

Bureau of Environmental Health
 8930 Stanford Boulevard, Columbia, MD 21045
 Main: 410-313-2640 | Fax: 410-313-2648
 TDD 410-313-2323 | Toll Free 1-866-313-6300
www.hchealth.org
 Facebook: www.facebook.com/hocohealth

Maura J. Rossman, M.D., Health Officer

RECEIPT DATE: 10-31-22 **ONSITE SEWAGE DISPOSAL SYSTEM** P 572673

APPROVAL DATE: 11/1/2024 **PERMIT: CONSTRUCTION** A _____

PROPERTY ADDRESS: 5018 Ten Oaks Road

SUBDIVISION: Ten Oaks Farm LOT: 5 TAX ID: _____

CONTRACTOR: Allright Plumber & Heating EMAIL: _____

CONTRACTOR ADDRESS: 3rd Kings Road, Randallstown, MD 21133 PHONE: 413-622-1842

PROPERTY OWNER: Villa Building Group EMAIL: Vince

OWNER ADDRESS: 6822 Green Hollow Way, Highland, MD 20777 PHONE: 443-832-8168

SEPTIC TANK SIZE (GALLONS): 2000 TANK MANUFACTURER: Babylon

PUMP MODEL: Zoeller PUMP SIZE: 0.4 PUMP TANK CAPACITY: 2000

DISTRIBUTION SYSTEM: GRAVITY PRESSURE DOSED BEDROOMS: 6 APPLICATION RATE: 1.2

TRENCHES:	LINEAR FEET REQUIRED: <u>95'</u>	INLET DEPTH: <u>3.5</u>
	TRENCH WIDTH: <u>3</u>	MAXIMUM BOTTOM DEPTH: <u>8</u>
	MINIMUM SPACE BETWEEN TRENCHES: <u>10</u>	EFFECTIVE AREA BEGINNING DEPTH: <u>3.5</u>
LOCATION:	PER APPROVED SITE PLAN. SEWAGE DISPOSAL AREA AND TANK LOCATIONS MUST BE STAKED BY LICENSED SURVEYOR PRIOR TO PRE-CONSTRUCTION INSPECTION.	
NOTES:	Install 2 trenches @47.50 LF	

ISSUED BY: Hank Oswald ISSUE DATE: 10-31-22 EXPIRATION DATE: 10-31-23

- NOTE: CONTRACTOR MUST SCHEDULE A PRE-CONSTRUCTION INSPECTION PRIOR TO BEGINNING ANY INSTALLATION
- NOTE: CONTRACTOR MUST SCHEDULE AN INSPECTION AND GAIN APPROVAL OF ALL COMPONENTS PRIOR TO COVERING
- NOTE: STONE MUST BE APPROVED BY HEALTH DEPARTMENT AND GRAVEL TICKET MUST BE AVAILABLE FOR REVIEW.
- NOTE: WATERTIGHT TANKS REQUIRED
- NOTE: ALL PARTS OF SEPTIC SYSTEM SHALL BE AT LEAST 100 FEET DOWNGRADIENT FROM ANY WATER WELL
- NOTE: MANHOLE RISERS REQUIRED ON ALL SEPTIC TANKS AND PUMP CHAMBERS
- NOTE: AN ELECTRICAL PERMIT IS REQUIRED FOR INSTALLATION OF ANY ELECTRICAL COMPONENTS OF THE SYSTEM
 ELECTRICAL PERMIT ISSUED E 22004566
- NOTE: MDE RECOMMENDS SEPTIC TANKS, BAT, AND OTHER PRETREATMENT UNITS BE PUMPED AT A FREQUENCY ADEQUATE TO ENSURE THAT SOLIDS ARE NOT DISCHARGED TO THE DISPOSAL AREA

**NEITHER THE HOWARD COUNTY COUNCIL NOR THE HEALTH DEPARTMENT IS RESPONSIBLE FOR THE SUCCESSFUL OPERATION OF ANY SYSTEM.
 PERMITTEE RESPONSIBLE FOR OBTAINING FINAL APPROVAL ON THIS PERMIT.
 CALL 410-313-1771 TO SCHEDULE INSPECTIONS.**

NOT TO SCALE

See separate sheet for As-Built

TBC.

TRENCH/DRAINFIELD DATA

WIDTH	INLET	BOTTOM
<u>3.0'</u>	<u>3.5'</u>	<u>8.0'</u>
NUMBER OF TRENCHES		<u>2</u>
TOTAL LENGTH		<u>94</u>
ABSORPTION AREA		<u>282 ft³</u>
DISTRIBUTION BOX LEVEL		<u>—</u>
DISTRIBUTION BOX BAFFLE		<u>—</u>
DISTRIBUTION BOX PORT		<u>yes</u>

SEPTIC TANK DATA

SEPTIC TANK 1 LEVEL	<u>yes</u>
MANUFACTURER	<u>Babylon</u>
CAPACITY	<u>2,000</u> GAL
SEAM LOC	<u>Top</u>
TANK LID DEPTH	<u>12-24"</u>
BAFFLES	<u>yes</u>
BAFFLE FILTER	<u>NA</u>
MANHOLE LOC	<u>Front/Rear</u>
6" PORT LOC	<u>None</u>
WATERTIGHT TEST	<u>N/A</u>
SLOTTED	<u>yes</u>
DATE ON LID	<u>9/23/2022</u>

PUMP/SEPTIC TANK LEVEL

PUMP/SEPTIC TANK LEVEL	<u>yes</u>
MANUFACTURER	<u>Babylon</u>
CAPACITY	<u>2,000</u> GAL
SEAM LOC	<u>Top</u>
TANK LID DEPTH	<u>16"</u>
BAFFLES	<u>N/A</u>
BAFFLE FILTER	<u>N/A</u>
MANHOLE LOC	<u>Front/Rear</u>
6" PORT LOC	<u>None</u>
WATERTIGHT TEST	<u>N/A</u>
SLOTTED	<u>No</u>
DATE ON LID	<u>9/30/2022</u>

ROAD NAME

PRE-CONSTRUCTION:

11/10/2022 called contractor - do yet to see for layout. He said the system was already installed, will not be on site to discuss. (initials)

INSTALLATION:

11/10/2022 Contractor on site. trenches completed & bonded. Tanks set in 10-box has to be changed. Force main needs to be installed correctly. 2" force main should be installed instead of the 4" pump not set. Call in for reinspection. SP/KW

11/15/2022 - 2" FM installed. Pump was set. Alarm not wired. mentioned to contractor about installing floats on float tree. OK to cover all with. (Call for P & A test. SP/KW) 7/17/2024 - Electrician onsite for P & A. Audible & visible high water alarm successful. Pump to do box wires (SP)

