

PERMIT NUMBER: B 21000758

DATE ACCEPTED:

MAR 03 2021



RESIDENTIAL BUILDING PERMIT APPLICATION

LICENSED PERMITS DIVISION

HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES, AND PERMITS

3430 COURT HOUSE DRIVE, ELLICOTT CITY, MD 21043 - PHONE: (410) 313-2455 OPTION #4

www.howardcountymd.gov

BUILDING SITE ADDRESS REQUIRED

Street Address: 11529 Stardust Lane
City: Ellicott City
State: MD
Zip Code: 21042
Subdivision/Village/Complex Name: Brantwood
SDP/WP/BA #:
Lot: 33
Tax Map:
Parcel:
Grading Permit #:

DESCRIPTION OF WORK REQUIRED

Existing Use: sph
Proposed Use: sph
Estimated Cost: \$120,000
Trade Work to Be Completed (Separate Permits Required):
[] Mechanical (HVACR)
[] Electrical
[] Plumbing
[] None
Kitchen extension addition

PROPERTY OWNER INFORMATION REQUIRED

Owner(s) Name(s) (As it appears on tax records): Richard and Tara Perry
Primary Residence: [X] Yes [] No
Owner's Street Address: 11529 Stardust Lane
City: Ellicott City
State: MD
Zip Code: 21042
Phone:
Email:

APPLICANT NAME REQUIRED - INDIVIDUAL WHO SIGNS THIS APPLICATION

Business Name: Poquette Construction Mgmt
Contact Name: Trevor Poquette
Street Address: 1300 Saint Michaels Road
City: Mount Airy
State: MD
Zip Code: 21771
Phone: 443 336 7690
Email: tpm poquette @ hotmail . com

CONTRACTOR INFORMATION REQUIRED

Business Name: Poquette Construction Mgmt LLC
Licensee's Name: Trevor Poquette
License #:
Street Address: 1300 St. Michaels Rd
City: Mt. Airy
State: MD
Zip Code: 21771
Phone: 443 336 7690
Email: tpm poquette @ hotmail . com

ARCHITECT/ENGINEER INFORMATION INDIVIDUAL WHO SIGNED PLANS, IF APPLICABLE

Business Name: Jonathan Rivera Architect
Name: Jonathan Rivera
Street Address:
City:
State: MD
Zip Code:
Phone: 443 226 5745
Email: Jrivera @ JonathanRivera . com

BUILDING CHARACTERISTICS REQUIRED

Primary Structure: [X] SF Dwelling [] SF Townhouse [] SF Duplex [] Mobile Home [] Multi-Family Dwelling (MF*)
Condo: [] Yes [] No
Utilities: [X] Electric [] Gas
Water Supply: [] Public [X] Private (Well)
Sewage Disposal: [] Public [X] Private (Septic)
Heating System: [X] Electric [] Natural Gas [X] Propane [] Other:
Roadside Tree Project: [] No [] Yes: #
Sprinkler System: [X] NFPA 13 [] NFPA 13R [] NFPA 13D [] None
Fire Alarm System: [] Yes [X] No [] Voice Evac

ADDITIONAL RESIDENTIAL INFORMATION (PLEASE SELECT/COMPLETE ALL THAT APPLY)

Model Name & Options: Williamsburg Homes
of Bedrooms (SF):
of efficiency units (MF*):
of 1 BR (MF*):
of 2 BR (MF*):
of 3 BR (MF*):
Rooms: 5
Full Baths: 8
Half Baths: 1
Fireplaces: 4
Garage/Carport Info: [X] Attached Garage [] Detached Garage [] Integral Garage [] Carport [] None
Basement/Foundation Info: [] Slab on Grade [] Post & Pier [] Unfinished Basement [X] Finished Basement: [] Full or [] Partial
1st Fl Width:
1st Fl Depth:
2nd Fl Width:
2nd Fl Depth:
Bsmt Width:
Bsmt Depth:
Energy Method: [X] Prescriptive [] Performance [] UA Alternative [] ERI
Gross Area: 9656 sq ft
Occupiable Area: sq ft

AGREEMENT/ DISCALIMER REQUIRED

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

APPLICANT'S ORIGINAL SIGNATURE

DATE SIGNED

3/3/21

FOR OFFICE USE ONLY

CHECKS PAYABLE TO: DIRECTOR OF FINANCE OF HOWARD COUNTY

AGENCIES REQUIRED/APPROVALS:

[] PR [] DPZ [] DED [X] Health 4/7/21 [] SHA [] CID

SUBMITTAL FEES: PAYMENT: *NONE SUBMITTED ACCEPTED BY: DROPBOX

PROFESSIONAL CERTIFICATION
 I certify that these documents were prepared or approved by me, and that I am a duly licensed professional architect under the laws of the State of Maryland.
 License Number #14678
 Expiration Date: 4/30/2020

