

PERMIT NUMBER: B 23000491

DATE ACCEPTED:



RESIDENTIAL BUILDING PERMIT APPLICATION

HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES, AND PERMITS

3430 COURT HOUSE DRIVE, ELLICOTT CITY, MD 21043 - PHONE: (410) 313-2455 OPTION #4

www.howardcountymd.gov

BUILDING SITE ADDRESS REQUIRED

Street Address: 14371 Frederick Rd. City: Cocksville State: MD Zip Code: 21723 Subdivision/Village/Complex Name: 1004 Avery Property SDP/WP/BA #: Lot: 1 Tax Map: 0008 Parcel: 0097 Grading Permit #:

DESCRIPTION OF WORK REQUIRED

Existing Use: Residential Proposed Use: Residential Estimated Cost: \$ 42,000 Trade Work to Be Completed (Separate Permits Required): [ ] Mechanical (HVACR) [ ] Electrical [ ] Plumbing [ ] None Building a garage addition 57' x 40' unfinished.

PROPERTY OWNER INFORMATION REQUIRED

Owner(s) Name(s) (As it appears on tax records): Andrew Jackson Ford and Kimberly Beth Ford Primary Residence: [x] Yes [ ] No Owner's Street Address: 14371 Frederick Rd. City: Cocksville State: MD Zip Code: 21723 Phone: (410) 340-7092 Email: kbmculty@yahoo.com

APPLICANT NAME REQUIRED - INDIVIDUAL WHO SIGNS THIS APPLICATION

Business Name: Contact Name: Andrew Jackson Ford Street Address: 14371 Frederick Rd. City: Cocksville State: MD Zip Code: 21723 Phone: (410) 340-7092 Email: kbmculty@yahoo.com

CONTRACTOR INFORMATION REQUIRED

Business Name: Owner to Act as Contractor Licensee's Name: License #: Street Address: City: State: Zip Code: Phone: Email:

ARCHITECT/ENGINEER INFORMATION INDIVIDUAL WHO SIGNED PLANS, IF APPLICABLE

Business Name: Name: Street Address: City: State: Zip Code: Phone: Email:

BUILDING CHARACTERISTICS REQUIRED

Primary Structure: [x] SF Dwelling [ ] SF Townhouse [ ] SF Duplex [ ] Mobile Home [ ] Multi-Family Dwelling (MF\*) Condo: [ ] Yes [x] No Utilities: [x] Electric [ ] Gas Water Supply: [ ] Public [x] Private (Well) Sewage Disposal: [ ] Public [x] Private (Septic) Heating System: [x] Electric [ ] Natural Gas [x] Propane [ ] Other: Roadside Tree Project: [x] No [ ] Yes: # Sprinkler System: [ ] NFPA 13 [ ] NFPA 13R [ ] NFPA 13D [x] None Fire Alarm System: [ ] Yes [x] No [ ] Voice Evac

ADDITIONAL RESIDENTIAL INFORMATION (PLEASE SELECT/COMPLETE ALL THAT APPLY)

Model Name & Options: # of Bedrooms (SF): # of efficiency units (MF\*): # of 1 BR (MF\*): # of 2 BR (MF\*): # of 3 BR (MF\*): # Rooms: # Full Baths: # Half Baths: # Fireplaces: Garage/Carport Info: [x] Attached Garage [ ] Detached Garage [ ] Integral Garage [ ] Carport [ ] None Basement/Foundation Info: [x] Slab on Grade [ ] Post & Pier [ ] Unfinished Basement [ ] Finished Basement: [ ] Full or [ ] Partial 1st Fl Width: 57' 1st Fl Depth: 40' 2nd Fl Width: 2nd Fl Depth: Bsmt Width: Bsmt Depth: Energy Method: [ ] Prescriptive [ ] Performance [ ] UA Alternative [ ] ERI Gross Area: sq ft Occupiable Area: 2180 sq ft