FINAL INSPECTOR S. Page / M. Burns DATE OF APPROVAL 7/17/2024

MILK CARTON

37 - 30 SELU

26 - 20 BOA

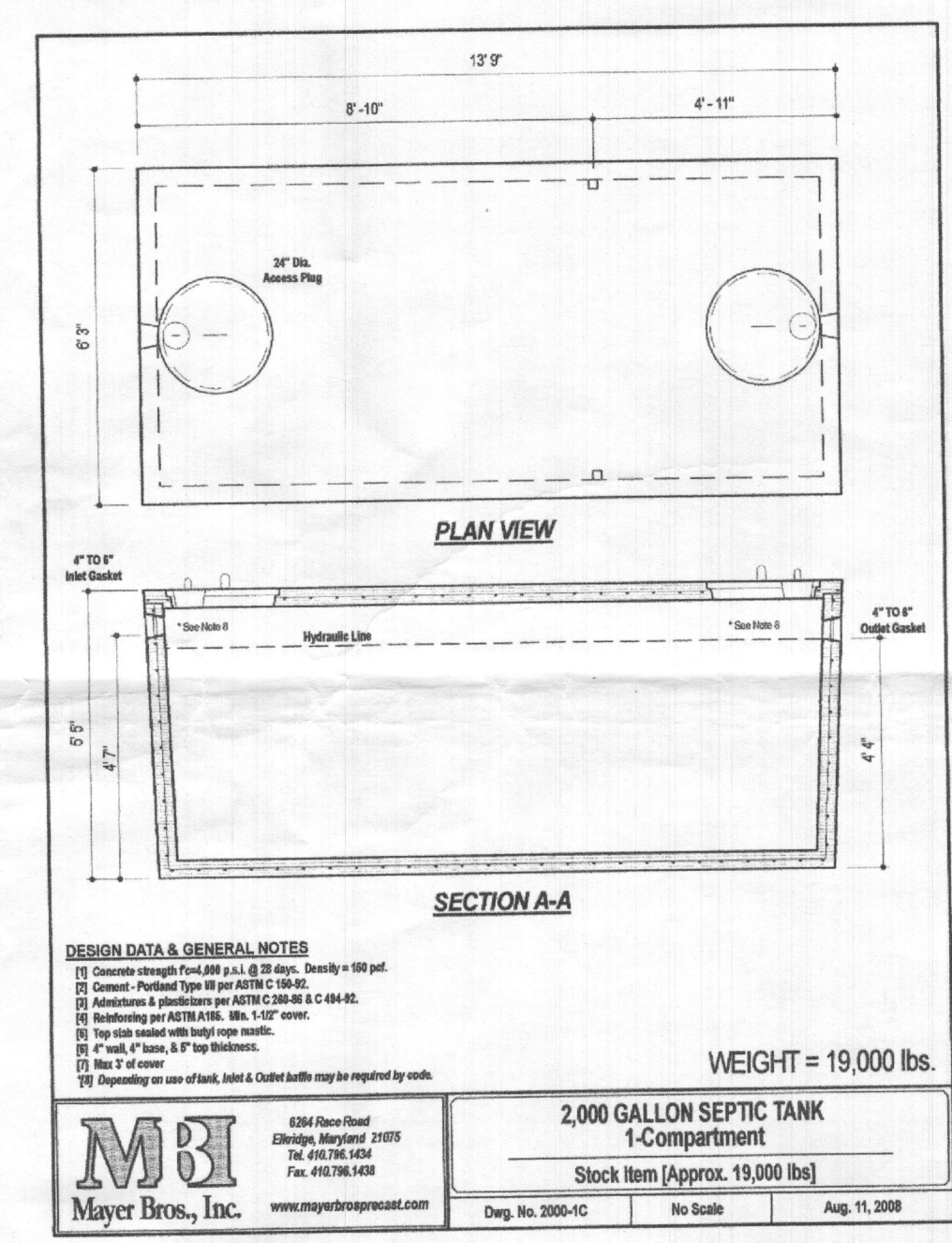
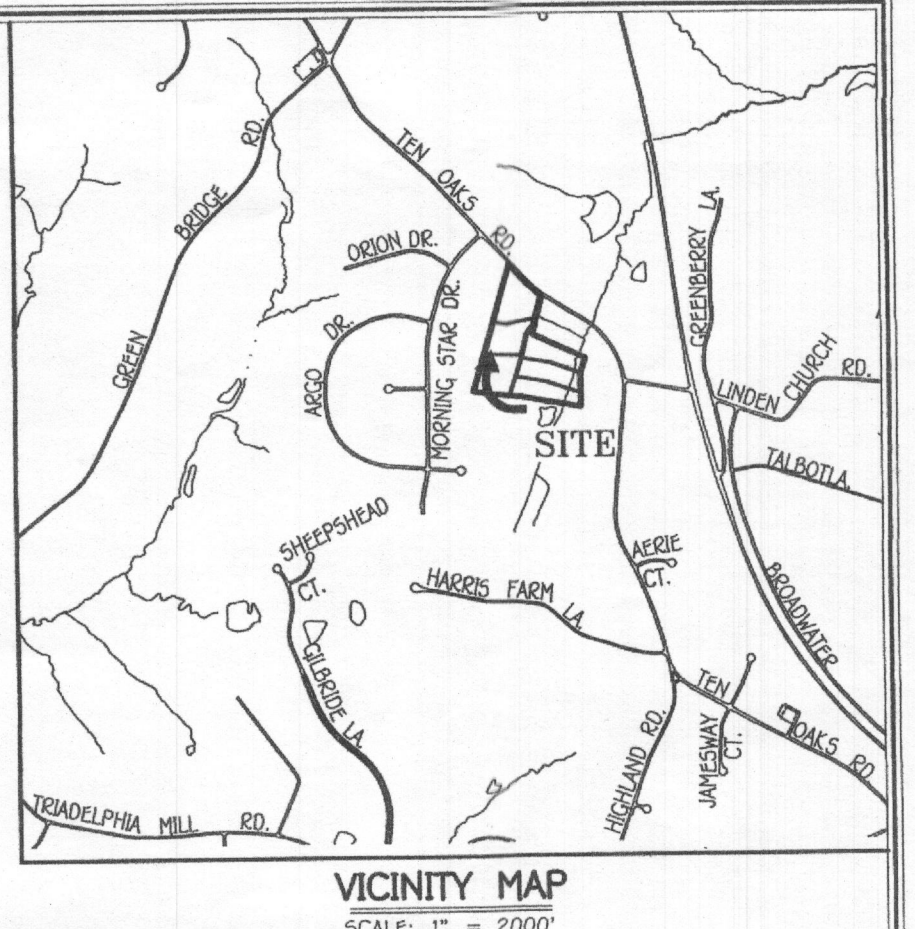
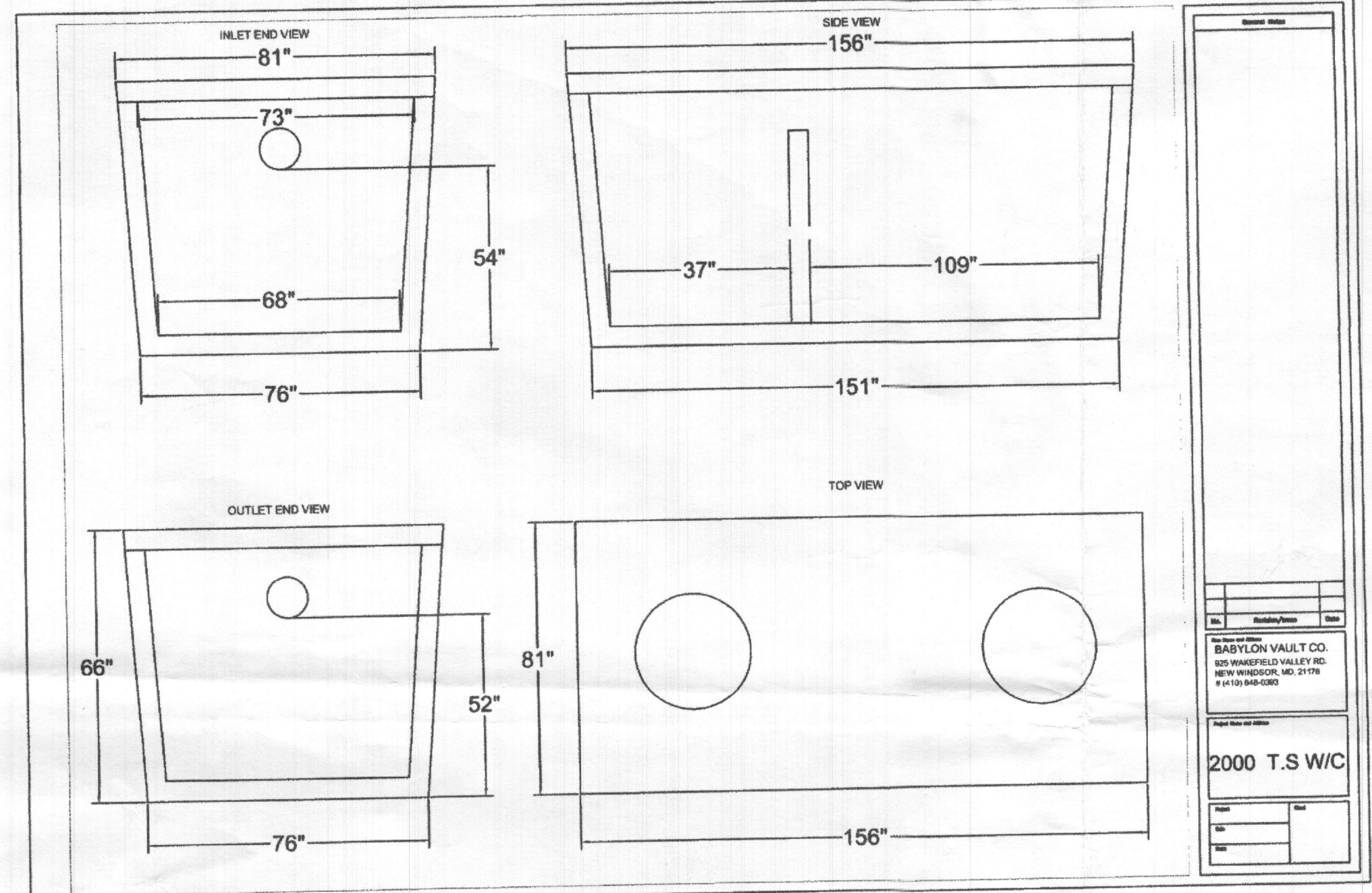
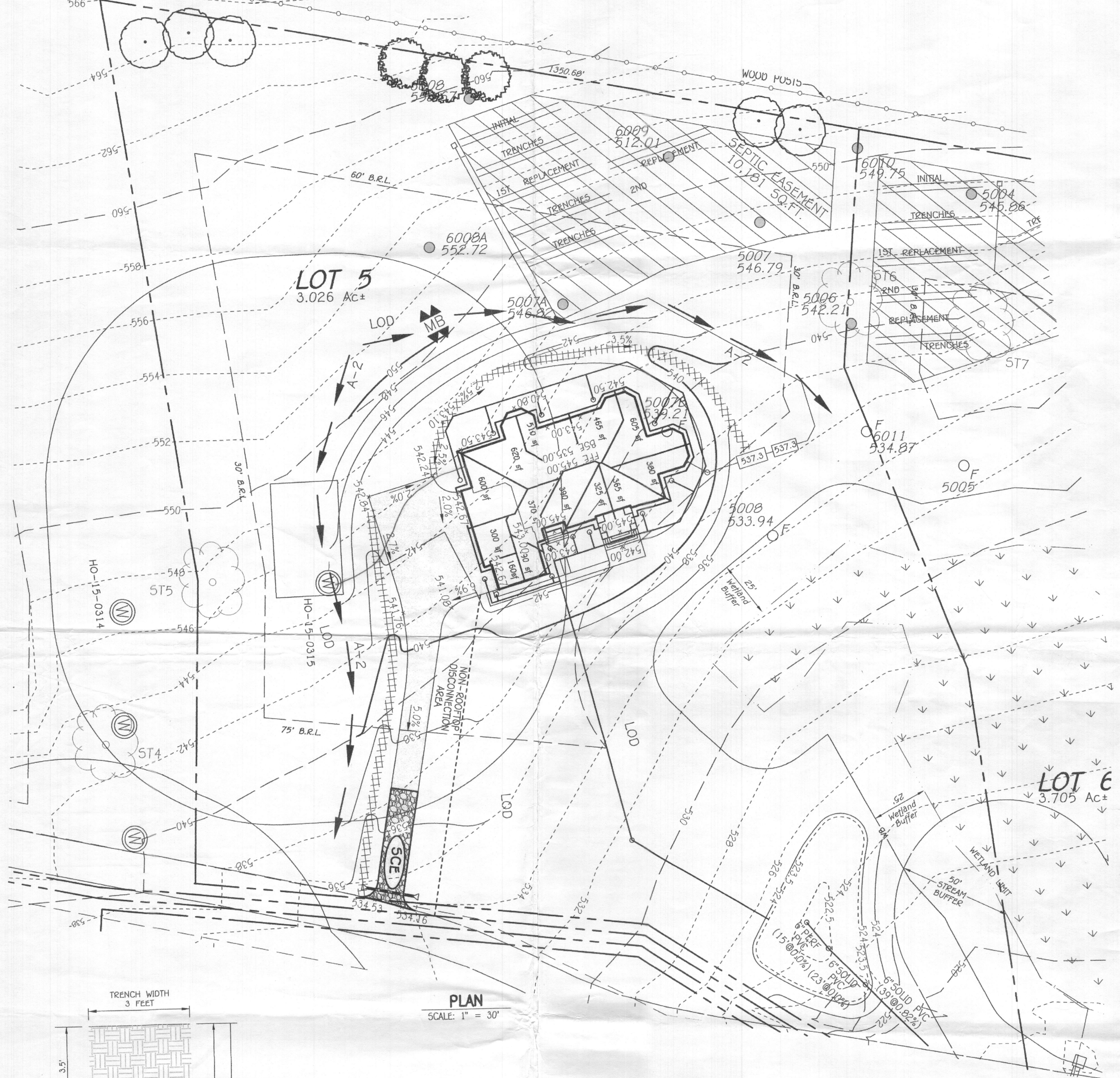
→ ————^o ———— ↖