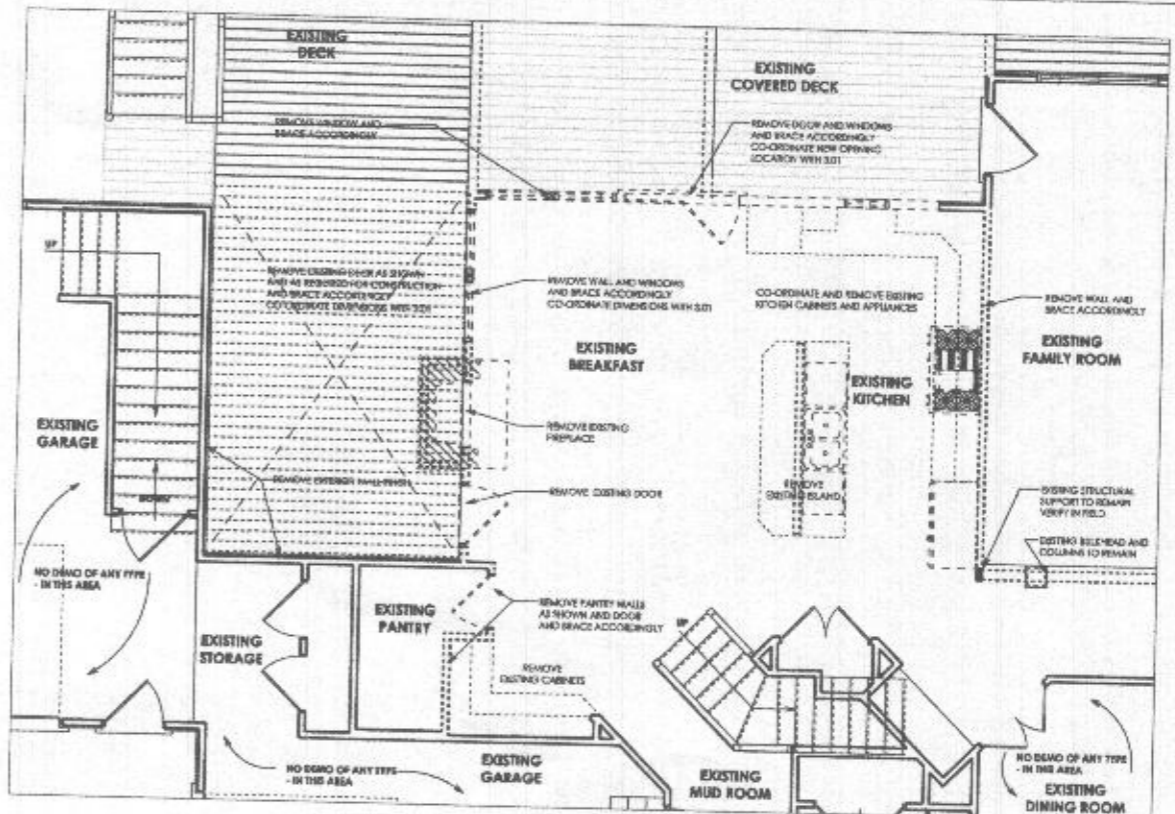
Perry Residence
 PROPOSED ADDITION

11529 Stardust Lane, Ellicott City, Maryland 21042

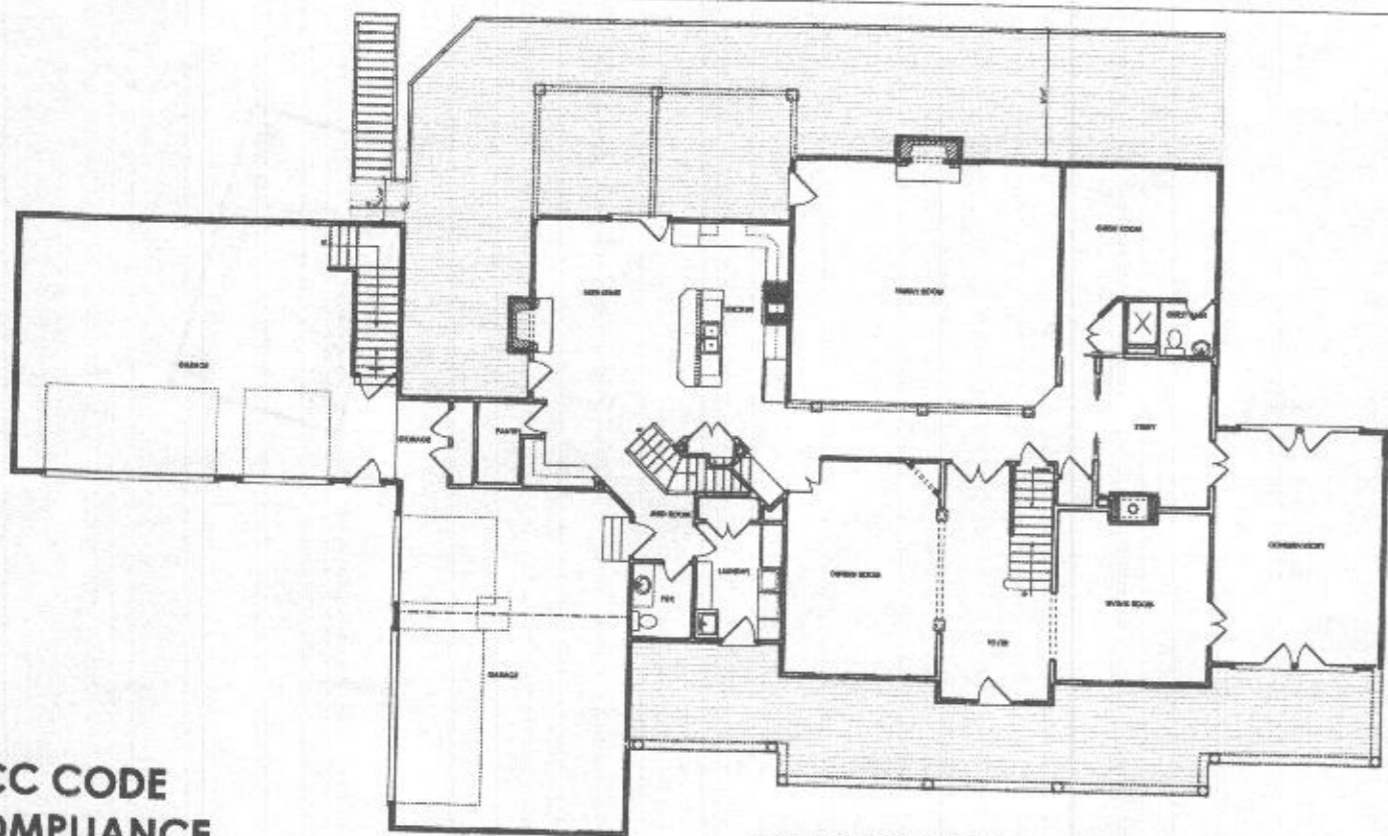
REVISIONS

ISSUE DATES:
 10-14-19 REVISION

SCALE: 1/4"=1'-0"
EXIST. INFO
1.00
 PRINT DATE:
 Wednesday, October 16, 2019



DEMOLITION - 1ST FLOOR PLAN



EXISTING 1ST FLOOR PLAN SCALE 1/8"=1'-0"

IECC CODE COMPLIANCE

- Climate Zone 4
 Compliance Method
 - Mandatory and Prescriptive Provisions
 Exterior Frame Wall Construction
 - 2x6 Studs @ 16" o.c.
 - R-21 Kraft faced batt insulation
 - 7/16" O.S.B. (continuous)
 - Housewrap
 Attic Insulation
 - R-49
 Basement Wall Insulation
 - R-13/R-10 Foli Faced Continuous Ratts Full Height extending from floor above to finish grade level and then vertically or horizontally an additional 2'-0"
 Floor Insulation over Unconditioned Space
 - R-38 batt insulation
 Window U-Value/SHGC
 - U-Value = .34 - SHGC = .31
 Slab on Grade Floors less than 12" below grade
 - R-10 Rigid Foam Board under slab extending 2'-0" vertically or 2'-0" horizontally
 AIEC Access
 - Access Scuttle will be weatherstripped and insulated R-49
 Building Thermal Envelope (air leakage)
 - Exterior walls and penetrations will be sealed per this section of the 2012 IECC with caulk, gaskets, weatherstripping or on air barrier of suitable material
 Building Envelope Tightness Test
 - Building envelope tightness and insulation must meet the inspection criteria listed in table 402.4.2. A "Blower Door Air Infiltration Test" shall be performed. See also Section 4303.4 of the 2012 IECC.
 Fireplace
 - All wood burning masonry fireplaces will have gasketed doors and outdoor combustion air. Gasketed doors are not required for prefabricated units.
