

Cancelled

2/6/27

**COMPLETE THIS FORM WHEN DROPPING OFF ANY
CORRESPONDENCE AND/OR PLANS TO THE HOWARD COUNTY
DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS COUNTER:**

Date: 3/29/23

To: Mr. Blevin
(Person's Name and Division)

From: John Shaw ()
(Your Name, Company Name and Telephone Number)

Subject: Project name Shaw Garage
Project site address 16412 Old Frederick Rd
Permit # B23000977 SDP # _____
Other information pertinent to this project _____

Please check the attachments below that you are submitting with this transmittal:

- Letter of response to address plan review comment letter
- Revised plans and/or revised details: When submitting for a complete re-review, **duplicate sets shall be submitted.**
- Letter Summarizing Changes
- Energy conservation calculations
- 3 Copies of enlarged plans (be specific).
- Health Department Request DPZ/ DED Request Applicant's Request
- Two sets of single family dwelling model plans to be placed on permanent file: Model name and/or # _____
- Other _____

Contact Person Information: (Required)

John Shaw
Please Print Name

Telephone No: 301-395-9819

E-Mail Address: ShawJF3@AD1.c

PLEASE ASSURE ALL DOCUMENTS AND/OR REVISIONS ARE APPROPRIATELY SIGNED AND SEALED, IF NECESSARY, BY A LICENSED ARCHITECT OR ENGINEER. PLEASE BE ADVISED THAT INSUFFICIENT INFORMATION MAY RESULT IN THE DELAY OF REVIEW BY THE PLANS EXAMINER. THE DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS WILL CONTACT YOU IF THERE IS A PROBLEM. IN ADDITION, ONCE THE BUILDING PERMIT IS APPROVED BY THE PLAN REVIEW DIVISION AND ALL OTHER REQUIRED SIGNATORY AGENCIES, AND THE BUILDING PERMIT IS READY FOR ISSUANCE, THE PERMIT DIVISION WILL NOTIFY THE APPROPRIATE CONTACT PERSON FOR PERMIT PICK UP. ALL PERMIT STATUS INQUIRIES SHALL BE DIRECTED TO THE PERMIT DIVISION AT 410-313-2455. CODE RELATED QUESTIONS AND PLAN REVIEW INQUIRIES SHALL BE DIRECTED TO THE PLAN REVIEW DIVISION AT 410-313-2436. PLEASE ALLOW A MINIMUM OF FIVE (5) WORKING DAYS FOR ANY PLAN SUBMITTALS TO BE REVIEWED. THANK YOU.

Received by [Signature]

RECEIVED
MAR 30 2023
LICENSES & PERMITS
DIVISION

Silvast, Zackary

From: Silvast, Zackary
Sent: Tuesday, May 2, 2023 11:22 AM
To: ShawJF3@aol.com
Cc: Eshenbaugh, Melanie
Subject: regarding building permit # - B23000977 (16412 Old Frederick Road)

To Whom It May Concern,

Your building permit for 16412 Old Frederick Road (B23000977) has been thoroughly reviewed and a site visit has been conducted. The proposed garage exceeds 250 SF for non-living space construction; therefore, a perc certification plat would be required certifying necessary perc testing to establish a 10,000 SF sewage disposal area. You have a good amount of acreage on your property and there were no signs of ground surface failure with the existing septic system. You are welcome to submit a waiver request to omit your property from the perc certification requirement. A waiver request gets reviewed by our Environmental Health Director. I will warn you that there are no guarantees that he will approve the waiver and we have no records showing what kind of septic system is currently installed on your property. This is why we conducted a site visit, but we are working with very limited information. Perc testing would require a perc application, an engineered perc plan, and a paid percolation fee in order to proceed with gaining building permit approval. If you have any other questions or concerns. Feel free to contact me, thank you.

- ZS

Zack Silvast (LEHS)