- Allright Plumbing

3601 Kings Pt.
Rd.

- 50~~18~~ Tens Oak
Dayton Rd.

1. ANY CHANGE TO THE LOCATIONS OR DEPTHS TO ANY COMPONENTS MUST BE APPROVED BY THE ENGINEER AND THE HOWARD COUNTY HEALTH DEPARTMENT PRIOR TO INSTALLATION. A REVISED SITE PLAN MAY BE REQUIRED.
2. THE MAXIMUM EARTH COVER OVER THE TANK IS 3 FEET. GREATER EARTH COVER WILL REQUIRE A HEAVY LOAD BEARING TANK.
3. ELECTRICAL WORK FOR THE INSTALLATION MUST BE PERFORMED BY A LICENSED ELECTRICIAN.
4. THE WELL HO-15-031 HAS BEEN FIELD LOCATED AND IS ACCURATELY SHOWN.
5. ALL WELLS AND SEPTIC SYSTEMS LOCATED WITHIN 100' OF THE PROPERTY BOUNDARIES AND 200' DOWN GRADIENT OF ANY WELLS AND/OR SEPTIC SYSTEMS HAVE BEEN SHOWN.



FFE 545.00
BSE 535.00
INV. OUT OF HOUSE = 533.9
PROP. GROUND AT CLEANOUT # 1 = 541.9
INV. INTO CLEANOUT = 533.69
INV. OUT OF CLEANOUT = 533.59
EX. GROUND AT SEPTIC TANK = 537.00
PROP. GRADE ABOVE SEPTIC TANK = 537.3
TOP OF SEPTIC TANK = 534.31
INV. INTO SEPTIC TANK = 533.31
INV. OUT OF SEPTIC TANK = 533.06
EX. GROUND AT PUMP TANK = 536.6
PROP. GRADE ABOVE PUMP TANK = 537.0
TOP OF PUMP TANK = 534.0
INV. INTO PUMP TANK = 533.0
INV. OUT OF PUMP TANK = 532.75
EX. GROUND AT DISTRIBUTION BOX = 557.0
INV. INTO DISTRIBUTION BOX = 553.6
INV. OUT OF DISTRIBUTION BOX = 553.5

INITIAL SYSTEM

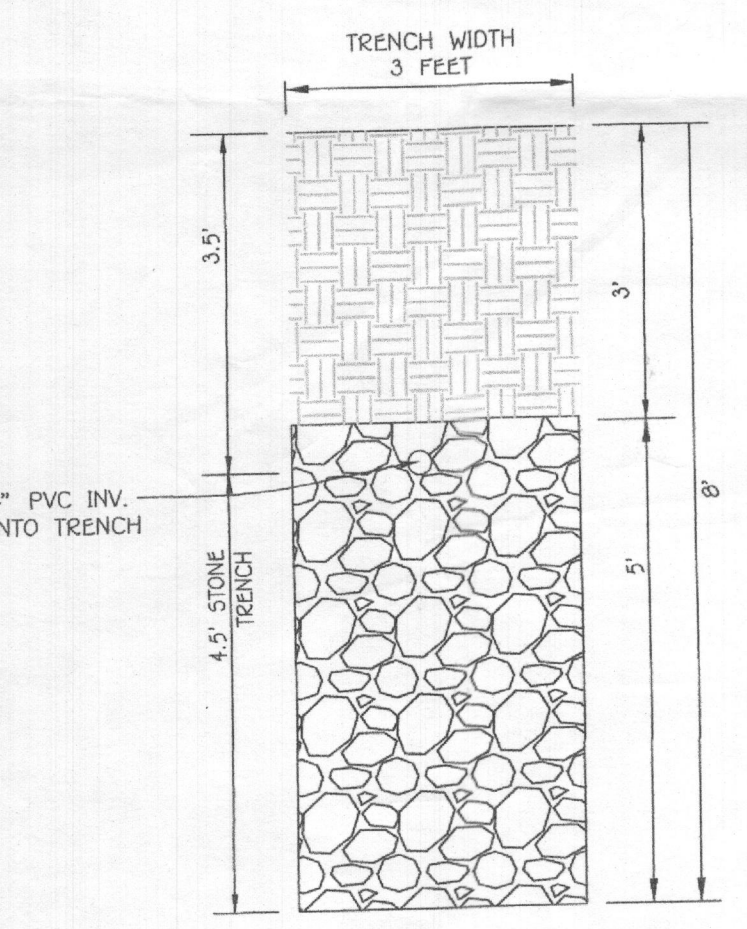
SEWAGE DISPOSAL SYSTEM DATA, DESIGN FOR 6 BEDROOMS
LOADING RATE = 6 BEDROOMS X 150 GPD/BEDROOM = 900 GPD
APPLICATION RATE = 1.2
EFFECTIVE SIDEWALL BEGINS AT 3.5 FEET
TRENCH DEPTH = 0 FEET
TRENCH WIDTH (W) = 3 FEET
EFFECTIVE DEPTH (D) = 4.5 FEET
SF OF DRAINFIELD = 900 GPD / 1.2 = 750 SF
COEFFICIENT OF REDUCTION OF TRENCH LENGTH = (W+2)/(W+1+2D) = (3+2)/(3+1+(2x4.5)) = .30
TRENCH LENGTH = 250 SF x 0.30 = 95 FEET
(USE 2 TRENCHES AT 47.50 L.F.)
TRENCH SPACING = 2D+W = ((2x4.5) + 3) = 12' USE 12'