 Recessed Lighting
 - Recessed luminaires installed in the building thermal envelope shall be sealed to limit air leakage.
 Thermostat
 - All dwelling units will have at least 1 programmable thermostat for each separate heating and cooling system per 2012 IECC section 403.1
 - Where a heat pump system having supplementary electric resistance heat is used the thermostat shall prevent the supplementary heat from coming on when the heat pump can meet heating load.
 Mechanical Duct Insulation
 - Supply ducts in attic: R-8 minimum
 - Supply ducts outside of conditioned spaces R-6 minimum
 - All other ducts except those located completely inside the building thermal envelope R-6 minimum. Ducts located under concrete slabs R-4 minimum
 Duct Sealing
 - All ducts, air handlers, filter boxes will be sealed. Joints and seams will comply with section M1401.4.1 of the IECC.
 - A duct tightness test ("Duct Blaster" duct total leakage test) will be performed on all homes and shall be verified by either a pool construction test or a rough-in test. Duct tightness test is not required if the air handler and all ducts are located within the conditioned space.
 Mechanical Ventilation
 - Outdoor (make-up) air will be brought into the home thru a duct with an automatic OR gravity damper.
 Equipment Sizing
 - All furnaces will be 80% efficient furnaces minimum
 Lighting Equipment
 - A minimum of 75% of all lamps (lights) must be High-Efficacy Lamps Water Heater
 - Minimum efficiency established by MARCA
 Contractor will be responsible for generating Certificate of Compliance and affixing to electrical panel.