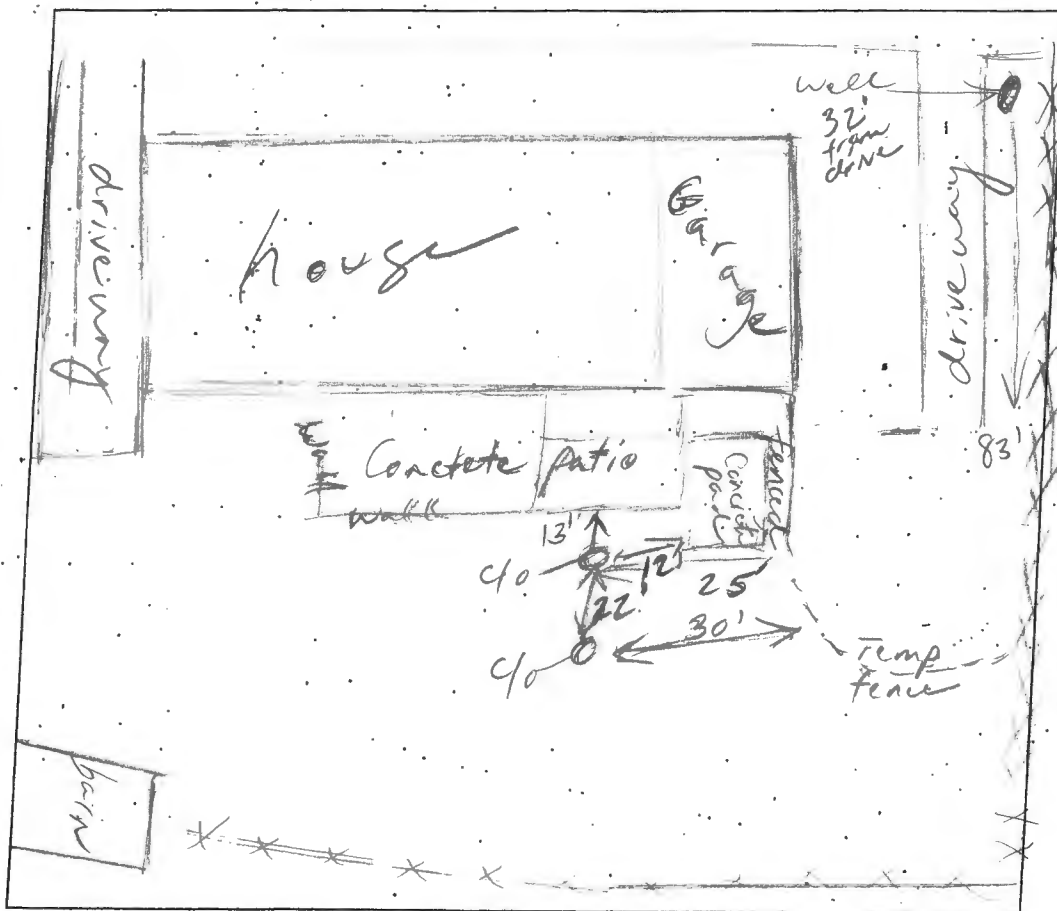
Plan Review Supervisor - Water & Sewer Division
410-313-1777

Environmental Health Bureau
Howard County Health Department

SITE INSPECTION SHEET

OWNER: John Shaw Jr. PHONE #: _____
ADDRESS: 16412 Old Frederick Rd CONTRACTOR: _____
Mt Airy WELL TAG #: 140-73-1479
SUBDIVISION: _____ LOT: _____ COUNTY #: Howard
PROPOSAL: Constructing a detached garage for
Storage

LOCATION DIAGRAM



COMMENTS: The well was observed to be in good condition
and located 77' to edge. The Septic cleanouts
are covered with lawn landscape decorations. No
evidence of surface hydraulic failure.

DATE: 4/26/23 INSPECTOR: Melanie Eschenburg

RECEIVED

PERMIT NUMBER: B 2300977

DATE ACCEPTED:

NOV 22 2023

RESIDENTIAL BUILDING PERMIT APPLICATION
 HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES, AND PERMITS
 3430 COURT HOUSE DRIVE, ELLICOTT CITY, MD 21043 - PHONE: (410) 313-2455 OPTION #4
 www.howardcountymd.gov

BUILDING SITE ADDRESS

Street Address: 16412 Old Frederick Road Unit:
 City: Mount Airy State: MD Zip Code: 21771
 Subdivision/Village/Complex Name: Upper Trail SDP/WP/BA #:
 Lot: Tax Map: Parcel: Grading Permit #:

DESCRIPTION OF WORK

Existing Use: Field for Goats Proposed Use: steep tractor/Goats Estimated Cost: \$ 25,000.00
 Trade Work to Be Completed (Separate Permits Required): Mechanical (HVACR) Electrical Plumbing None
 detached Garage 30x36 deep loft for storage unfinished

PROPERTY OWNER INFORMATION

Owner(s) Name(s) (As it appears on tax records): John F. Shaw Jr. Primary Residence: Yes No
 Owner's Street Address: 16412 Old Frederick Rd
 City: Mount Airy State: MD Zip Code: 21771
 Phone: 301-395-9819 Email: ShawJF3@aol.com

APPLICANT NAME

Business Name: Shaw Remodeling Contact Name: John Shaw
 Street Address: 16412 Old Frederick Rd
 City: Mount Airy State: MD Zip Code: 21771
 Phone: 301-395-9819 Email: ShawJF3@aol.com

CONTRACTOR INFORMATION

Business Name: Shaw Remodeling Home Owner
 Licensee's Name: John F. Shaw Jr License #: 40951
 Street Address: 16412 Old Frederick Rd
 City: Mount Airy State: MD Zip Code: 21771
 Phone: 301-395-9819 Email: ShawJF3@aol.com