1ST REPLACEMENT SYSTEM

SEWAGE DISPOSAL SYSTEM DATA, DESIGN FOR 6 BEDROOMS
LOADING RATE = 6 BEDROOMS X 150 GPD/BEDROOM = 900 GPD
APPLICATION RATE = 1.2
EFFECTIVE SIDEWALL BEGINS AT 3.5 FEET
TRENCH DEPTH = 0 FEET
TRENCH WIDTH (W) = 3 FEET
EFFECTIVE DEPTH (D) = 4.5 FEET
SF OF DRAINFIELD = 900 GPD / 1.2 = 750 SF
COEFFICIENT OF REDUCTION OF TRENCH LENGTH = (W+2)/(W+1+2D) = (3+2)/(3+1+(2x4.5)) = .30
TRENCH LENGTH = 250 SF x 0.30 = 95 FEET
(USE 2 TRENCHES AT 47.50 L.F.)
TRENCH SPACING = 2D+W = ((2x4.5) + 3) = 12' USE 12'

2ND REPLACEMENT SYSTEM

SEWAGE DISPOSAL SYSTEM DATA, DESIGN FOR 6 BEDROOMS
LOADING RATE = 6 BEDROOMS X 150 GPD/BEDROOM = 900 GPD
APPLICATION RATE = 1.2
EFFECTIVE SIDEWALL BEGINS AT 3.5 FEET
TRENCH DEPTH = 0 FEET
TRENCH WIDTH (W) = 3 FEET
EFFECTIVE DEPTH (D) = 4.5 FEET
SF OF DRAINFIELD = 900 GPD / 1.2 = 750 SF
COEFFICIENT OF REDUCTION OF TRENCH LENGTH = (W+2)/(W+1+2D) = (3+2)/(3+1+(2x4.5)) = .30
TRENCH LENGTH = 250 SF x 0.30 = 95 FEET
(USE 2 TRENCHES AT 47.50 L.F.)
TRENCH SPACING = 2D+W = ((2x4.5) + 3) = 12' USE 12'



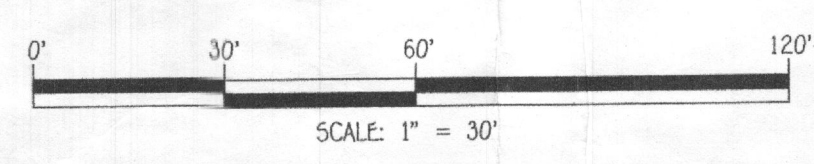
INITIAL TRENCH DETAIL
SCALE: 1" = 2'



PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 20748 EXPIRATION DATE: 02/22/2023.

Michael Vitucci
ALDO MICHAEL VITUCCI

11/9/21 DATE
Approved Septic System Plan
Howard County Health Department
Wank Oswald 11/12/21
Signature Date



SEPTIC SYSTEM INSTALLATION SITE PLAN
TEN OAKS FARM, LOT 5
5018 TEN OAKS ROAD
ZONING: R2-DEO
TAX MAP No. 28 GRID No. 14 PARCEL No. 140
FIFTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: 1" = 30' DATE: OCTOBER 20, 2021
SHEET 1 OF 2

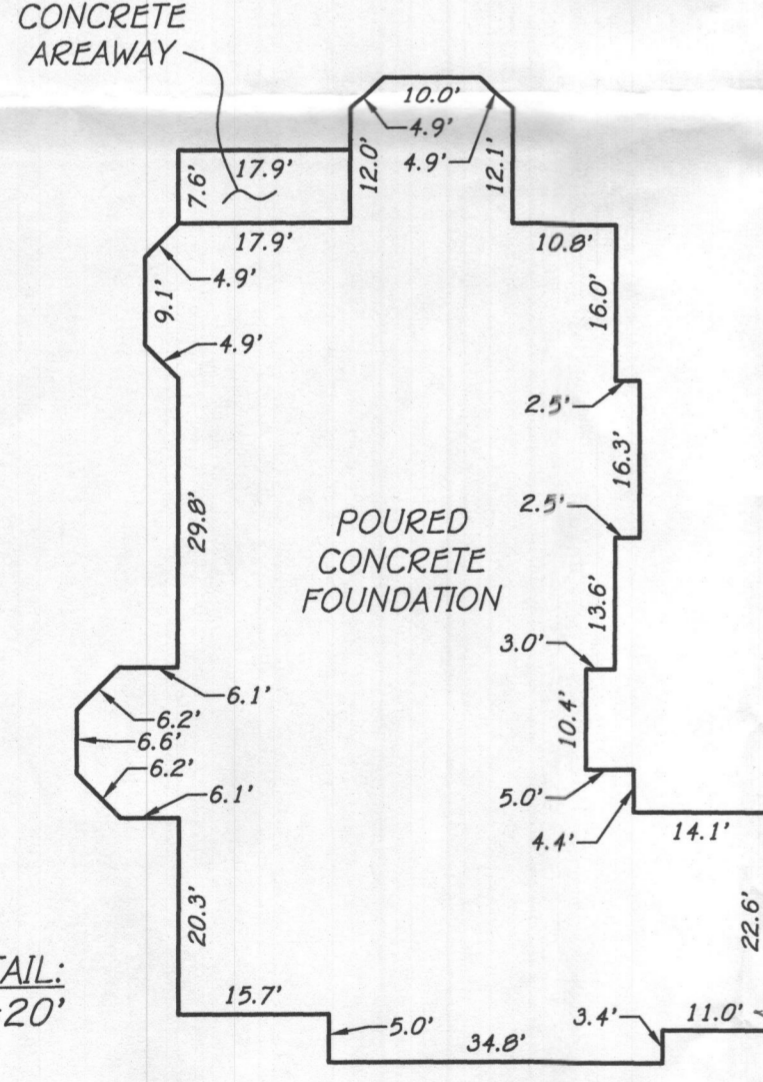
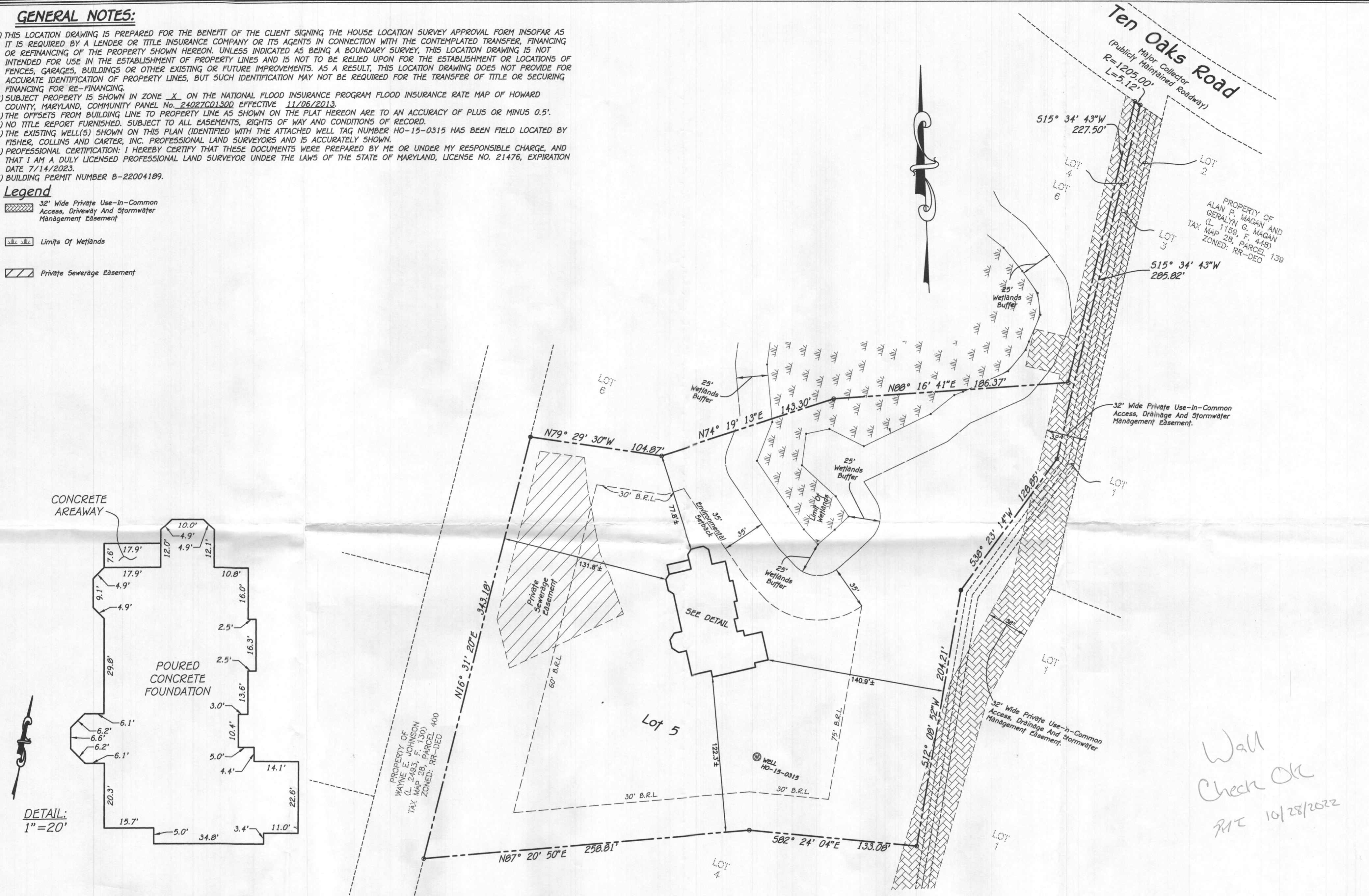
14 $\frac{10'}{1400} = .00714 = 14\%$