AGREEMENT/ DISCALIMER REQUIRED

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

APPLICANT'S ORIGINAL SIGNATURE DATE SIGNED 2/17/23

FOR OFFICE USE ONLY

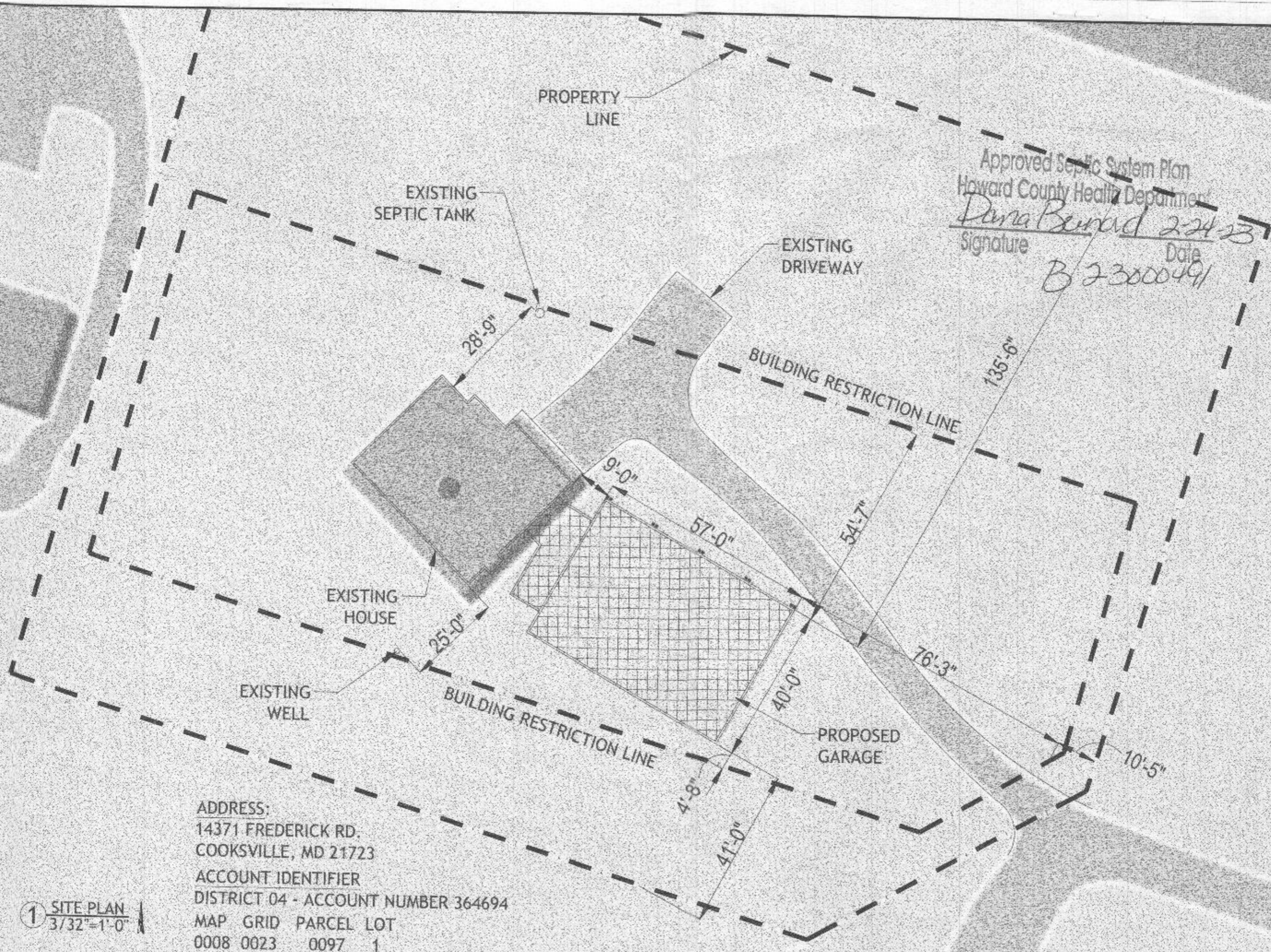
CHECKS PAYABLE TO: DIRECTOR OF FINANCE OF HOWARD COUNTY

AGENCIES REQUIRED/APPROVALS: [x] PR [ ] DPZ [ ] DED [ ] Health [ ] SHA [ ] CID SUBMITTAL FEES: \$ 2500 PAYMENT: Ck # 501 ACCEPTED BY: [Signature]

Kim Ford

| REVISIONS |      |             |
|-----------|------|-------------|
| NO        | DATE | DESCRIPTION |
|           |      |             |
|           |      |             |
|           |      |             |
|           |      |             |

Approved Septic System Plan  
Howard County Health Department  
*Dana Beard* 2-24-23  
Signature Date  
B 23000491



ADDRESS:  
14371 FREDERICK RD.  
COOKSVILLE, MD 21723  
ACCOUNT IDENTIFIER  
DISTRICT 04 - ACCOUNT NUMBER 364694  
MAP GRID PARCEL LOT  
0008 0023 0097 1

① SITE PLAN  
3/32"=1'-0"

MR. & MRS. FORD RESIDENCE  
GARAGE ADDITION  
14371 FREDERICK RD.  
COOKSVILLE, MD 21723

SITE PLAN  
2/13/2023  
SHEET  
C 1.0  
3 OF 14

# MR. & MRS. FORD RESIDENCE ATTACHED GARAGE ADDITION

14371 FREDERICK RD.  
COOKSVILLE, MD 21723  
2/13/2023

## PROPERTY DATA

OWNER: ANDREW JACKSON FORD & KIMBERLY BETH FORD

### ADDRESS:

14371 FREDERICK RD.  
COOKSVILLE, MD 21723

### ACCOUNT IDENTIFIER

DISTRICT 04 - ACCOUNT NUMBER 364694

### MAP GRID PARCEL LOT

0008 0023 0097 1

### ZONING: RC-DEO

## SCOPE OF WORK

BUILD AN UNFINISHED GARAGE ATTACHED TO EXISTING HOUSE THROUGH A CLOSED BREEZEWAY.

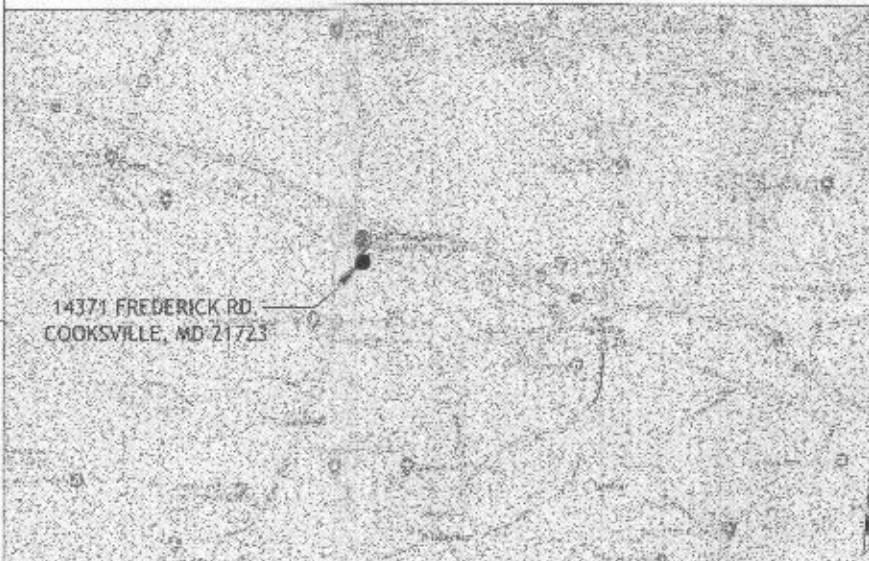
NEW PROPOSED GARAGE IS 2180 SF TOTAL

CONNECTING BREEZEWAY IS 250 SF TOTAL

## DRAWINGS INDEX

| SHEET NO. | SHEET NAME                |
|-----------|---------------------------|
| CS        | COVER SHEET               |
| G-1.0     | CODE COMPLIANCE           |
| C-1.0     | SITE PLAN                 |
| A-1.0     | FOUNDATIONS PLAN          |
| A-2.0     | GROUND LEVEL PLAN         |
| A-3.0     | ROOF PLAN                 |
| A-4.0     | FRAMING PLAN              |
| A-5.0     | ELEVATIONS                |
| A-6.0     | ELEVATIONS                |
| A-7.0     | BUILDING SECTIONS         |
| A-8.0     | BUILDING SECTIONS         |
| A-9.0     | BUILDING SECTIONS         |
| A-10.0    | WALL TYPES & WINDOW TYPES |
| A-11.0    | DETAILS                   |

## VICINITY MAP



## STANDARD SYMBOLS

|                  |  |                 |  |
|------------------|--|-----------------|--|
| ELEVATION        |  | WALL TYPE       |  |
| BUILDING SECTION |  | COLUMN LINE     |  |
| DETAIL           |  | WINDOW TYPE     |  |
| ENLARGED DETAILS |  | DRAINAGE SLOPE  |  |
| REVISION         |  | FLOOR ELEVATION |  |