ARCHITECT/ENGINEER INFORMATION

Business Name: NONE Name:
 Street Address:
 City: State: Zip Code:
 Phone: Email:

BUILDING CHARACTERISTICS

Primary Structure: SF Dwelling SF Townhouse SF Duplex Mobile Home Multi-Family Dwelling (MF*) Condo: Yes No
 Utilities: Electric Gas Water Supply: Public Private (Well) Sewage Disposal: Public Private (Septic)
 Heating System: Electric Natural Gas Propane Other: Oil Roadside Tree Project: No Yes: #
 Sprinkler System: NFPA 13 NFPA 13R NFPA 13D None Fire Alarm System: Yes No Voice Evac

ADDITIONAL RESIDENTIAL INFORMATION

Model Name & Options: 12x14 12x10 12x10
 # of Bedrooms (SF): 4 # of efficiency units (MF*): 0 # of 1 BR (MF*): # of 2 BR (MF*): # of 3 BR (MF*):
 # Rooms: 9 # Full Baths: 2 # Half Baths: 4 # Fireplaces: 0
 Garage/Carport Info: Attached Garage Detached Garage Integral Garage Carport None
 Basement/Foundation Info: Slab on Grade Post & Pier Unfinished Basement Finished Basement Full or Partial
 1st Fl Width: 1st Fl Depth: 2nd Fl Width: 0 2nd Fl Depth: 0 Bsmt Width: Bsmt Depth:
 Energy Method: Prescriptive Performance UA Alternative ERI Gross Area: sq ft Occupiable Area: sq ft

AGREEMENT/ DISCALIMER

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERE TO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

APPLICANT'S ORIGINAL SIGNATURE: [Signature] DATE SIGNED: 11/2/22

FOR OFFICE USE ONLY

AGENCIES REQUIRED/APPROVALS:
 PR BPZ DED Health SHA CID

SUBMITTAL FEES: \$ 25.00 PAYMENT: ACCEPTED BY:

PROFESSIONAL CERTIFICATION
 I certify that these documents were prepared or approved by me, and that I am a duly licensed professional architect under the laws of the State of Maryland. License Number 014678 Expiration Date: 4/30/2024

ALL RIGHTS RESERVED
 NO PART OF THIS DOCUMENT OR ANY INFORMATION CONTAINED HEREIN MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT PERMISSION IN WRITING FROM JONATHAN RIVERA ARCHITECT. All Rights Reserved.

PROPOSED GARAGE

SHAW RESIDENCE

Address Needed Maryland

ARCHITECT
 Jonathan Rivera AIA, NCARB
 Howard County, Maryland

443.226.5745
 jrvera@jonathanrivera.com

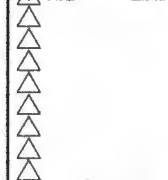
STRUCTURAL ENGINEER
 Sporn1 Engineering
 48 West Michel Street
 New Market, Maryland

(340) 822-3014
 info@sporn1.com

BUILDER

ISSUE DATE

3-15-23 PERMIT SET



SCALE: 1/4" = 1'-0"