WEATHER/THERMAL

- Insulation for slab on grade construction shall begin at the inside intersection of the slab and the foundation wall and shall extend for a minimum distance of 24" down the inside face of the foundation wall and horizontally 24" under the slab. For unheated slabs a material with an R-value of 42 is required; for heated slabs an R-value of 43 is required (or as per local code)
 - Sill Sealer-compressible material shall be installed under all mud plates (foundation wall and wood floor systems) and sole plates (slab on grade)
- | R-Value | Thickness | Location |
|------------|-----------|---|
| R-11 PS28 | 3 1/2" | Basement Walls |
| R-21 | 5 1/2" | 2x6 Walls (exterior) |
| R-38 | 9" | Crawl Space |
| R-38 | 9" | Floors exposed to unheated condition |
| R-49 Batt | 12" | Roof |
| R-49 Blown | 12" | Apply blown insulation as required by manufacturer's specifications |

- Provide vents as per local code.
- Flashing: Prefinished aluminum or equal, of all roof offsets, chimneys, roof openings, hips, valleys, ridges, dormers and where roof intersects wall.
- Contractor shall maintain in all circumstances proper fire, sound and insulation ratings when penetrating through walls, floors, ceilings and roofs.
- All miscellaneous penetrations during construction shall be patched and repaired according to manufacturer's specifications and as per code.
- All exterior joints between windows, doors and other surfaces shall be caulked and sealed appropriately.
- DAMPROOFING: Apply (1) coat of asphalt emulsion to exterior of all below grade walls of basement conditions. When habitable space occurs below grade, provide waterproofing membrane, aqueous based elastomeric, vinyl acrylic mastic, 35 MIL min. thickness or other approved equal.
- SLAB VAPOR BARRIER: 6 MIL polyethylene sheet where noted on drawings. Overlay all edges 4".
- SILL SEALER: 1/2" x 5 1/2" compressible fiberglass beneath all exterior sill plates or other approved sill sealer.
- Provide approved corrosion-resistive flashing of the intersections of masonry and wood frame construction, over projecting wood trim; where decks, porches etc. attach to wood frame construction; of wall and roof intersections; of chimney and roof intersections; in roof valleys; of all roof penetrations; and of wall openings if recommended by window and door manufacturers.
- Slab perimeter exposed to outside or within 30" of grade: 4.5x24", either vertical or horizontal from slab intersection.
- ROOFING: unless noted otherwise, roofing shall be min 26oz Class "C" Fiberglass based asphalt shingles over 15 pound felt. Edge flashing to a point 24" inside of interior face of wall line may be as installed at the owner's discretion.
- WALL SHEATHING: As shown on drawings and installed in accordance with MANUFACTURER'S RECOMMENDATIONS.
- GUTTERS AND LEADERS: .032" Prefinished aluminum gutters with .024" prefinished aluminum leaders. Lead to splashblocks or collector as required.

WOOD

- Wall bracing shall be installed as per local code.
- All roof trusses and floor systems shall be engineered by others.
- All roof trusses and floor systems shall be braced and installed per manufacturer's specifications and as per local code. See manufacturer's plans for exact layout and construction.
- All trusses are stamped and certified by a registered engineer and meet TPI manufacturers minimum requirement.
- See drawings for type of floor construction.
- Tongue and groove floor decking glued and nailed on (SPF #2) 2x8 or 2x10 or 2x12 floor joists at 16" o.c. maximum to meet the American Plywood Association Stud-I floor system.
- Tongue and groove floor decking glued and nailed on pre-engineered wood joists/trusses at 24" o.c. maximum to meet the American Plywood Association Stud-I floor system.

- Fire-stopping shall be provided to cut-off concealed draft openings and to form an effective fire barrier between stories as per local code.
- Structural lumber to have minimum bending stress of 1,200 psi
- All exterior walls are 2x4 stud #14" centers, minimum SPF stud grade unless otherwise noted.
- All interior walls are 2x4 stud #14" centers, minimum SPF stud grade unless otherwise noted.
- All opening headers to be 3-2x10's unless noted otherwise
- Joist hangers to be installed as required.
- All wood less than 8" from grade shall be pressure treated. All sole plates on slabs shall be pressure treated.
- Provide bearing at all structural members as required by local code.
- All materials shall be installed per manufacturer's specifications and as per applicable building codes.
- All work shall comply to local code.

MISCELLANEOUS

- Pre-built fireplace shall be UL approved and installed according to code and manufacturer's specifications and recommendations.
- Chimneys shall extend a minimum of 2'-0" above any roof structure within 10'-0".
- Provide overflow pans and drains for wet appliances when located on bedroom level, or as noted on plans.
- Provide 22"x54" attic access with pull chain light (or as per local code)
- Kitchen and bath plans are approximate. See manufacturer's plans for exact layout and dimensions.