## MATERIAL DESIGNATIONS

|  |                     |  |                    |
|--|---------------------|--|--------------------|
|  | EARTH               |  | STEEL              |
|  | GRAVEL              |  | FINISHED WOOD      |
|  | STRUCTURAL CONCRETE |  | PLYWOOD            |
|  | BRICK               |  | ROUGH WOOD FRAMING |
|  | CMU                 |  | BLOCKING           |
|  | ALUMINUM            |  | BATT INSULATION    |
|  | RIGID INSULATION    |  | CERAMIC TILE       |
|  | GYP-SUM BOARD       |  |                    |

## LEGEND

|                                |               |                      |
|--------------------------------|---------------|----------------------|
|                                |               |                      |
| EXISTING WALL TO BE DEMOLISHED | EXISTING WALL | NEW WALL / PARTITION |

## GENERAL NOTES

- THE FOLLOWING GENERAL NOTES APPLY TO THE ENTIRE PROJECT.
- THE CONTRACTOR SHALL EXAMINE ALL DRAWINGS FOR THE PROJECT, INCLUDING THOSE THAT MAY PRIMARILY PERTAIN TO WORK THAT THE CONTRACTOR NORMALLY DOES NOT PERFORM WITH ITS OWN FORCES. THE CONTRACTOR SHALL USE ALL OF THE PROJECT DRAWINGS FOR A COMPLETE UNDERSTANDING OF THE PROJECT AND ITS WORK, TO DETERMINE THE TYPE OF CONSTRUCTION AND SYSTEMS, FOR COORDINATION, TO DETERMINE WHAT OTHER WORK MAY BE INVOLVED THROUGHOUT, TO ANTICIPATE AND NOTIFY OTHERS WHEN THEIR COORDINATED EFFORTS WILL BE REQUIRED, AND ALL OTHER RELEVANT MATTERS RELATED TO THE PROJECT AND ITS WORK.
- IF THERE IS ANY INCONSISTENCY IN THE QUALITY OR QUANTITY OF THE WORK REQUIRED UNDER THE CONTRACT DOCUMENTS, THEN THE CONTRACTOR SHALL (1) IMMEDIATELY NOTIFY THE OWNER IN WRITING OF SUCH INCONSISTENCY AND (2) PROVIDE THE BETTER QUALITY OF OR GREATER QUANTITY OF WORK OR MATERIALS, UNLESS OTHERWISE ORDERED IN WRITING BY THE OWNER. COMPUTED DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE DIMENSIONS AND LARGE SCALE DRAWINGS SHALL TAKE PRECEDENCE OVER SMALL SCALE DRAWINGS. THE CONTRACT DOCUMENTS GENERALLY SET FORTH THE BASIS AND ANALYSIS OF DESIGN, AND THE CONTRACTOR SHALL OBTAIN SUCH INFORMATION AS MAY BE NECESSARY TO SATISFACTORILY PERFORM AND COMPLETE THE WORK.
- THE WORK DESCRIBED BY THE DRAWINGS OF ANY ONE DISCIPLINE MAY BE AFFECTED BY THE WORK DESCRIBED ON DRAWINGS OF ANOTHER DISCIPLINE AND MAY REQUIRE REFERENCE TO THE DRAWINGS OF ANOTHER DISCIPLINE. PARTIAL SETS OF DRAWINGS ARE INCOMPLETE AND SHOULD NOT BE DISTRIBUTED OR UTILIZED BY THE CONTRACTOR. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW AND COORDINATE THE WORK OF ALL SUB-CONTRACTORS, TRADES, AND SUPPLIERS WITH ALL REQUIREMENTS OF THE CONTRACT DOCUMENTS BEFORE COMMENCING CONSTRUCTION AND TO ASSURE THAT ALL PARTIES ARE AWARE OF ALL REQUIREMENTS, REGARDLESS OF WHERE THE REQUIREMENTS OCCUR IN THE CONTRACT DOCUMENTS, WHICH MIGHT AFFECT THE WORK OF THAT PARTY. THE CONTRACTOR IS RESPONSIBLE FOR ALL COORDINATION BETWEEN SUBCONTRACTORS, SUPPLIERS, AND VENDORS BASED ON THE ENTIRE SET OF THESE DOCUMENTS. NO ADDITIONAL COMPENSATION WILL BE DUE TO A CONTRACTOR FOR ANY ISSUES AS A RESULT OF ANY USE OF AN INCOMPLETE SET OF CONSTRUCTION DOCUMENTS.
- VERIFY ALL ROUGH-IN DIMENSIONS FOR EQUIPMENT PROVIDED IN THIS CONTRACT, OR BY OTHERS, UNLESS NOTED OTHERWISE. ALL MATERIALS AND EQUIPMENT TO BE INSTALLED PER THE APPLICABLE PROVISIONS OF THESE DOCUMENTS AND THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- CUTTING INTO NEW WORK OF OTHER TRADES SHALL BE DONE BY THE TRADE REQUIRING THE CUTTING. ALL CUTTING SHALL BE DONE IN A NEAT MANNER USING SAWS WHERE POSSIBLE. ALL PATCHING AND PAINTING REQUIRED AS A RESULT OF THIS CUTTING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- PROVIDE ADEQUATE TEMPORARY SUPPORT FOR WORK BEING CUT AND PATCHED TO PREVENT FAILURE. DO NOT ENDANGER OTHER WORK. PROVIDE ADEQUATE PROTECTION OF OTHER WORK DURING CUTTING AND PATCHING TO PREVENT DAMAGE.
- PROPERLY PREPARE ALL SURFACES FOR NEW FINISHES. PATCH WITH SEAMS WHICH ARE DURABLE AND AS INVISIBLE AS POSSIBLE. COMPLY WITH SPECIFIC TOLERANCES FOR THE TYPE OF WORK BEING DONE.
- OBTAIN OWNER'S SPECIFIC APPROVAL PRIOR TO DEVIATING FROM THE CONTRACT DOCUMENTS. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO COMPLY WITH STANDARD BUILDING AND CONSTRUCTION PRACTICES AND MANUFACTURER'S RECOMMENDATIONS FOR ALL ITEMS NOT SPECIFICALLY INDICATED AND DETAILED ON THE DRAWINGS. FOLLOW THE BEST TRADE PRACTICES AND ENGINEERING FOR THE ITEMS NOT SPECIFICALLY DETAILED AND INDICATED.
- ALL PARTS OF THE WORK, INCLUDING MATERIALS, METHODS, ASSEMBLIES, ETC. MUST COMPLY WITH THE MINIMUM REQUIREMENTS OF THE GOVERNING REGULATIONS OF ALL FEDERAL, STATE, DISTRICT, AND LOCAL AUTHORITIES HAVING JURISDICTION OVER THE PROJECT AS WELL AS THOSE GREATER REQUIREMENTS INDICATED BY THE CONTRACT DOCUMENTS. NO PART OF THE CONTRACT DOCUMENTS MAY BE CONSTRUED TO REQUIRE OR PERMIT WORK CONTRARY TO A GOVERNING REGULATION.
- THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING A CURRENT SET OF CONSTRUCTION DRAWINGS ON SITE DURING CONSTRUCTION. THE CONTRACTOR SHALL INDICATE ON THESE DRAWINGS ALL APPROVED CHANGES TO THE WORK. THIS SET OF DRAWINGS SHALL BE TURNED OVER TO THE OWNER/CLIENT WHEN THE PROJECT IS COMPLETE.
- THE BUILDING HAS BEEN DESIGNED TO BE SELF-SUPPORTING AND STABLE AFTER THE BUILDING IS FULLY COMPLETED. IT IS SOLELY THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE DEMOLITION, ERECTION PROCEDURES, SEQUENCE, AND TO ENSURE THE STABILITY OF ITS COMPONENTS AND PARTS, AND THE ADEQUACY OF TEMPORARY OR INCOMPLETE CONNECTIONS DURING ERECTION. THIS INCLUDES THE ADDITION OF ANY GUYS, SHORING, SHEETING OR TEMPORARY BRACING AND TE-DOWNS THAT MIGHT BE NECESSARY. SUCH MATERIALS ARE NOT SHOWN ON THE DRAWINGS. IF APPLIED, THEY SHALL BE REMOVED AS CONDITIONS PERMIT, AND SHALL REMAIN THE CONTRACTOR'S PROPERTY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL MECHANICAL, AND ELECTRICAL PERMITS, AND ALL OTHER RELATED PERMITS REQUIRED TO COMPLETE THE WORK. ALL PLUMBING, ELECTRICAL & MECHANICAL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH THE LATEST ADOPTED BUILDING CODE AND SHALL BE SUBJECT TO FIELD INSPECTION BY THE AGENCIES HAVING JURISDICTION.
- THESE DRAWINGS ARE THE PROPERTY OF THE OWNER AND MAY NOT BE MODIFIED OR REPRODUCED WITHOUT WRITTEN PERMISSION.