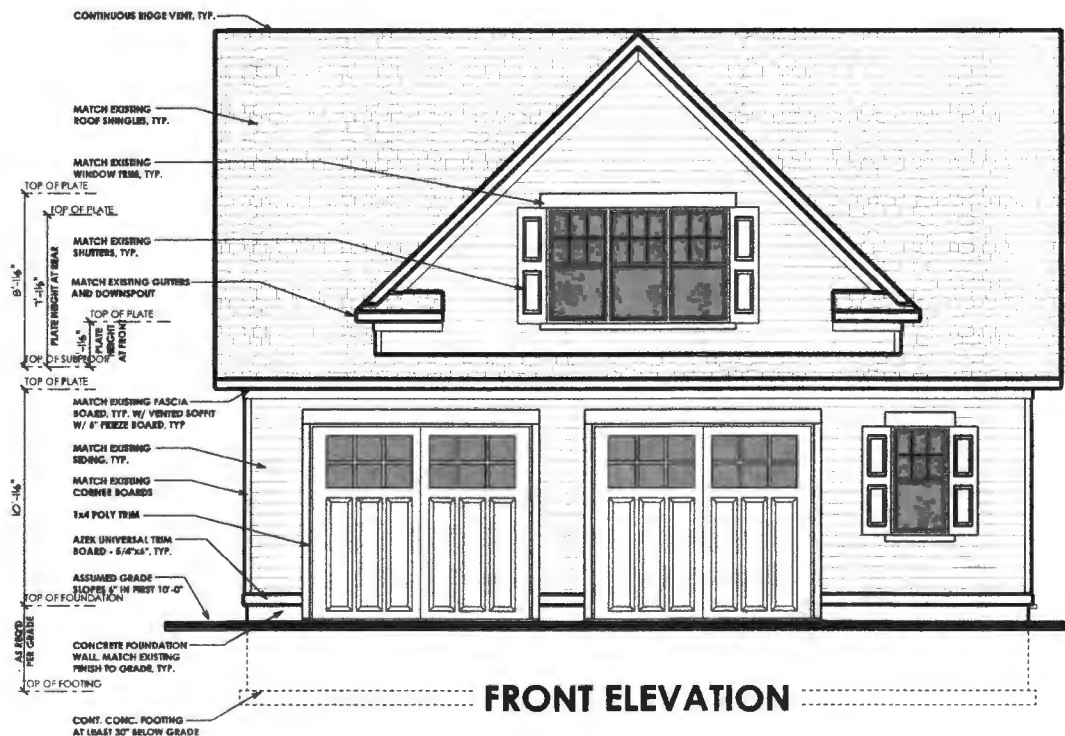
ELEVATIONS

1.01

PRINT DATE
 Thursday, March 16, 2023



RIGHT ELEVATION



FRONT ELEVATION

Digitally signed by
Matthew W Anderson
 Date: 2023.03.16
 14:56:56-04'00'



I, the undersigned, Matthew W Anderson, a Professional Engineer, certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland. License No. 31582 Expiration Date: 03/31/2025

AmeriSpec General Home Inspection

2402. Windows

Repair/Replace. Double Hung. Windows installed low in the upper front bathroom and lower bathroom shower/tub enclosures.



PROFESSIONAL CERTIFICATION
I certify that these documents were prepared or approved by me, and that I am a duly licensed professional architect under the laws of the State of Maryland. License Number #14678. Expiration Date: 4/30/2024

WARNING
THIS DOCUMENT IS A MEMORANDUM OF PROFESSIONAL SERVICE APPROVED BY JOINT BOARD OF PROFESSIONAL ARCHITECTS. IT IS NOT A CONTRACT DOCUMENT. IT IS NOT PART OF ANY CONTRACT. ANY AGREEMENT OR UNDERSTANDING BETWEEN ARCHITECT AND A PROPOSOR OR USER THAT WILL BE INCORPORATED TO THE RESULT OF THIS