GENERAL NOTES

- All work shall comply to all applicable local codes.
- All construction shall be classified as and comply to either of the following:
 -- Use Group R-4 under the 2018 International Residential Code.
 - All work shall comply to International Energy Conservation Code, 2012 edit.
- These plans and notes are the property and sole responsibility of JRArchitecture, llc. Use of these plans without the written consent of JRArchitecture, llc. is prohibited.
- These plans are subject to modification as necessary to meet code requirements and or facilitate mechanical/plumbing installations or to incorporate design improvements. The Architect and the Owner reserves the right to make any changes, for any reason, at any time, providing they comply with the code.
- The Sub-Contractor shall compare and coordinate all drawings. When a discrepancy or an error or omission exists, he shall comply with the code and contact the Architect and the Owner in writing for proper adjustment.
- These plans are not to be scaled for Construction purposes. Written dimensions and notes supersede all scaled references.
- In the event certain features of Construction are not fully shown on the drawings, their construction shall be of the same character as for similar conditions that are shown or noted.
- Field verify ALL dimensions

MECH. PLUMB. ELEC.

- Mechanical contractor is responsible for the design and installation of mechanical systems including duct work, trunk and register size for air conditioning and heating. Systems shall be installed per manufacturer's specifications and recommendations and as per all applicable building codes.
- Plumbing contractor is responsible for the design and installation of plumbing and piping. All plumbing, piping and fixtures shall be installed per manufacturer's specifications and recommendations and as per all applicable codes.
- Electrical contractor is responsible for the design and installation of all electrical systems. All electrical work shall meet the requirements of the National Electric Code, the local power company and all applicable codes. Fixtures and apparatus are selected by the builder and shall be UL approved.
- Smoke & Carbon Monoxide detectors - Provide a minimum of one ceiling mounted smoke per floor, hard wired to a nearby circuit and interconnected for simultaneous activation with battery backup. Provide detectors at each sleeping room as required by local code. Provide detectors outside each sleeping area within 10'-0" of each door.
- Fire suppression systems shall be installed as per local building code.
- All work shall comply to local code.

DESIGN CRITERIA

CLIMATE AND GEOGRAPHIC DESIGN CRITERIA - table 301.2 (1)

GROUND SNOW LOAD (lbs./s.f.)	30
WIND PRESSURE (pounds per square foot)	19 +/- (100 m.p.h.)
SEISMIC CONDITION BY ZONE	B
SUBJECT TO DAMAGE	WEATHERING SEVERE
FROST LINE DEPTH	30
TERMITE	MODERATE TO HEAVY
DECAY	MODERATE
WINTER DESIGN TEMP. FOR HEAT. FACILITIES	13'
RADON RESISTANT CONSTRUCTION REQ	
FLOOD HAZARDS - Ordinance #20 - dated 6/11/1985	
Firm - Current Revision	

CODE INFORMATION

- ALL WORK SHALL COMPLY WITH INTERNATIONAL CODE W/ LOCAL AMENDMENTS
- 2018 International Residential Code
 - 2018 International Energy Conservation Code
 - 2018 International Mechanical Code
 - 2018 International Plumbing Code
 - 2018 NFPA 101 Life Safety Code
 - 2018 National Electrical Code with Local Amendments (NFP5 70)
 - 2009 National Fuel Gas Code (NPPA 54)