# CODE COMPLIANCE

ALL WORK SHALL WITH THE FOLLOWING:  
 INTERNATIONAL BUILDING CODE, 2015 EDITION  
 INTERNATIONAL RESIDENTIAL CODE, 1&2 FAMILY DWELLING 2015.  
 INTERNATIONAL MECHANICAL CODE, 2015 EDITION  
 NATIONAL STANDARD PLUMBING CODE, 2015 + SUPPLEMENT EDITION.  
 NATIONAL ELECTRICAL CODE, NEC, 2015 EDITION  
 INTERNATIONAL ENERGY CONSERVATION CODE, 2015 EDITION.  
 INTERNATIONAL FIRE PROTECTION CODE, 2015 NFPA 101.  
 FIRE PREVENTION CODE, 2015 EDITION NFPA 101.  
 OTHER CODES AND AMENDMENTS AS PER BALTIMORE COUNTY BILLS AS ADOPTED.  
 MARYLAND BUILDING PERFORMANCE STANDARDS JULY 2015.  
 NATIONAL FUEL GAS CODE 2015.  
 INTERNATIONAL PROPERTY MAINTENANCE CODE 2015  
 LIFE SAFETY NFPA 2015  
 COMAR 05.02.02 ADAAG 2015 EDITION.  
 COMAR 05.16 MARYLAND REHAB CODE  
 FLOOD PLAIN AMENDMENTS AS PER B.C. BILL #63-13  
 FIRE CODE AMENDMENTS AS PER B.C. BILL #40-12  
 PLUMBING CODE AMENDMENTS AS PER B.C. BILL #17-13