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PROPOSED GARAGE

SHAW RESIDENCE

Address Needed
Maryland

ARCHITECT
Jonathan Rivera AIA, NCARB
Howard County, Maryland

443.226.5745
jrvera@jonathanrivera.com

STRUCTURAL ENGINEER
Spoin11 Engineering
46 West Main Street
New Market, Maryland

(240) 822-3016
info@spoin11.com

BUILDER

ISSUE DATE

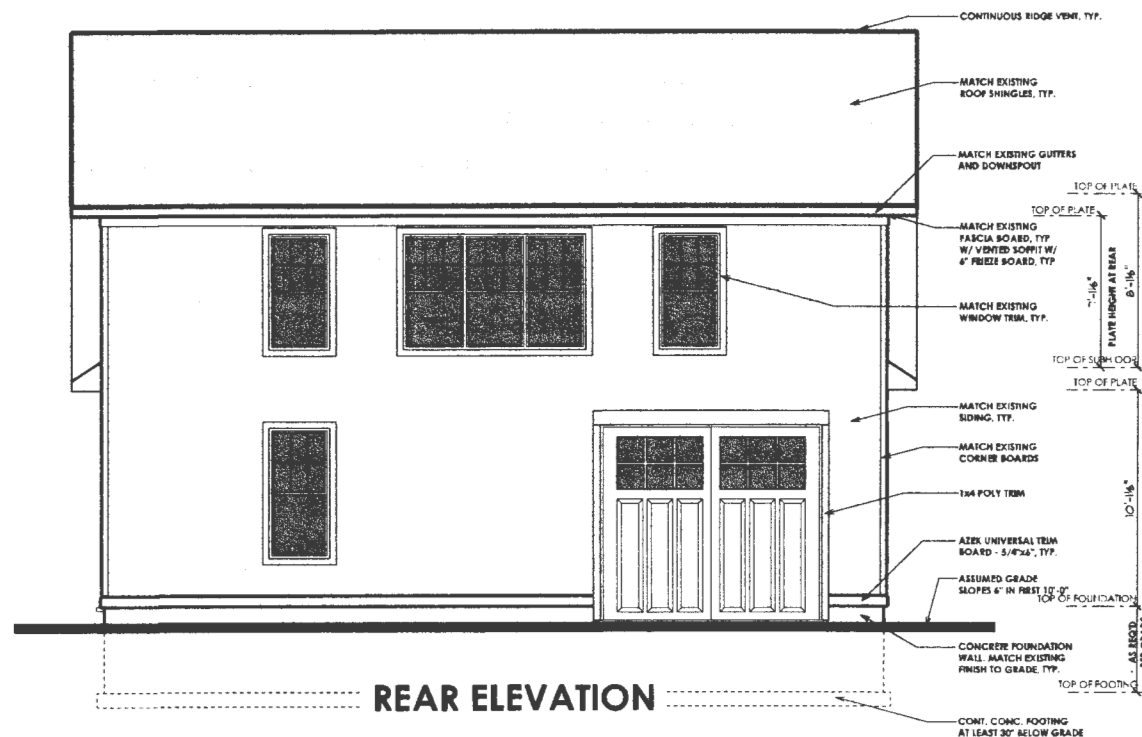
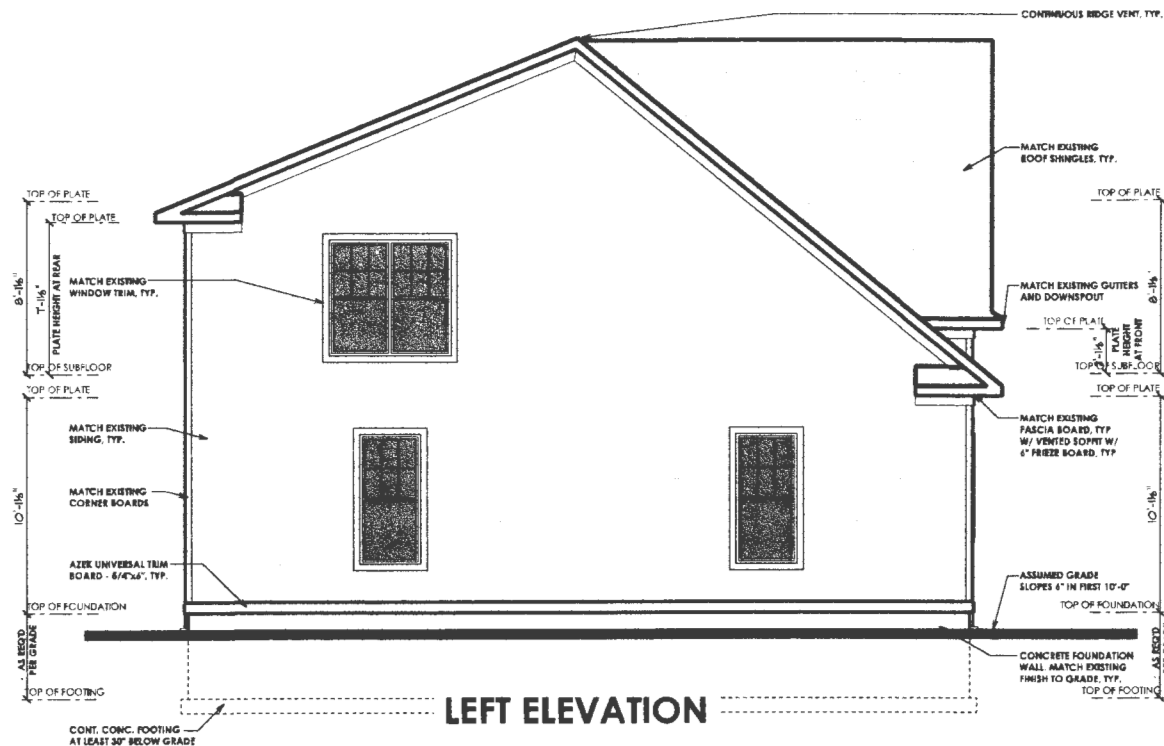
5-19-23 PERMIT SET



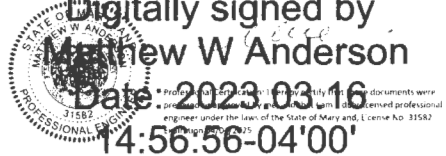
SCALE: 1/4" = 1'-0"

ELEVATIONS
1.02

PRINT DATE:
Thursday, March 16, 2023



Digitally signed by
Matthew W Anderson
Date: 2023.03.16
14:56:56-04'00'



AmeriSpec General Home Inspection

Interior Rooms

Our interior review is visual and evaluated with similar aged units in mind. Cosmetic considerations and minor flaws such as a torn screen or an occasional cracked window can be overlooked, thus we suggest you double check these items, if concerned. Inspections are limited to visible and/or accessible areas. Personal belongings and furniture restrict access to receptacles, windows, walls, and flooring.

Windows should be kept in good repair in the event they are needed for an emergency exit. We suggest making sure that they always operate freely (without use of force or a key or tool) and place furniture so as to keep windows accessible for emergency use. Older units may have windows that do not meet current size and height safety standards for emergency exit. Keeping them accessible and in good operating condition enhances their safety. Providing an escape ladder is a recommended safety enhancement for all upper level bedrooms. Rooms used for sleeping should have functional exits to both the interior and exterior of the units. Personal belongings and furniture restrict access to receptacles, windows, walls, and flooring. These areas should be reviewed during your final walk through to reveal hidden or concealed damage.

