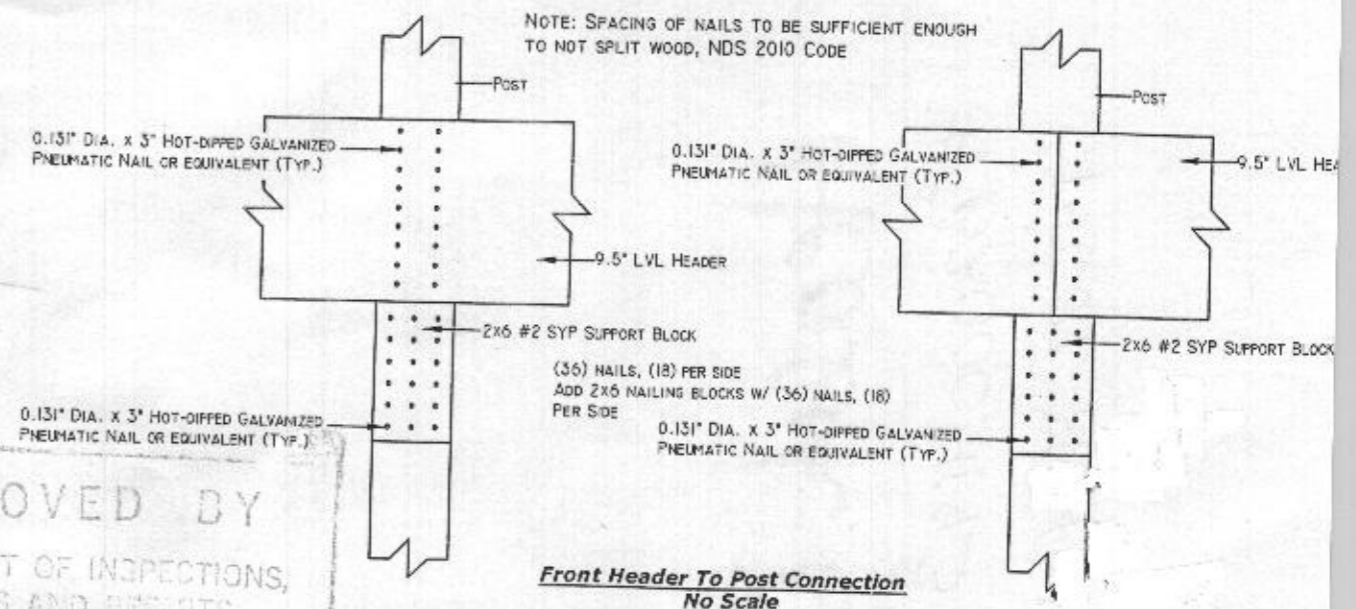
TYPICAL WALL SECTION (A) SCALE: 3/16" = 1'-0"



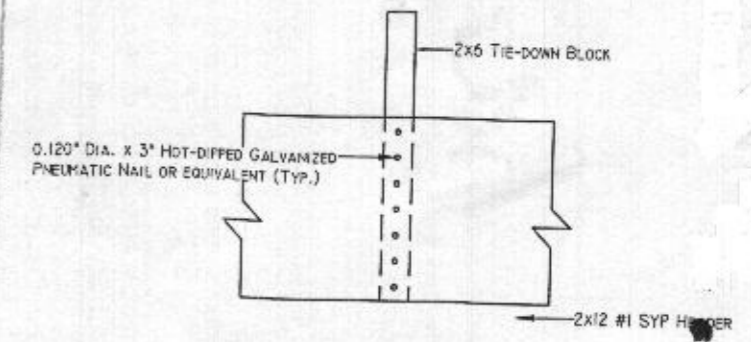
Rear Header To Post Connection No Scale



Typical Header To Tie-down Block



Front Header To Post Connection No Scale



Roof Live Load: Section R 301.6 of the IRC has been amended. Roof Live Load of 40lbs. is now required for all roof designs.

APPROVED BY  
 DEPARTMENT OF INSPECTIONS,  
 LICENSES AND PERMITS  
 HOWARD COUNTY  
 DATE: 7/10/20  
 BY: [Signature]  
 SUBJECT TO COMMENTS OF REVIEW SHEET  
 SUBJECT TO FIELD INSPECTION

#B20004193