DESIGN - LIVE LOADS

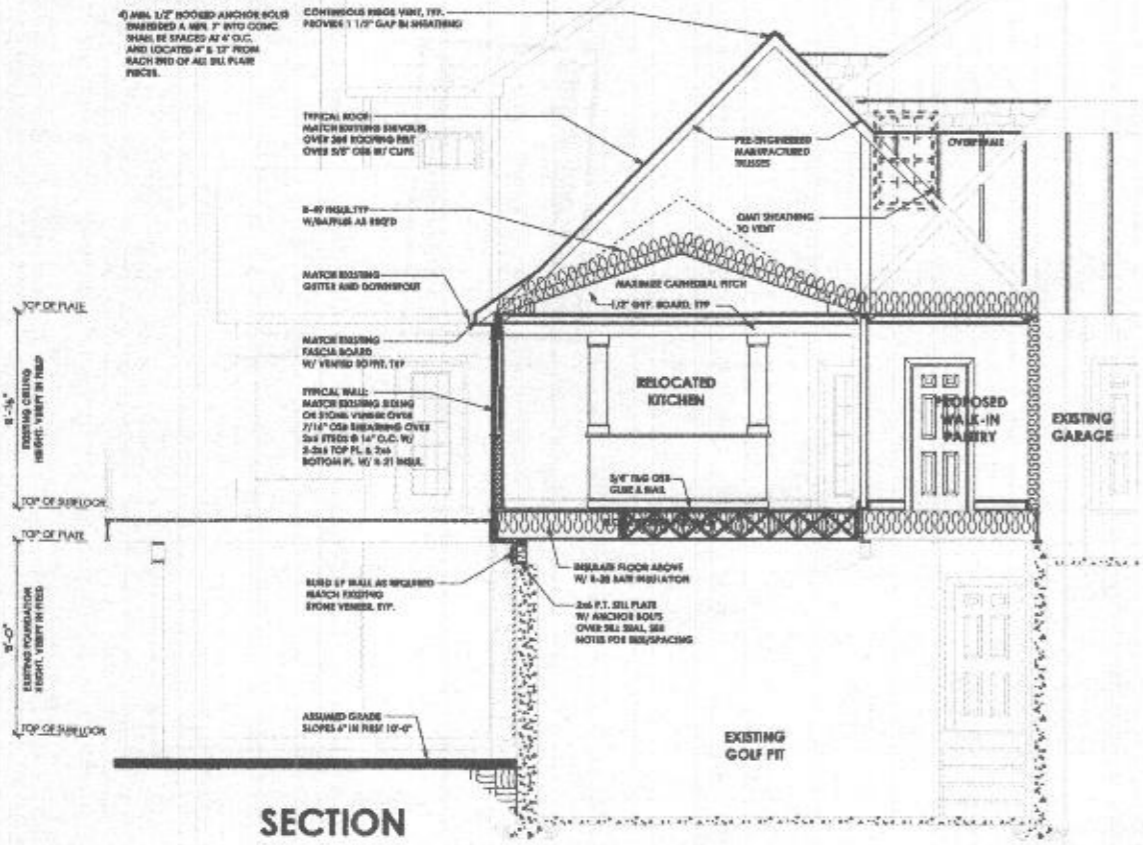
RECOMMENDED MINIMUMS:	SNOW LOADS:
Ground Snow Load 55 psf	ROOF: 12.6 PSF
Roof 40 psf	GROUND: 20.0 PSF
Sleeping Floors 30 psf	FLAT ROOF: 14.0 PSF
Living Floors 40 psf	EXP. FACTOR: 0.87
Exterior Decks 60 psf	WIND FACTOR: 1.0
Stairs 100 psf	ATTIC AREAS UNACCESSIBLE: 10PSF
Garage Slabs 60 psf	ACCESSIBLE: 20 PSF
Wind Load 17 psf	WIND LOAD: 14 PSF (EXPOSURE C)
Dead Load 10 psf	FLUID PRESSURE: 30 PCF MAXIMUM
Guardrails 200' of any point in any direction.	

(or as per local code)

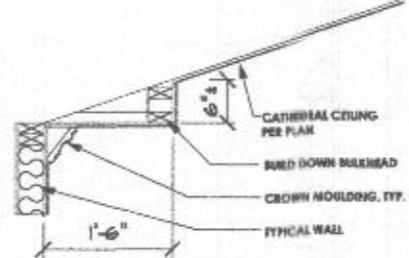
LOADS GREATER THAN 30 PCF REQUIRE FOUNDATION WALLS TO BE ENGINEERED.

PROFESSIONAL CERTIFICATION
 I certify that these documents
 were prepared or approved
 by me, and that I am a duly
 licensed professional
 architect under the laws of the
 State of Maryland.
 License Number: 114578
 Expiration Date: 6/30/2020

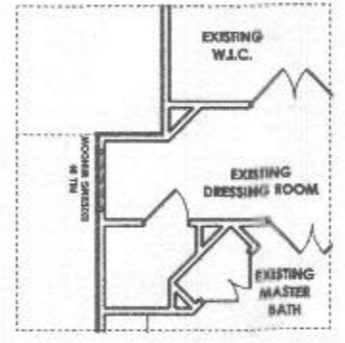
- SECTION NOTES**
- 1) 3000 PSI MAX SOIL BEARING CAPACITY ASSUMED
 - 2) BEAMS, JOISTS, HEADERS & RAFTERS TO BE SPP #112 OR EQ. TYP THROUGH U.N.O.
 - 3) ALL LOCATIONS FOR HVAC, SUMP PUMPS, SLOUGH-OUT, H/W/L, A/W AND OTHER FEATURES ARE SUBJECT TO INSURER OCCUPANCY ON SITE
 - 4) MIN. 1/2" HOOKED ANCHOR BOLTS SHIMMED & MIN. 7" INTO CONC. SHALL BE SPACED AT 4" O.C. AND LOCATED 4" & 12" FROM EACH END OF ALL SILL PLATE PIECES