## 2018 ICCE CODE COMPLIANCE

- |  |   |
|--|---|
| <p>R301.1 CLIMATE ZONE 4A</p> <p>R401.2 COMPLIANCE METHOD:<br/>MANDATORY AND PRESCRIPTIVE PROVISIONS</p> <p>R402.1.1 VAPOR RETARDER: WALL ASSEMBLIES IN THE BUILDING THERMAL ENVELOPE SHALL COMPLY WITH VAPOR RETARDER REQ'S OF SECTION R702.7 OF THE IRC, 2015 Ed.</p> <p>R402.1.2 ATTIC INSULATION = R-49<br/>RAISED HEEL TRUSSES = R-38</p> <p>R402.1.2 WOOD FRAME WALL:<br/>R-20 OR R-13 PLUS R5 CONT. INSUL.</p> <p>R402.1.2 BASEMENT WALL INSULATION:<br/>R-13 / R-10 FOIL FACED CONT. UNINTERRUPTED BATTS FULL HEIGHT</p> <p>R402.1.2 CRAWL SPACE WALL INSUL: R-13/R-10 FOIL FACED CONT. BATTS FULL HEIGHT EXTENDING FROM FLOOR ABOVE TO FINISH GRADE LEVEL AND THEN VERT OR HORT AN ADDITIONAL 2'-0"</p> <p>R402.1.2 FLOOR INSULATION OVER UNCONDITIONED SPACE = R-19 BATT INSUL</p> <p>R402.1.2 WINDOW U-VALUE / SHGC .35 (U-VALUE) .40 (SHGC)</p> <p>R402.2.10 SLAB ON GRADE FLOORS LESS THAN 12" BELOW GRADE:<br/>R-10 RIGID FOAM BOARD UNDER SLAB EXTENDING EITHER 2'-0" HORT / VERT.</p> <p>R402.2.4 ATTIC ACCESS:<br/>ATTIC ACCESS SCUTTLE WILL BE WEATHER STRIPPED AND INSULATED R-49</p> <p>R402.4 BUILDING THERMAL ENVELOPE (AIR LEAKAGE) EXTERIOR WALLS AND PENETRATIONS WILL BE SEALED PER THIS SECTION OF THE 2015 IECC WITH CAULK, GASKETS, WEATHER STRIPPING OR AN AIR BARRIER OF SUITABLE MATERIAL. SEALING METHODS BETWEEN DISSIMILAR MATERIALS SHALL ALLOW SEALING FOR DIFFERTIAL EXPANSION AND CONTRACTION.</p> <p>R402.4.1.2 BUILDING ENVELOPE TIGHTNESS TEST:<br/>BUILDING ENVELOPE SHALL BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE OF NOT EXCEEDING 3 AIR CHANGES PER HOUR. TESTING SHALL BE CONDUCTED IN ACCORDANCE WITH ASTM E 779 or ASTM E 1827 WITH (BLOWER DOOR) AT A PRESSURE OF 0.2 INCHES w.g. (50 PASCALS). TESTING SHALL BE CONDUCTED BY AN APPROVED THIRD PARTY. A WRITTEN REPORT OF THE RESULTS OF THE TEST SHALL BE SIGNED BY THE PARTY CONDUCTING THE TEST AND PROVIDED TO THE BUILDING INSPECTOR.</p> <p>R402.4.2 FIREPLACES: NEW WOOD BURNING FIREPLACES WILL HAV TIGHT-FITTING FLUE DAMPERS OR DOORS, AND OUTDOOR COMBUSTION AIR FIREPLACE DOORS SHALL BE LISTED AND LABELED IN ACCORDANCE WITH UL127 (FACTORY BUILT FIREPLACE) AND UL907 (MASONRY FIREPLACE).</p> | <p>R402.4.4 ROOMS CONTAINING FUEL-BURNING APPLIANCES WHERE OPEN COMBUSTION AIR DUCTS PROVIDE COMBUSTION AIR TO OPEN COMBUSTION FUEL BURNING APPLIANCES, THE APPLIANCES AND COMBUSTION AIR SHALL BE LOCATED OUTSIDE THE BUILDING THERMAL ENVELOPE OR ENCLOSED IN A ROOM ISOLATED FROM INSIDE THE THERMAL ENVELOPE.<br/>EXCEPTIONS:<br/>1. DIRECT VENT APPLIANCES WITH BOTH INTAKE AND EXHAUST PIPES INSTALLED CONT TO THE OUTSIDE.<br/>2. FIREPLACES AND STOVES COMPLYING WITH SECTION R402.4.2 AND SECTION R1006 OF THE IRC.</p> <p>R402.4.5 RECESSED LIGHTING: RECESSED LUMINARIES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE LIMIT AIR LEAKAGE.</p> <p>R403.1.1 THERMOSTAT - ALL DWELLING UNITS WILL HAVE AT LEAST ONE (1) PROGRAMMABLE THERMOSTAT FOR EACH SEPARATE HEATING AND COOLING SYSTEM AS PER 2015 IECC SECTION 403.1.1.</p> <p>R403.1.2 WHERE A HEAT PUMP SYSTEM HAVING SUPPLEMENTARY ELECTRIC RESISTANCE HEAT IS USED THE THERMOSTAT SHALL PREVENT THE SUPPLEMENTARY HEAT FROM COMING ON WHEN HEAT PUMP CAN MEET HEATING LOAD.</p> <p>R403.2.1 MECHANICAL DUCT INSUL SUPPLY &amp; RETURN DUCTS IN ATTIC = R-8 MIN, R-6 WHEN LESS THAN 3 INCHES SUPPLY AND RETURN DUCTS OUTSIDE OF CONDITIONED SPACES R-8 MIN. ALL OTHER DUCTS EXCEPT THOSE LOCATED COMPLETELY INSIDE THE BUILDING THERMAL ENVELOPE = R-6 MIN. DUCTS LOCATED UNDER CONCRETE SLABS = R-6 MIN</p> <p>R403.3.2 DUCT SEALING ALL DUCT, AIR HANDLERS, FILTER BOXES WILL BE SEALED. JOINTS AND SEAMS WILL COMPLY WITH SECTION M1601.4.1 OR THE IRC. A DUCT TIGHTNESS TEST (DUCT BLASTER - DUCT TOTAL LEAKAGE TEST) WILL BE PERFORMED ON ALL HOMES AND SHALL BE VERIFIED BY EITHER A POST CONSTRUCTION TEST OR A ROUGH IN TEST. DUCT TIGHTNESS TEST IS NOT REQUIRED IF THE AIR HANDLER AND ALL DUCTS ARE LOCATED WITHIN CONDITIONED SPACE</p> <p>R403.6 MECHANICAL VENTILATION OUTDOOR, (MAKE UP AND EXHAUST), AIR DUCTS TO BE PROVIDED WITH AUTOMATIC OR GRAVITY DAMPER THAT CLOSE WHEN THE VENTILATION SYSTEM IS NOT OPERATING.</p> <p>R403.6.1 WHOLE HOUSE MECHANICAL VENTILATION SYSTEM FAN EFFICIENCY TO COMPLY WITH TABLE R403.6.1</p> <p>R403.7 EQUIPMENT SIZING SHALL COMPLY WITH R403.7</p> <p>R404.1 LIGHTING EQUIPMENT A MINIMUM OF 75% OF ALL LAMPS (LIGHTS) MUST BE HIGH-EFFICIENCY LAMPS. THIS CONTRACTOR ALSO RESPONSIBLE FOR GENERATING A CERTIFICATE OF COMPLIANCE AND AFFIXING TO ELECTRICAL PANEL OR WITHIN 6 FEET OF THE ELEC PANEL AND BE READILY VISIBLE.</p> |
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MR. & MRS. FORD RESIDENCE  
 GARAGE ADDITION  
 14371 FREDERICK RD.  
 COCKEYSVILLE, MD 21723