GENERAL NOTES:

- 1) THIS LOCATION DRAWING IS PREPARED FOR THE BENEFIT OF THE CLIENT SIGNING THE HOUSE LOCATION SURVEY APPROVAL FORM INSOFAR AS IT IS REQUIRED BY A LENDER OR TITLE INSURANCE COMPANY OR ITS AGENTS IN CONNECTION WITH THE CONTEMPLATED TRANSFER, FINANCING OR REFINANCING OF THE PROPERTY SHOWN HEREON. UNLESS INDICATED AS BEING A BOUNDARY SURVEY, THIS LOCATION DRAWING IS NOT INTENDED FOR USE IN THE ESTABLISHMENT OF PROPERTY LINES AND IS NOT TO BE RELIED UPON FOR THE ESTABLISHMENT OR LOCATIONS OF FENCES, GARAGES, BUILDINGS OR OTHER EXISTING OR FUTURE IMPROVEMENTS. AS A RESULT, THIS LOCATION DRAWING DOES NOT PROVIDE FOR ACCURATE IDENTIFICATION OF PROPERTY LINES, BUT SUCH IDENTIFICATION MAY NOT BE REQUIRED FOR THE TRANSFER OF TITLE OR SECURING FINANCING FOR RE-FINANCING.
- 2) SUBJECT PROPERTY IS SHOWN IN ZONE X ON THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAP OF HOWARD COUNTY, MARYLAND, COMMUNITY PANEL No. 24027C01300 EFFECTIVE 11/06/2013.
- 3) THE OFFSETS FROM BUILDING LINE TO PROPERTY LINE AS SHOWN ON THE PLAT HEREON ARE TO AN ACCURACY OF PLUS OR MINUS 0.5'.
- 4) NO TITLE REPORT FURNISHED. SUBJECT TO ALL EASEMENTS, RIGHTS OF WAY AND CONDITIONS OF RECORD.
- 5) THE EXISTING WELL(S) SHOWN ON THIS PLAN (IDENTIFIED WITH THE ATTACHED WELL TAG NUMBER HO-15-0315 HAS BEEN FIELD LOCATED BY FISHER, COLLINS AND CARTER, INC. PROFESSIONAL LAND SURVEYORS AND IS ACCURATELY SHOWN.
- 6) PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY ME OR UNDER MY RESPONSIBLE CHARGE, AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21476, EXPIRATION DATE 7/14/2023.
- 7) BUILDING PERMIT NUMBER B-22004109.

Legend

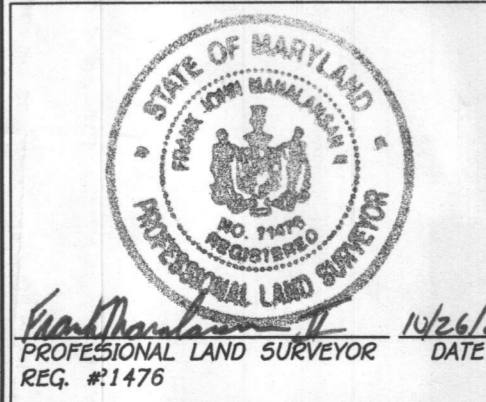
- 32' Wide Private Use-In-Common Access, Driveway And Stormwater Management Easement
- Limits Of Wetlands
- Private Sewerage Easement



Wall Check OK
RAC 10/28/2022

Top of Wall (TOW)

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
ELICOTT CITY, MARYLAND 21042
(410) 461 - 2855



HOUSE LOCATION DRAWING

FOUNDATION LOCATION: 10/21/2022
FINAL LOCATION:
BOUNDARY SURVEY:

SCALE: 1"=50'
DATE: 10/24/2022
DRAWN BY: WAS
CHECKED BY: FM II
PROJECT No.: 15007-6006

LOT 5 ADDRESS: #5018 TEN OAKS ROAD
B.R.L. = BUILDING RESTRICTION LINE
TOP OF FOUNDATION ELEVATION = 545.6'