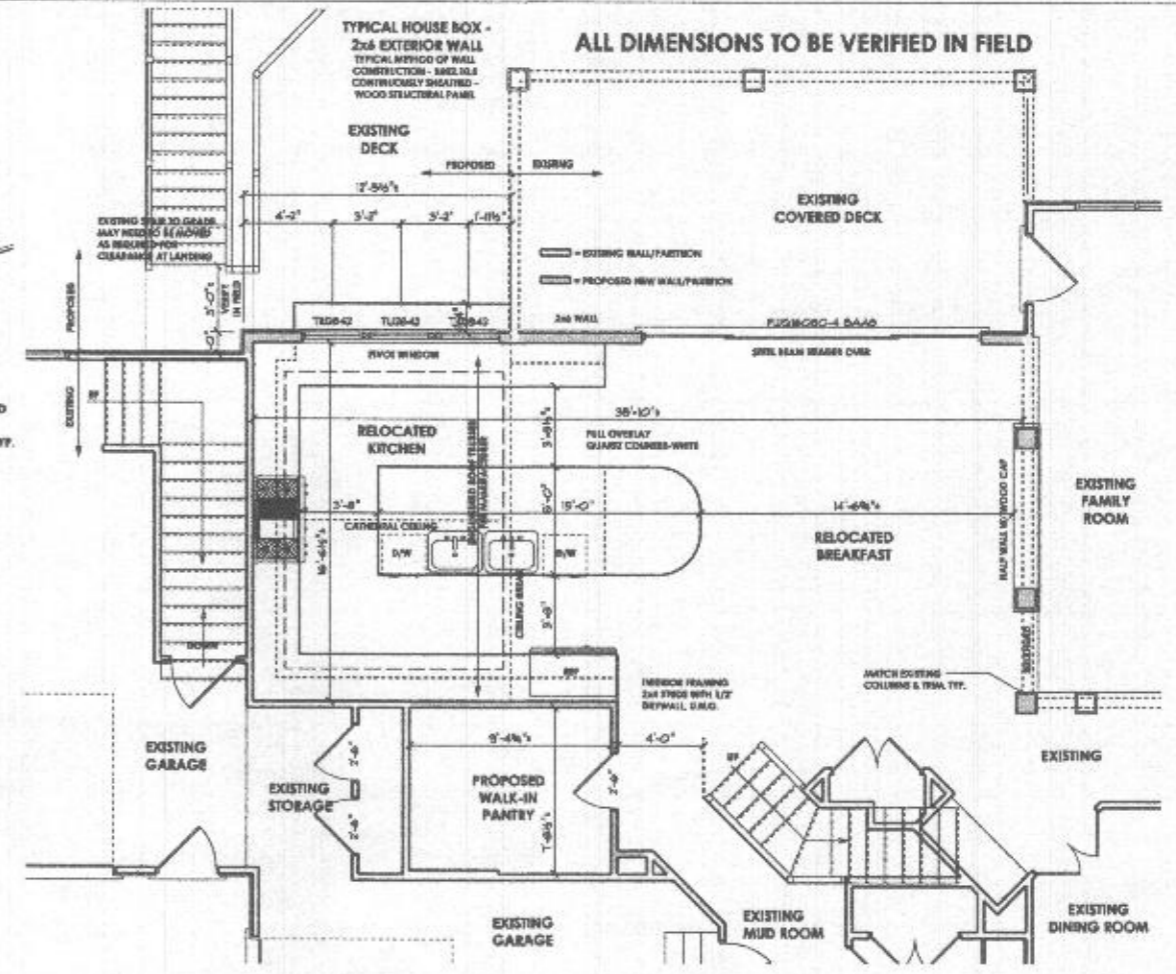
SECTION



CEILING DETAIL
N.T.S.