CODE COMPLIANCE

2/13/2023

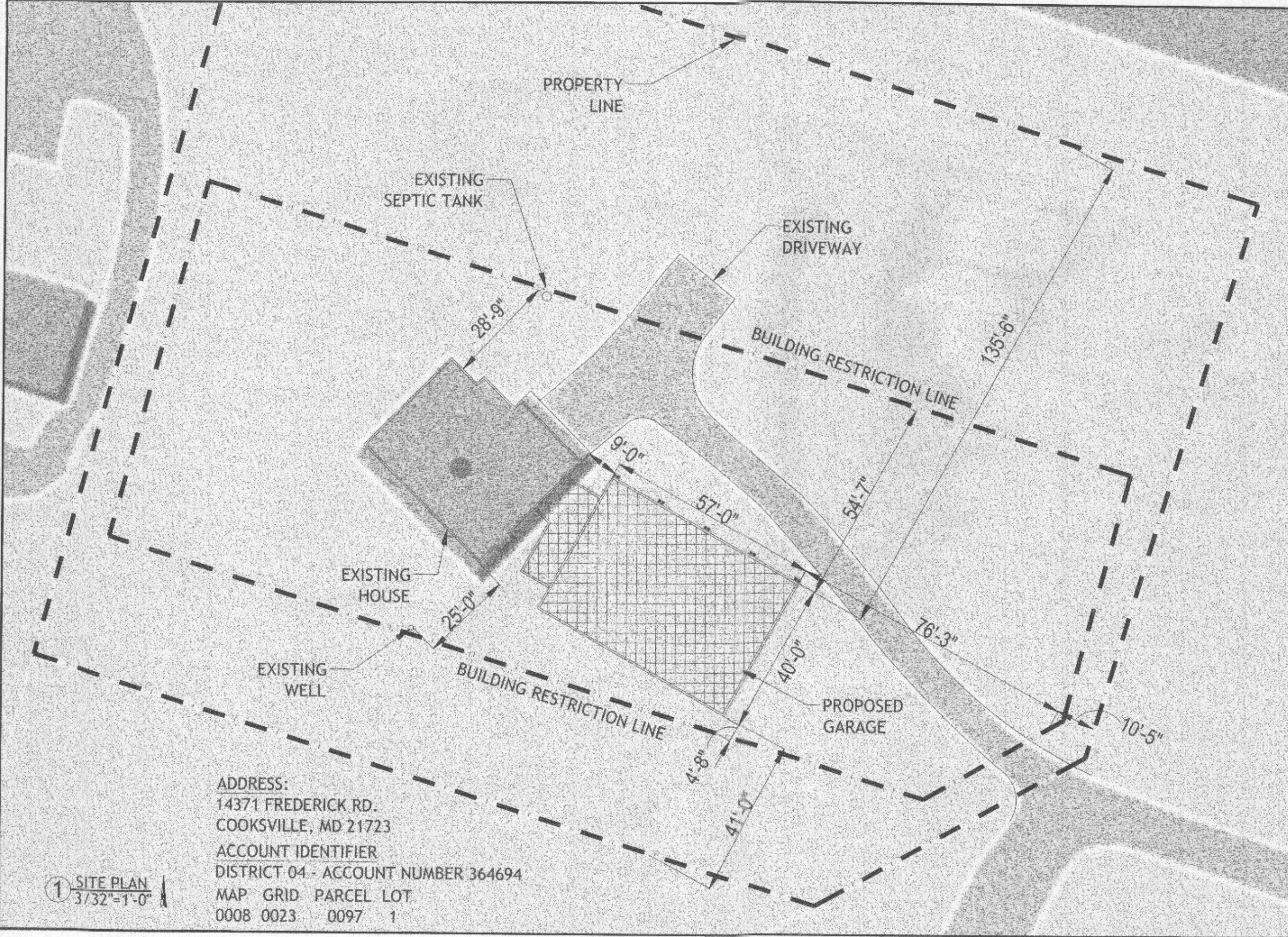
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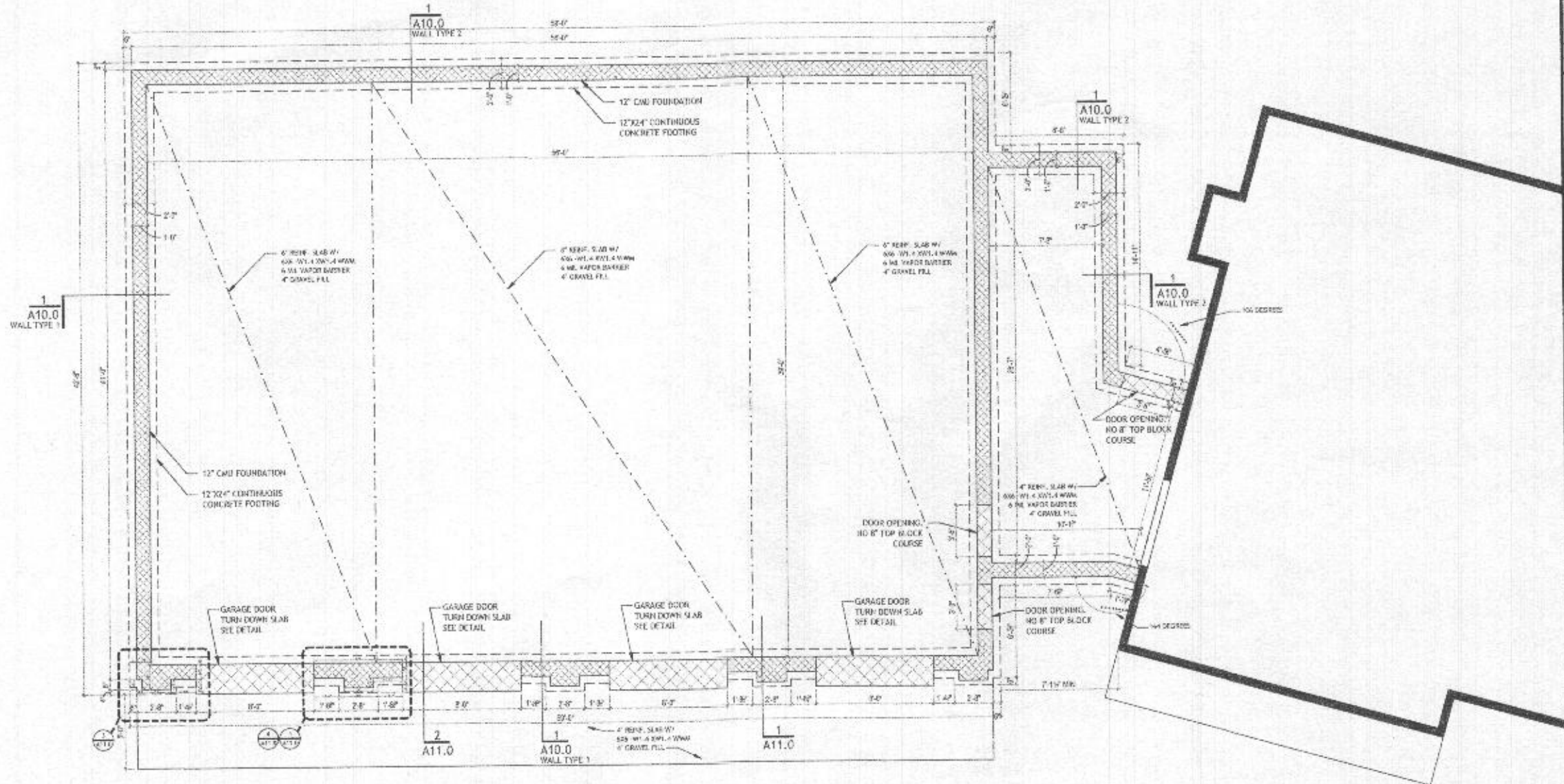
SITE PLAN  
2/13/2023  
SHEET  
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3 OF 14



ADDRESS:  
14371 FREDERICK RD.  
COOKSVILLE, MD 21723  
ACCOUNT IDENTIFIER  
DISTRICT 04 - ACCOUNT NUMBER 364694  
MAP GRID PARCEL LOT  
0008 0023 0097 1