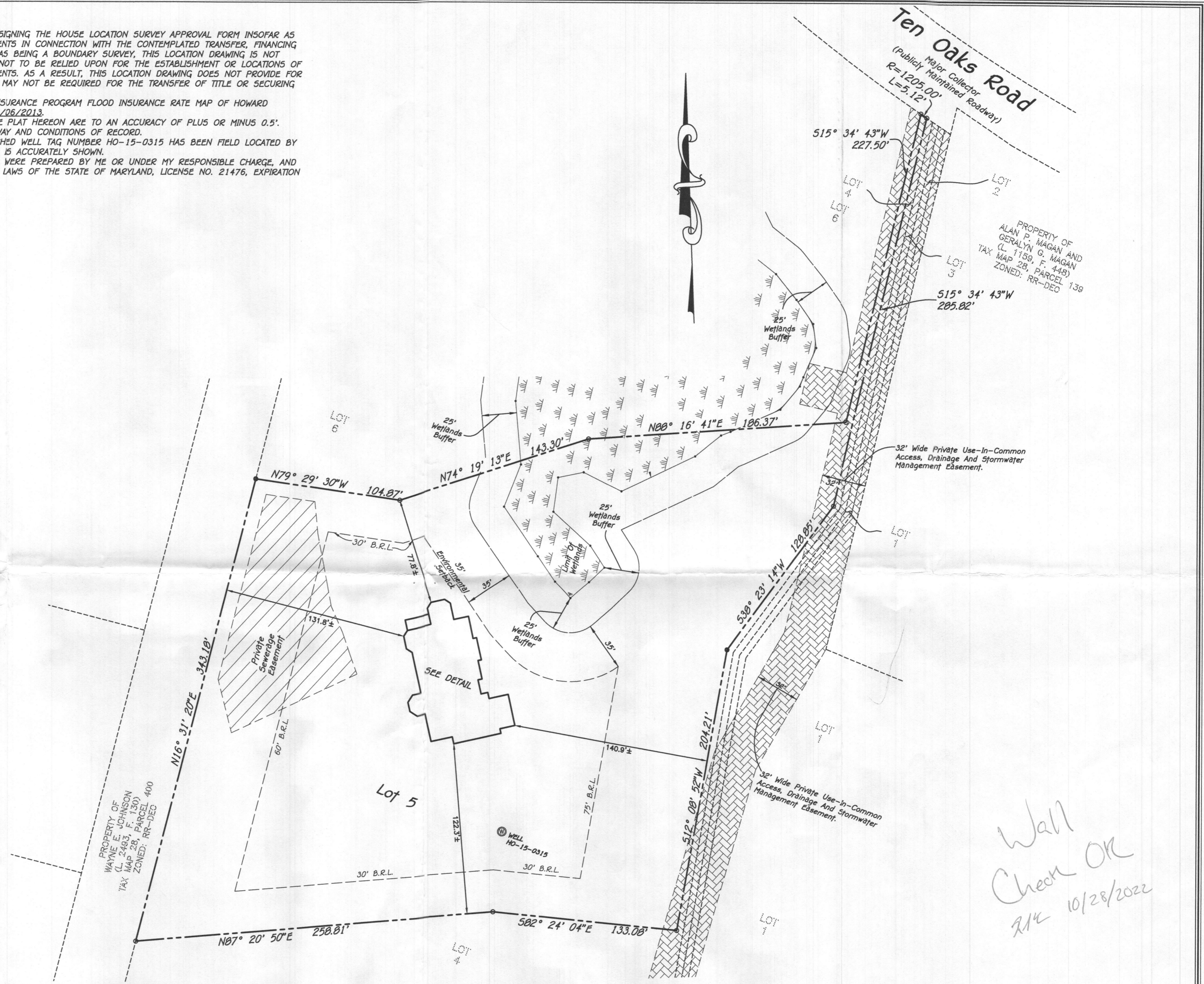
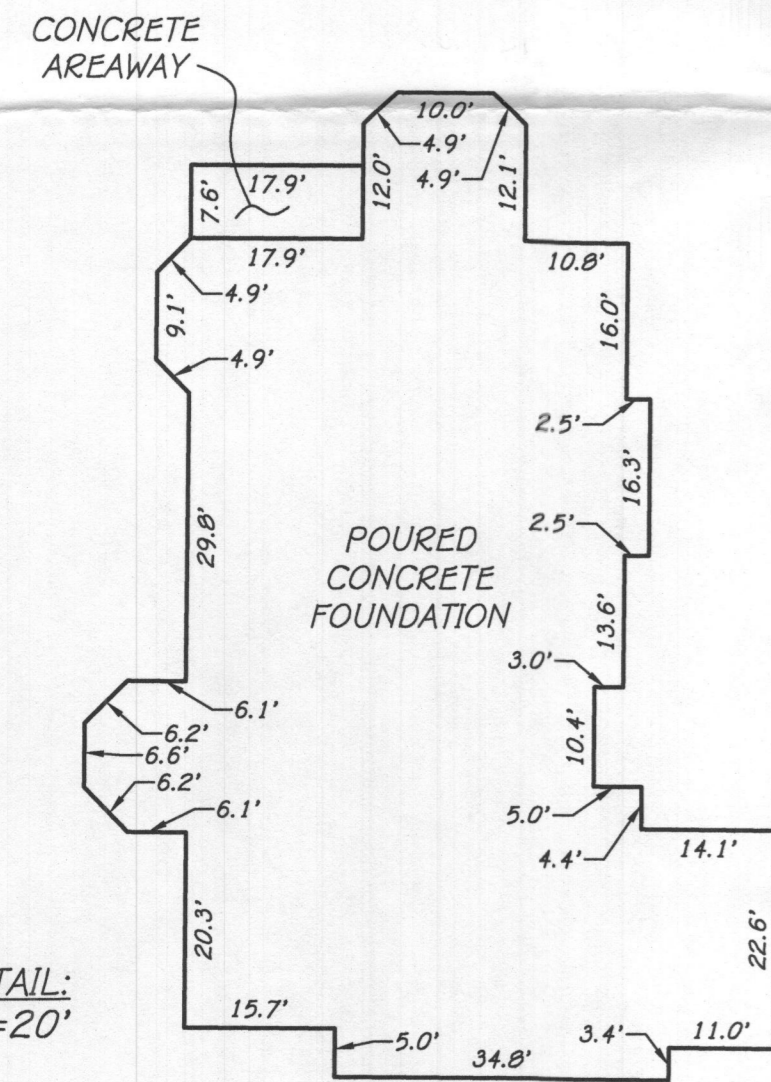
Lot 5
Ten Oaks Farm
Lots 1 Thru 6
Plat No. 24705 Thru 24709
Tax Map: 20 Grid: 14 Parcel: 140
Fifth Election District - Howard County, Maryland

GENERAL NOTES:

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Legend

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- Limits Of Wetlands
- Private Sewerage Easement



Wall
Check OK
R/C 10/28/2022

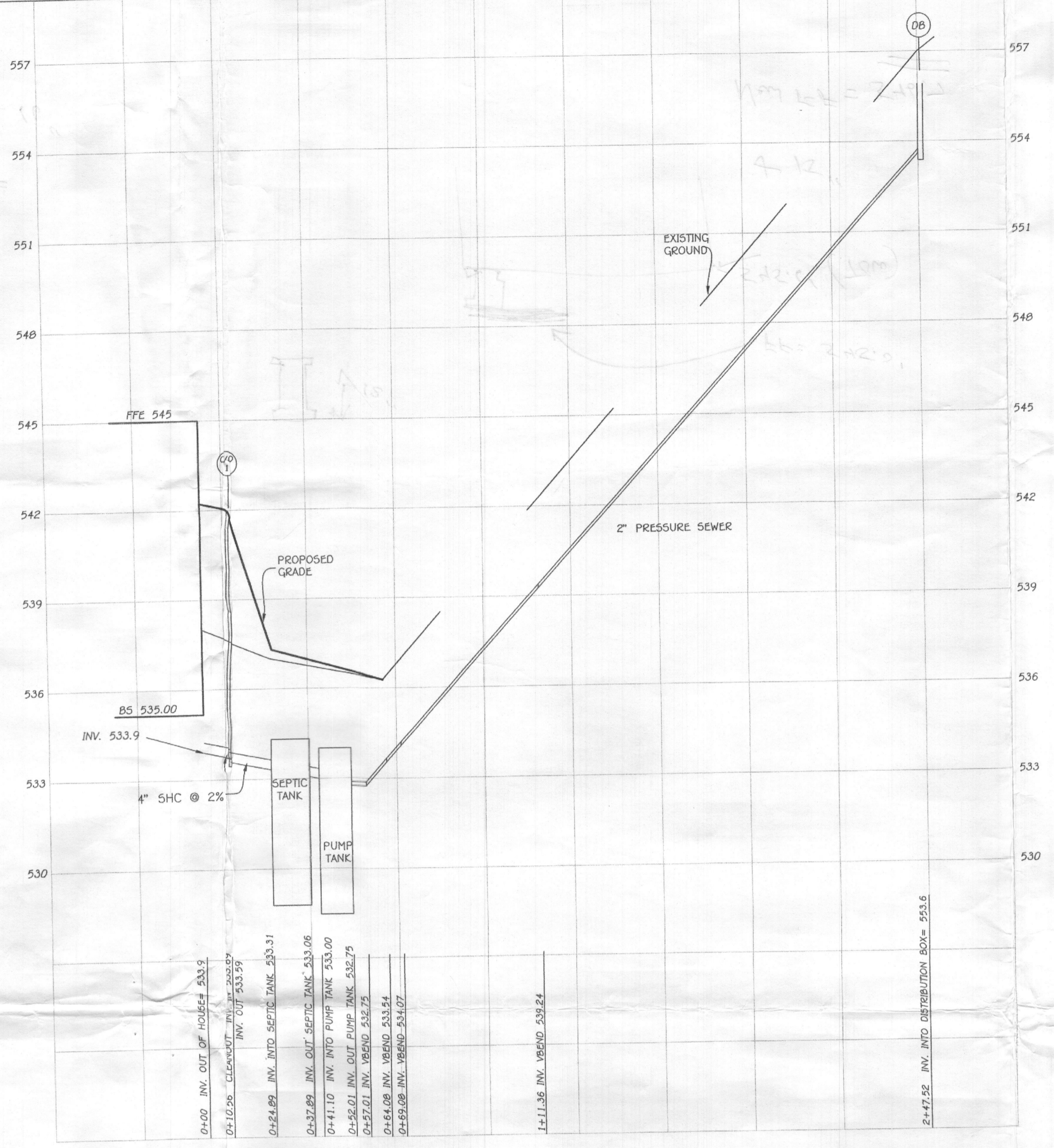
FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
ELLCOTT CITY, MARYLAND 21042
(410) 461 - 2955