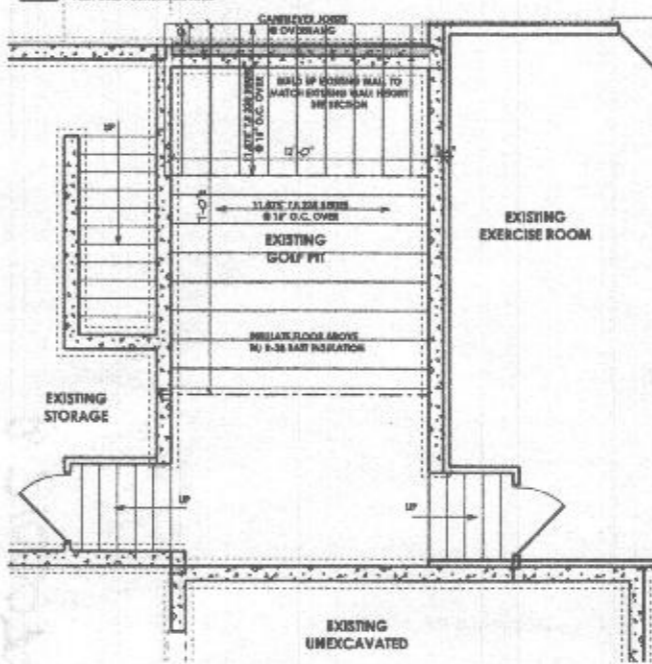


PARTIAL 2ND FLOOR PLAN



PROPOSED 1ST FLOOR PLAN

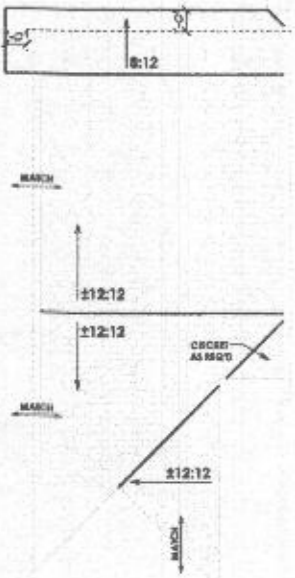
- FOUNDATION NOTES**
- 1) 3000 PSI MAX SOIL BEARING CAPACITY ASSUMED
 - 2) BEAMS, JOISTS, HEADERS & RAFTERS TO BE SPP #112 OR EQ. TYP THROUGH U.N.O.
 - 3) ALL LOCATIONS FOR HVAC, SUMP PUMPS, SLOUGH-OUT, H/W/L, A/W AND OTHER FEATURES ARE SUBJECT TO INSURER OCCUPANCY ON SITE
 - 4) MIN. 1/2" HOOKED ANCHOR BOLTS SHIMMED & MIN. 7" INTO CONC. SHALL BE SPACED AT 4" O.C. AND LOCATED 4" TO 12" FROM EACH END OF ALL SILL PLATE PIECES
 - 5) REFER TO WALL SECTIONS FOR FOUNDATION WALL DETAILS



PROPOSED FOUNDATION

- NOTES:**
- DOUBLE ALL FLOOR JOISTS UNDER WALLS ABOVE, THAT ARE FRAMED PARALLEL TO FLOOR FRAMING UNLESS NOTED OTHERWISE ON THE PLANS.
 - WHERE APPLICABLE, BALLOON FRAME EXTERIOR WALLS TO BE 2x6 SPP #2 OR BETTER STUDS @ 12" O.C. UNLESS OTHERWISE NOTED
 - ALL FLOOR JOISTS, CEILING JOISTS & RAFTERS ARE TO BE S.P.F.
 - ALL BEAMS, GIRDERS AND HEADERS ARE TO BE DOUG. FIR LARCH #2 OR BETTER WITH A Fb RATING OF 875 AND MODULUS OF ELASTICITY OF 1,400,000 MIN. U.N.O.
 - ALL LAMINATED VENEER LUMBER (LVL) BEAMS, GIRDERS AND HEADERS LABELED ON THE PLANS, TO HAVE A Fb RATING OF 2,950 AND MODULUS OF ELASTICITY OF 2,000,000 MIN. UNLESS OTHERWISE NOTED. STRUCTURAL LAMINATED BEAMS TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.
 - ALL STRUCTURAL OPENINGS TO RECEIVE MIN. 3-2x10 HEADERS W/ 1/2" FILLER & 1 JACK STUD EACH END - UNLESS NOTED OTHERWISE
 - PROVIDE SOLID 2x BLOCKING TO BE LOCATED BETWEEN FLOOR JOISTS WHERE POSTS, FROM ABOVE, CARRYING STRUCTURAL HEADERS LAND BETWEEN FLOOR JOIST BELOW. BLOCKING TO BE BUILT UP TO THE SAME WIDTH AS POST IT IS CARRYING ABOVE.
 - PROVIDE ADEQUATE CLEARANCE @ PLUMBING STACKS AS REQ.
 - ALL DIMENSIONS MUST BE VERIFIED IN THE FIELD BY THE CONTRACTOR BEFORE START OF CONSTRUCTION. ANY DISCREPANCIES ON THE PLANS OR SPECIFICATIONS, MUST BE REPORTED TO THE ARCHITECT PRIOR TO THE START OF CONSTRUCTION.
 - ANY VARIATION FROM THESE PLANS THAT WILL REQUIRE CHANGES TO THE STRUCTURAL MEMBERS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY.
 - WHERE APPLICABLE, REFER TO ENGINEERED LUMBER MFR'S SPECIFICATIONS FOR MULTI-MEMBER INSTALLATION & CONNECTION REQUIREMENTS
 - FASTEN MULTIPLE MEMBER JACKS TOGETHER W/ MIN. 10d NAILS @ 8" O.C. STAGGERED ALONG ENTIRE LENGTH OF MEMBERS. PROVIDE NAILING W/IN 3" OF TOP OR BOTTOM OF MEMBERS.
 - FASTEN MULTIPLE MEMBER BEAMS TOGETHER W/ MIN 14d NAILS @ 12" O.C. STAGGERED ALONG ENTIRE LENGTH OF MEMBERS. TWO ROWS REQUIRED FOR DEPTHS UP TO 12". THREE ROWS REQUIRED FOR DEPTHS OF 12-18". PROVIDE NAILING W/IN 22" OF EACH END OF MEMBERS. FOR BEAMS 7" OR GREATER IN WIDTH PROVIDE BOLTED CONNECTION W/ ASTM GRADE A-307 (OR BETTER) 1/2" DIA. BOLTS IN TWO ROWS 3" FROM EACH END OF BEAM @ 24" O.C. STAGGERED.

ROOF PLAN



REAR ELEVATION

Perry Residence
 PROPOSED ADDITION
 11529 Stardust Lane, Ellicott City, Maryland 21042

REVISIONS

ISSUE DATES:

10-14-19	REVISION
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SCALE: 1/4"=1'-0"
FLOOR PLANS
1.01
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