Step #	Component	Comment
2401.	Doors	Serviceable.

PROFESSIONAL CERTIFICATION
I certify that these documents were prepared or approved by me, and that I am a duly licensed professional architect under the laws of the State of Maryland.
License Number: #14678
Expiration Date: 4/30/2024

THIS DOCUMENT IS AN INSTRUMENT OF PROFESSIONAL SERVICE PREPARED BY JONATHAN RIVERA ARCHITECT. A VIOLATION OF THE OCCUPATIONAL AND PROFESSIONAL ETHICS ACT AND/OR VIOLATION OF THE STATE BOARD OF ARCHITECTS IS A VIOLATION OF LAW AND WILL BE PROSECUTED TO THE MAXIMUM.
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Jonathan Rivera Architect
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PROPOSED GARAGE

SHAW RESIDENCE
Address Needed
Maryland

ARCHITECT
Jonathan Rivera AIA, NCARB
Howard County, Maryland

443-226-5745
jrvera@jonathanrivera.com

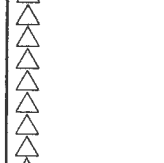
STRUCTURAL ENGINEER
SpaIn1 Engineering
68 West Main Street
New Market, Maryland

(240) 822-3016
info@spaIn1.com

BUILDER

ISSUE DATE

3-15-25 PERMIT SET

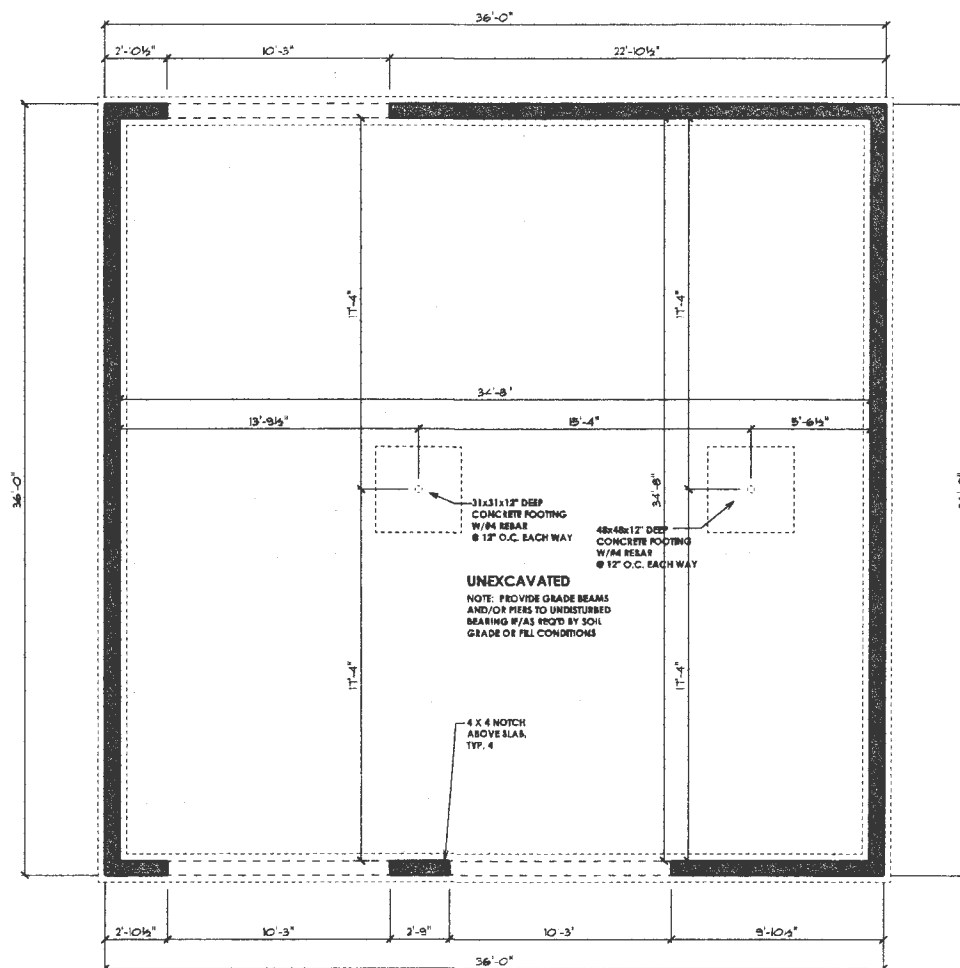


SCALE: 1/4" = 1'-0"