1 SITE PLAN  
3/32"=1'-0"

| REVISIONS |      |             |
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**1 FOUNDATION PLAN**  
 1/4" = 1'-0"

**MR. & MRS. FORD RESIDENCE**  
**GARAGE ADDITION**  
 14371 FREDERICK RD.  
 COOKSVILLE, MD 21723

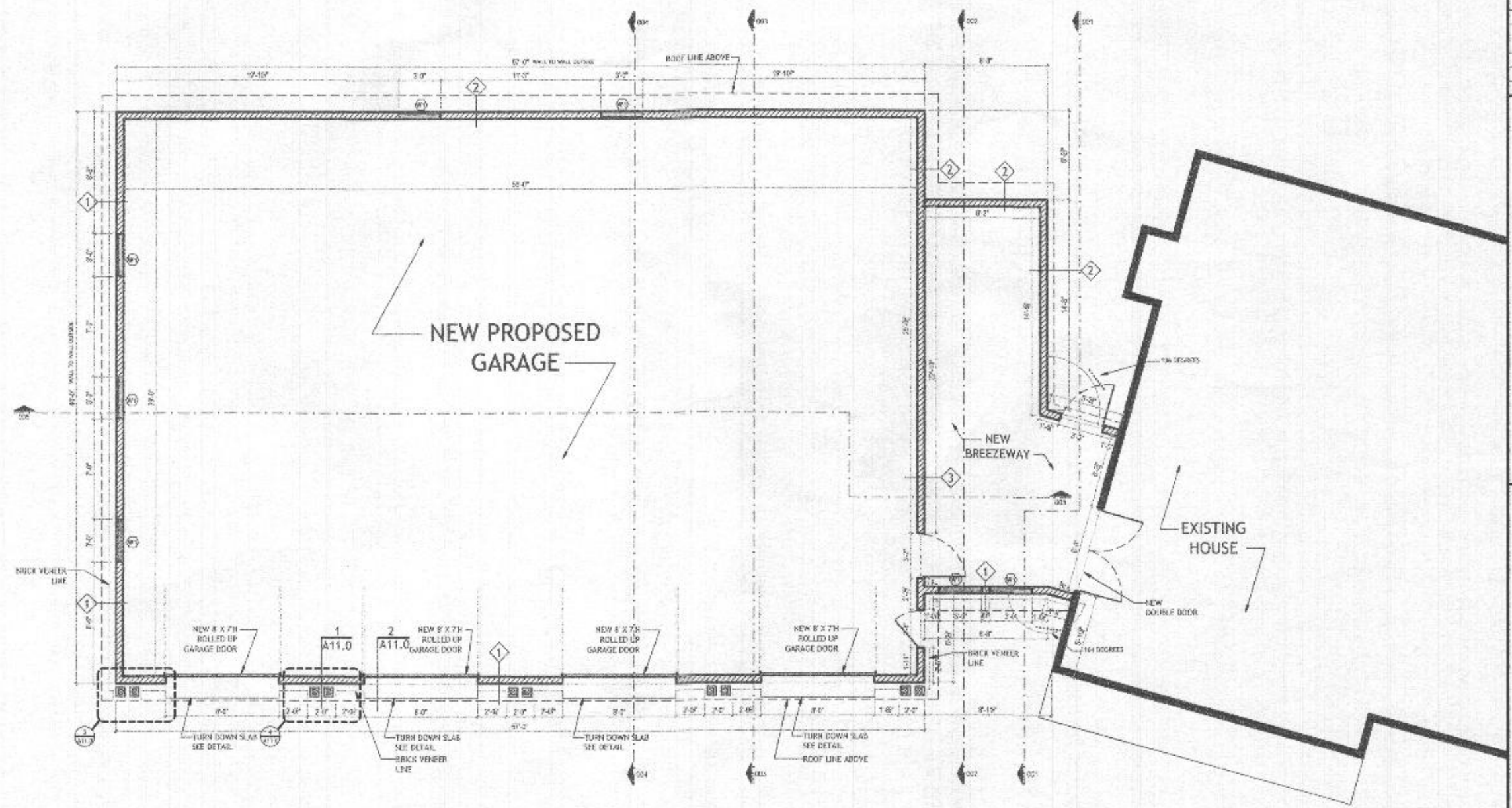
FOUNDATION  
 PLAN

2/13/2023

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4 OF 14

| REVISIONS |      |             |
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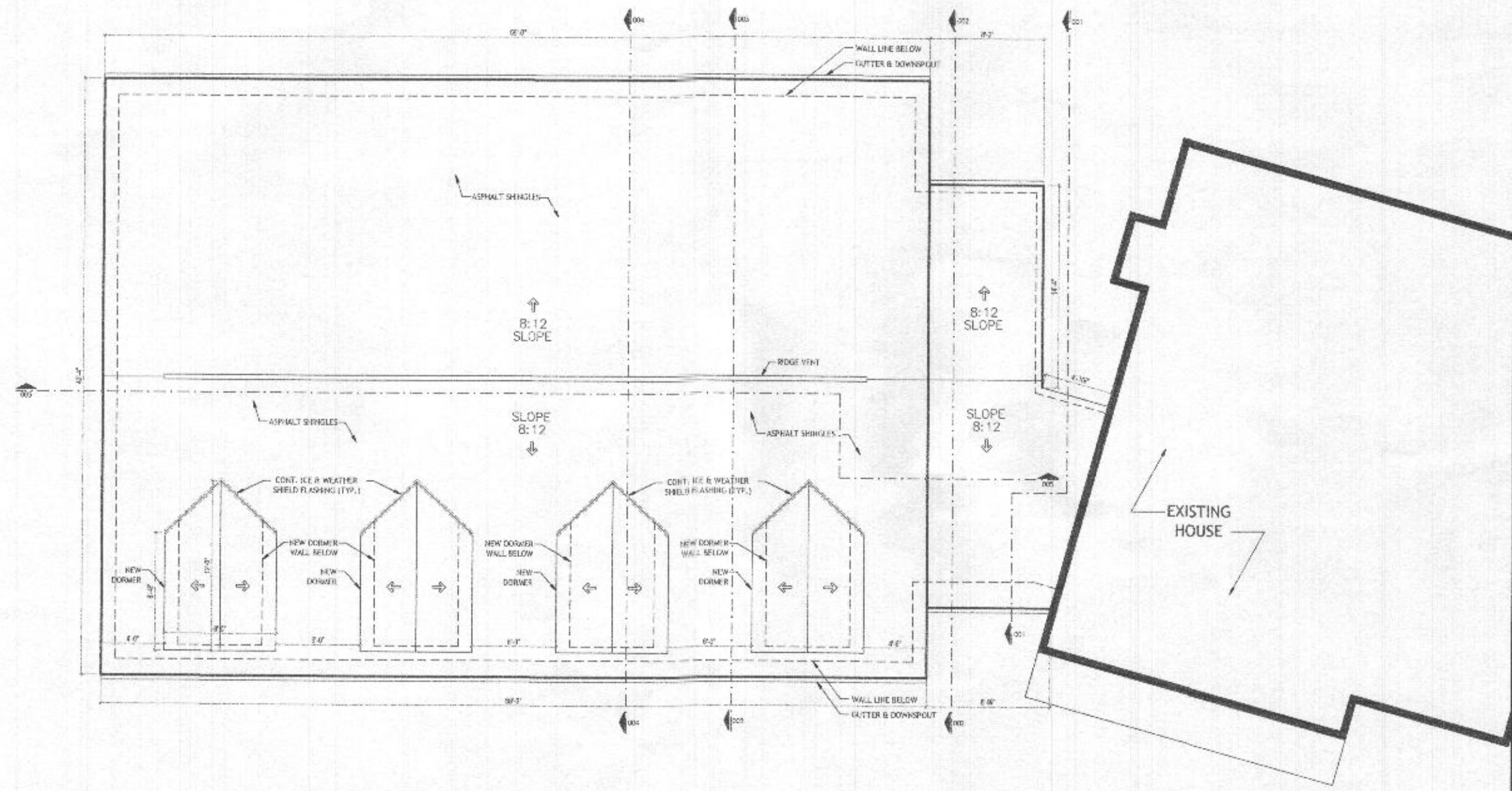
**MR. & MRS. FORD RESIDENCE**  
**GARAGE ADDITION**  
14371 FREDERICK RD.  
COOKSVILLE, MD 21723