Wayne E. Johnson
PROFESSIONAL LAND SURVEYOR
REG. #1476
DATE 10/26/22

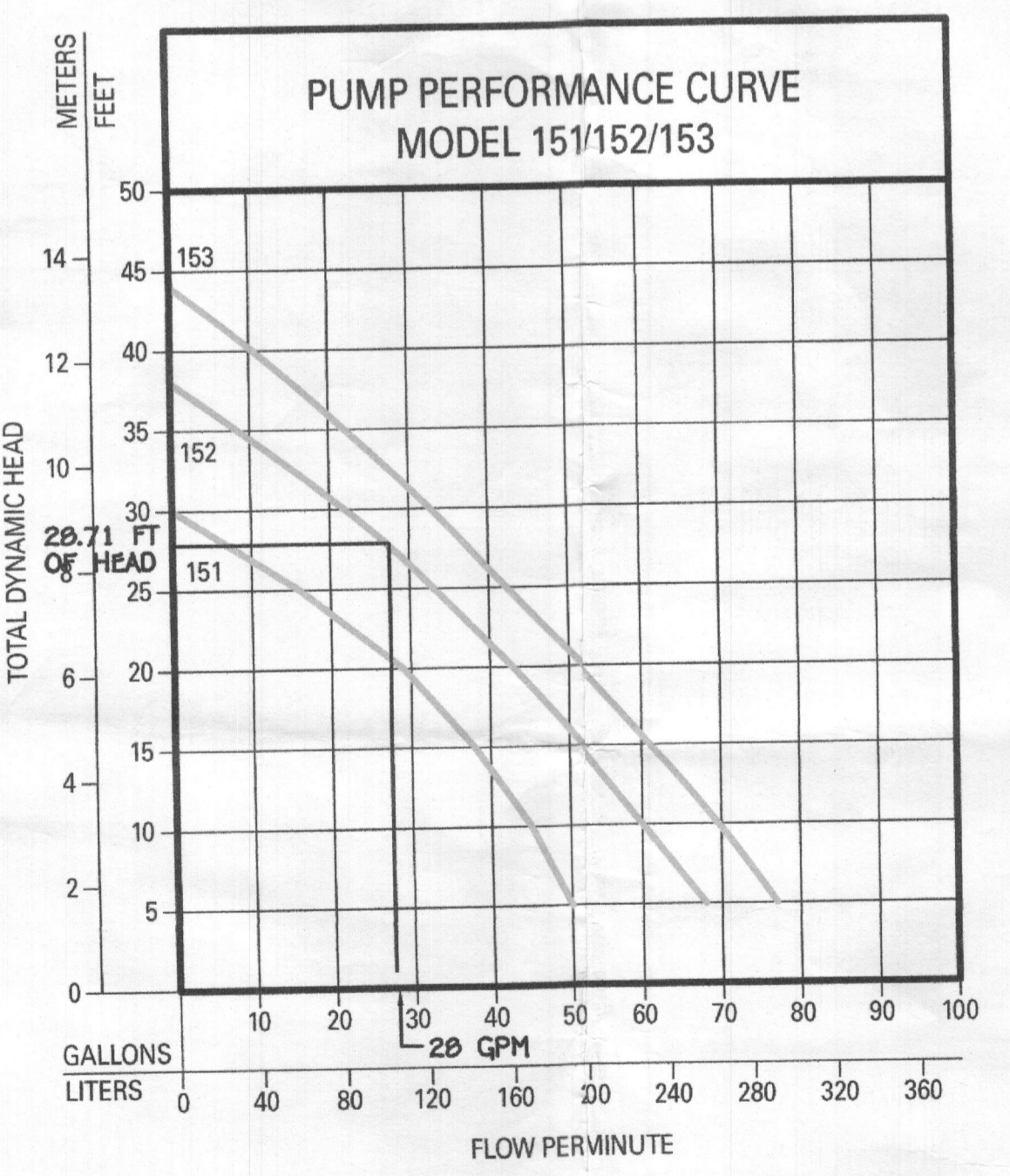
HOUSE LOCATION DRAWING
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FINAL LOCATION:
BOUNDARY SURVEY:
SCALE: 1"=50'
DATE: 10/24/2022
DRAWN BY: WAS
CHECKED BY: EM JL
PROJECT No.: 15007-6006

LOT 5 ADDRESS: #5010 TEN OAKS ROAD
B.R.L. = BUILDING RESTRICTION LINE
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Lot 5
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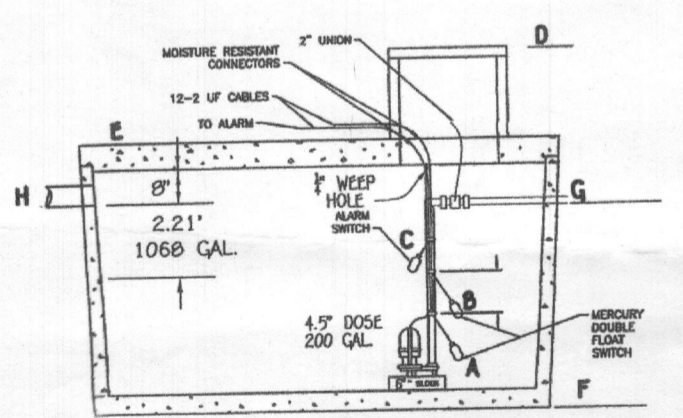


SEPTIC PROFILE
SCALE: 1" = 30'



Invert = 533.9
Invert = 533.3

- PUMP ALARMS / INFORMATION**
- A PUMP OFF : 530.42
 - B PUMP ON : 530.79
 - C HIGH WATER ALARM : 531.25
 - D TOP OF ACCESS COVER : 537.00
 - E TOP OF TANK : 534.00
 - F BOTTOM OF TANK : 528.25
 - G DISCHARGE OUT OF TANK : 532.75
 - H INVERT INTO TANK : 533.00



1166 + 200 = 1366 GALLONS EMERGENCY STORAGE

NOTE: THIS DETAIL IS TO BE USED FOR FLOAT CONFIGURATION ONLY - SEE DETAIL ABOVE FOR TANK DIMENSIONS AND ACTUAL LOCATION OF ACCESS COVER.

NOTE: THIS DETAIL IS TO BE USED FOR FLOAT CONFIGURATION ONLY - SEE DETAIL ABOVE FOR TANK DIMENSIONS AND ACTUAL LOCATION OF ACCESS COVER.

1 UNION @ 2 EQUIVALENT FEET = 2 LF
6 1/8 HB @ 4 EQUIVALENT FEET = 24 LF
TOTAL LINEAR FEET OF 2" SCH. 40 PVC = 270 LF

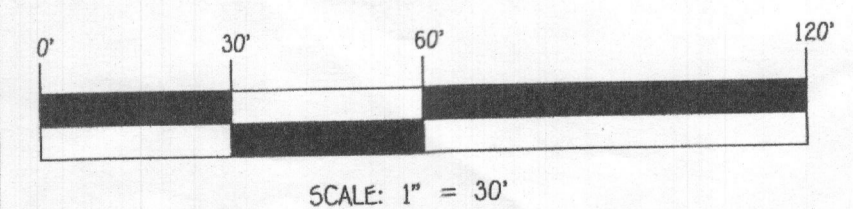
DYNAMIC HEAD

20 LF X 2.05 FT PER 100 LF OF 2" PIPE = 5.53 FT OF FRICTION HEAD
VERTICAL FROM PUMP OFF TO HIGH POINT IN PUMP CHAMBER = 2.33 FT OF FRICTION HEAD
HIGH POINT IN PUMP CHAMBER TO HIGHEST ELEV OF SYSTEM = 20.85 FT (PUMP OUT IS THE HIGHEST POINT)

TOTAL DYNAMIC HEAD = 28.71 FT

1/6 DESIGN FLOW (900/6=150)
USE 200 GALLON DOSE (150 GALLON MINIMUM)
(RUN TIME = 71 MIN (28 GPM X 7.1 = 200 GALLON DOSE))

PUMP NEEDS TO HANDLE 28 GPM AT 28.71 FT OF HEAD
USE 0.4 HP (ZELLER MODEL 152 PUMP)



PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 20748, EXPIRATION DATE: 02/22/2023.