FOUNDATION

2.01

PRINT DATE:
Thursday, March 14, 2025



FOUNDATION NOTES

- 1) 1800 PSF MIN SOIL BEARING CAPACITY ASSUMED
- 2) BEAMS, JOISTS, HEADERS & BATTENS TO BE SPT #1/#2 OR EQ. TYP THROUGH U.N.O.
- 3) ALL LOCATIONS FOR HVAC, SUMP PUMPS, ROUGH-INS, W/WH, A/R AND OTHER FEATURES ARE SUBJECT TO BUILDER DISCRETION ON SITE
- 4) FOUNDATION WALL MIN. THICKNESS 8" OR 10" WHERE STEM WALL AT BRICK LEDGE EXCEEDS 12" HIGH
- 5) MIN. 1/2" HOOKED ANCHOR BOLTS EMBEDDED A MIN. 7" INTO CONC. SHALL BE SPACED AT 4' O.C. AND LOCATED 4" TO 12" FROM EACH END OF ALL BELL PLATE PIECES.
- 6) REFER TO WALL SECTION(S) FOR FOUNDATION WALL DETAILS.

TYPICAL GARAGE FOUNDATION WALL

MIN. 8" REINFORCED CONCRETE FOUNDATION WALL (THICKNESS & REINFORCING PER SOIL & GRADE CONDITIONS & CODE)
MIN. 8" X 18" CONTINUOUS FOOTING W/ (2) #4 CONTINUOUS @ BOTTOM

Digitally signed by
Matthew W Anderson
Date: 2023.03.16
14:56:57-04'00'



I, the undersigned, being a duly licensed professional engineer under the laws of the State of Maryland, License No. 31582, do hereby certify that the above documents were prepared by me or under my direct supervision and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 31582.

AmeriSpec General Home Inspection

2301. Toilet

Repair/Replace. Toilet installed over/in front of window at the upper front bathroom.

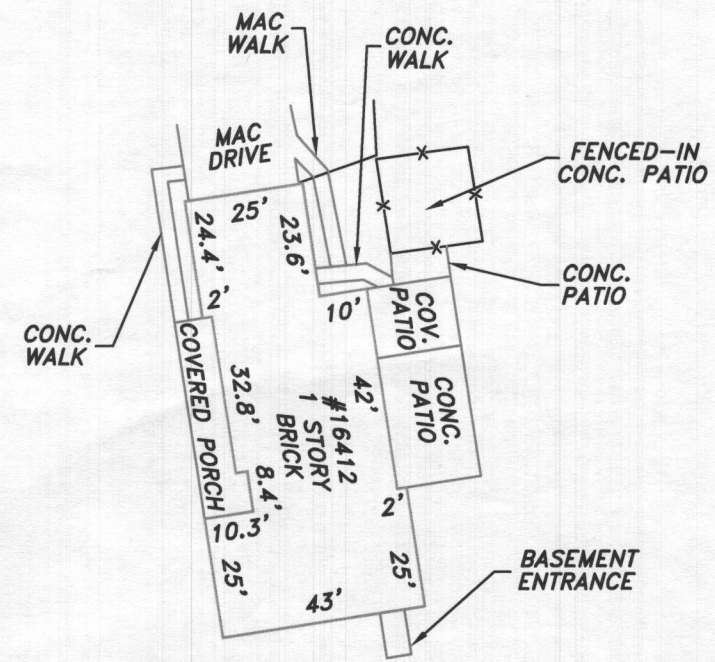
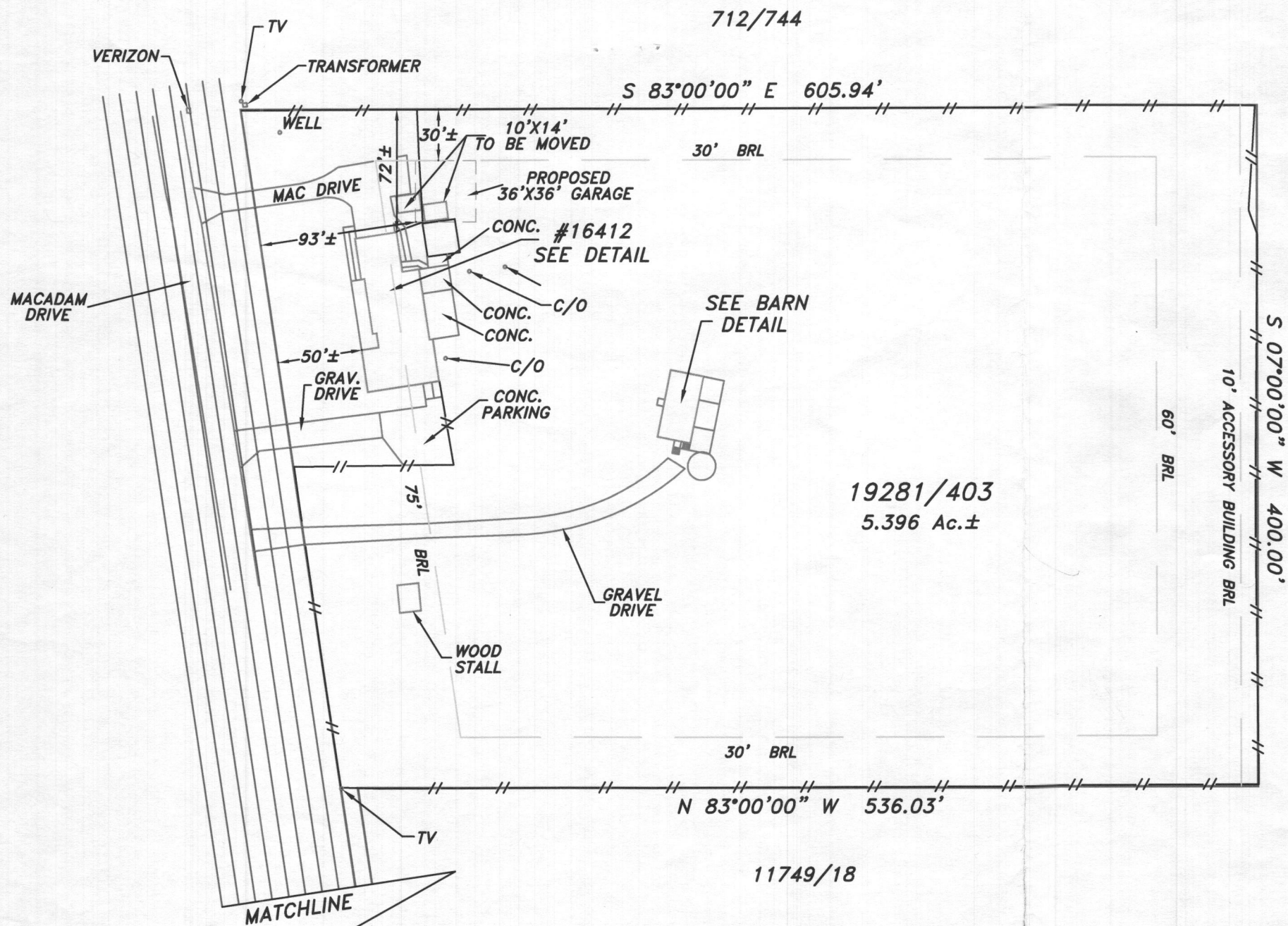