**1 GARAGE FLOOR PLAN**  
1/4"=1'-0"

| LEGEND |                                |  |
|--------|--------------------------------|--|
|        | EXISTING WALL TO BE DEMOLISHED |  |
|        | EXISTING WALL                  |  |
|        | NEW WALL / PARTITION           |  |

GROUND PLAN  
2/13/2023  
**SHEET A 2.0**  
5 OF 14

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MR. & MRS. FORD RESIDENCE  
GARAGE ADDITION  
14371 FREDERICK RD.  
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ROOF  
PLAN

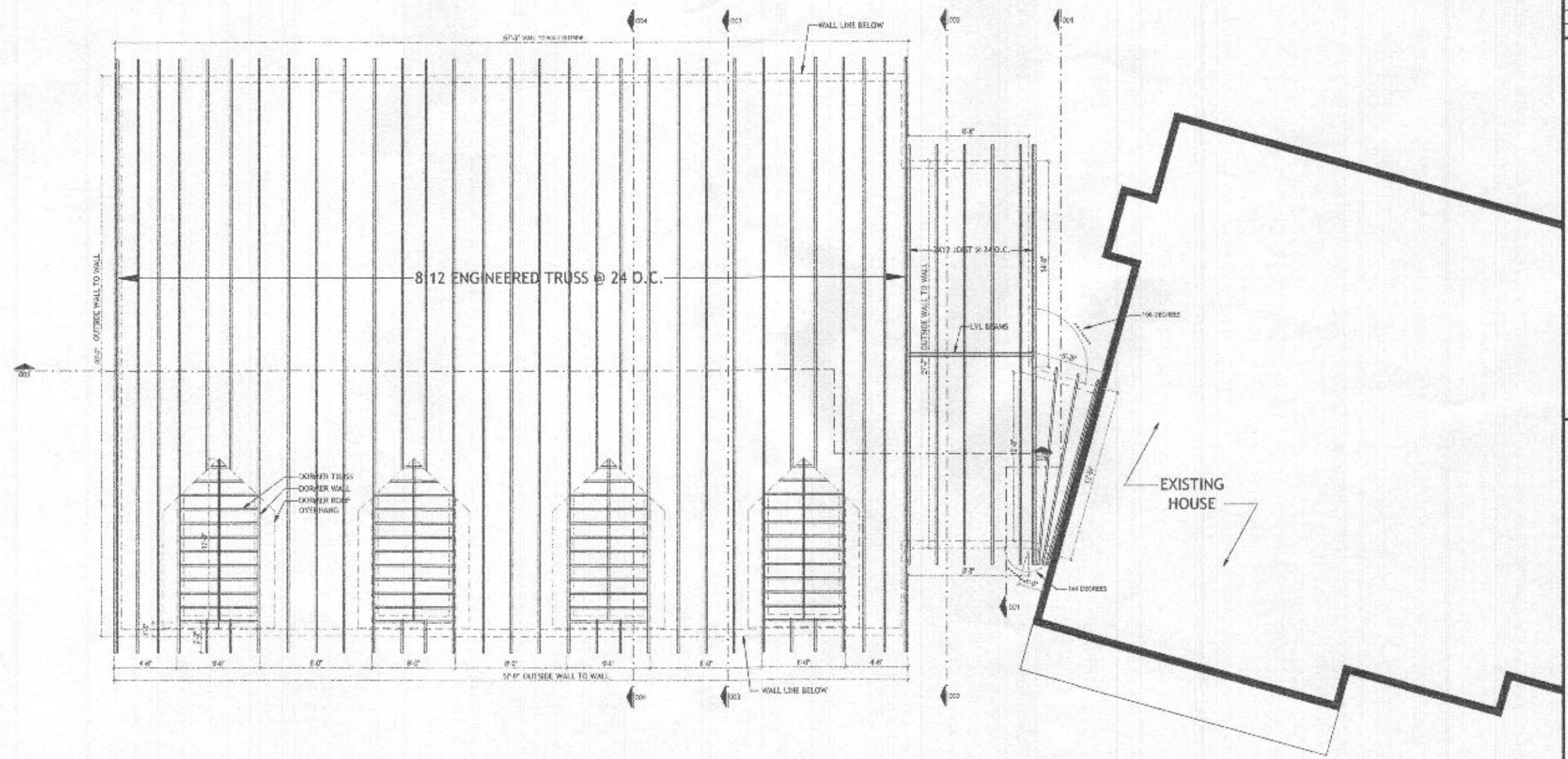
2/13/2023

SHEET  
A 3.0

6 OF 14

1 ROOF PLAN  
1/4"=1'-0"

| REVISIONS |      |             |
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**1** FRAMING PLAN  
 1/4"=1'-0"

**MR. & MRS. FORD RESIDENCE**  
**GARAGE ADDITION**  
 14371 FREDERICK RD.  
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FRAMING  
 PLAN

2/13/2023

**SHEET**  
**A 4.0**

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