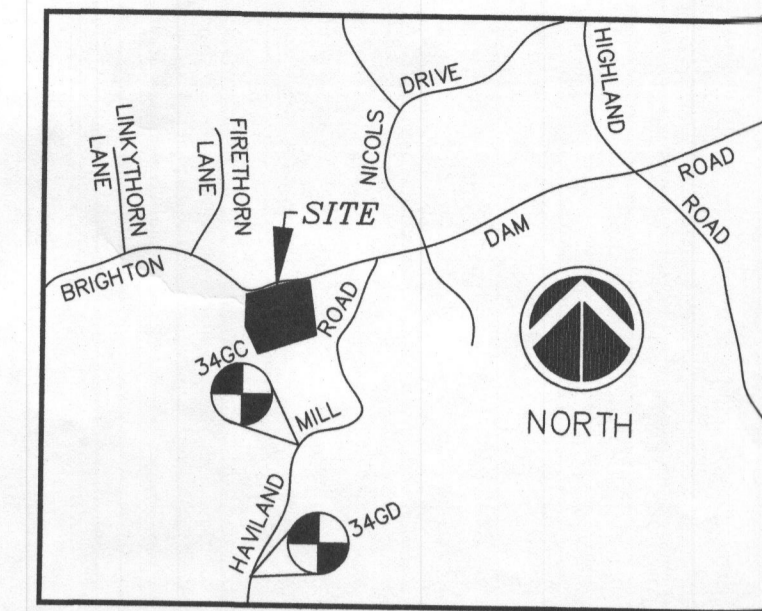
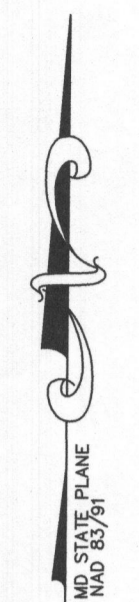
Michael V. Vitale
Signature of Professional Engineer

10/20
DATE

**SEPTIC SYSTEM
INSTALLATION SITE PLAN
TEN OAKS FARM, LOT 5
5018 TEN OAKS ROAD**

ZONING: RR-DEO
TAX MAP No. 28 GRID No. 14 PARCEL No. 140
FIFTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: 1" = 30' DATE: OCTOBER 20, 2021

SHEET 2 OF 2

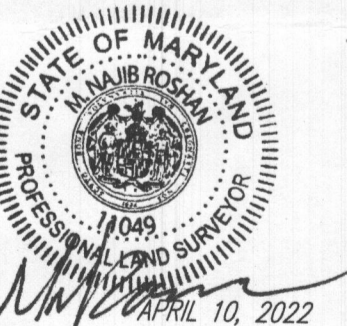


VICINITY MAP
SCALE: 1" = 2000'
ADC MAP: PAGE - 30
GRID - D3

PARCEL 96
TAX MAP 34, GRID 13
BARLOW PROPERTY
LIBER 19442, FOLIO 5
5TH ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

PLAN PREPARED BY:
NJR & A
LAND SURVEYING AND PLANNING
2770 TERRAFIN RUN
WEST FRIENDSHIP, MARYLAND 21794
TEL: (240) 508-3500

REVISIONS



GRAPHIC SCALE 1"=40'
DATE: DEC. 3, 2021
JOB NUMBER: 3682-SURVEY
FILE NUMBER: 3682
PLOTTED: APR. 10, 2022
DRAWN BY: NR
PERCOLATION CERTIFICATION PLAN
SHEET 1 OF 2

SOIL TABLE				
SYMBOL	NAME/DESCRIPTION	TYPE	HYDROLOGIC	
GgB	Glennelg loam, 3 to 8% slope	B	No	
GmC	Glennelg silt loam, 8 to 15 percent slopes	C	No	
MaC	Manor loam, 8 to 15 percent slopes	B	No	
MaD	Manor loam, 15 to 25 percent slopes	B	No	

- LEGEND**
- EX. POWER POLE
 - × EX. GUY WIRE ANCHOR
 - EX. SIGN
 - EX. POST
 - EX. MAIL BOX
 - EX. WELL
 - EX. DECIDUOUS TREE
 - EX. EDGE OF WOODS
 - ▨ SEPTIC RESERVE AREA
 - ▨ WELL RESERVE AREA
 - ⊙ PASSED PERCOLATION TEST
 - - - SOIL TYPE BOUNDARY

- GENERAL NOTES**
1. PARCEL 96, TAX MAP 34, GRID 13.
 2. DEED REF. L19442, F. 5.
 3. ELECTION DISTRICT: 5.
 4. ZONING: RR-DEO.
 5. PROPOSED SEWER - PRIVATE; PROPOSED WATER - PRIVATE.
 6. THERE IS NO FLOODPLAIN, STREAM OR THEIR BUFFERS ON THIS SITE.
 7. THERE ARE NO CRITICAL HABITATS OF RARE, THREATENED OR ENDANGERED SPECIES ON SITE.
 8. WATERSHED = PATUXENT RIVER.
 9. TO THE BEST OF OUR INFORMATION, NO CEMETERY OR HISTORIC STRUCTURE EXIST ON THIS SITE.

- NOTES:**
- 1- ANY CHANGES TO PRIVATE SEWAGE EASEMENT SHALL REQUIRE A REVISED PERCOLATION CERTIFICATION PLAN.
 - 2- THE ON SITE TOPOGRAPHY SHOWN ON THIS PLAN IS BASED ON AN ACTUAL FIELD RUN SURVEY BY NJR & ASSOC. PERFORMED ON DECEMBER OF 2020.
 - 3- THE EXISTING WELLS SHOWN HAS BEEN FIELD LOCATED BY NJR & ASSOC.
 - 4- ALL EXISTING WELLS AND SEPTIC SYSTEMS LOCATED WITHIN 100' OF THE PROPERTY BOUNDARIES AND 200' DOWN GRADIENT OF ANY WELLS AND/OR SEPTIC SYSTEMS HAVE BEEN SHOWN ON THIS PLAN.
 - 5- THIS SURVEY IS TIED TO MARYLAND STATE PLANE NAD 83/91 COORDINATE SYSTEM.
 - 6- THE LOTS SHOWN HEREON COMPLY WITH THE MINIMUM OWNERSHIP WIDTH AND LOT ARE AS REQUIRED BY THE MARYLAND DEPARTMENT OF ENVIRONMENT.
 - 7- ALL WELLS SHALL BE DRILLED PRIOR TO FINAL PLAT RECORDATION. IT IS THE DEVELOPER'S RESPONSIBILITY TO SCHEDULE THE WELL DRILLING PRIOR TO FINAL PLAT SUBMISSION. IT WILL NOT BE CONSIDERED "GOVERNMENT DELAY" IF THE WELL DRILLING HOLDS UP HEALTH DEPARTMENT SIGNATURE OF THE RECORD PLAT.
 - 8- THE EXISTING WELL ON THE PROPOSED LOT 2 SHALL BE CAPPED BY A CERTIFIED WELL CONTRACTOR PRIOR TO FINAL PLAT SUBMISSION.
 - 9- THIS AREA DESIGNATES A PRIVATE SEWAGE DISPOSAL AREA OF AT LEAST 10,000 SQUARE FEET AS REQUIRED BY THE MARYLAND DEPARTMENT OF ENVIRONMENT FOR INDIVIDUAL SEWAGE DISPOSAL IMPROVEMENTS OF ANY NATURE IN THIS AREA ARE RESTRICTED. THIS SEWAGE DISPOSAL AREA SHALL BECOME NULL AND VOID UPON CONNECTION TO A PUBLIC SEWAGE SYSTEM. THE COUNTY HEALTH OFFICER SHALL HAVE THE AUTHORITY TO GRANT ADJUSTMENT TO THE PRIVATE SEWAGE EASEMENT. RECORDATION OF A REVISED SEWAGE EASEMENT SHALL NOT BE NECESSARY.

APPROVED FOR PRIVATE WATER AND PRIVATE SEWERAGE SYSTEMS.
[Signature]
HEALTH OFFICER, HOWARD COUNTY HEALTH DEPARTMENT
DATE: 4/26/22
u.c. 98-22