2302. Sinks

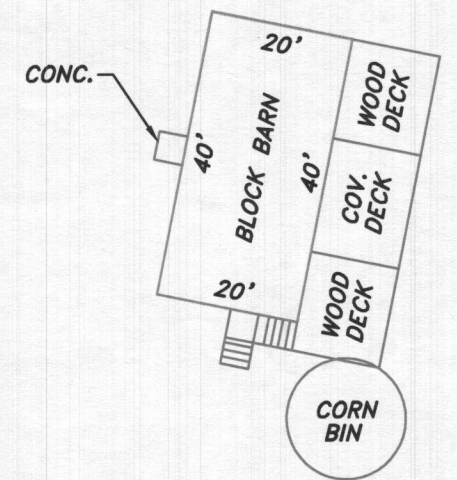
Repair/Replace. Slow draining sinks in upper bathrooms.



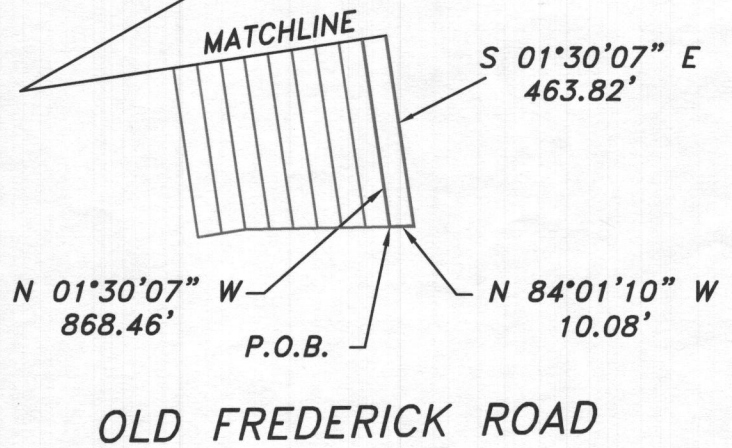
- 2303. Bathtub Serviceable.
- 2304. Shower Serviceable.
- 2307. Heat / Ventilation Serviceable.
- 2308. Electrical Serviceable.



HOUSE DETAIL
DETAIL NOT TO SCALE



BARN DETAIL
DETAIL NOT TO SCALE



The purpose of this drawing is to locate, describe, and represent the positions of buildings and substantial improvements affecting the property shown hereon, being known as:
16412 Old Frederick Road
as described in a deed
recorded among the land records of Howard County, Maryland in Liber 19281 folio 403

This is to certify that I either personally prepared or was in responsible charge over the preparation of this drawing and the surveying work reflected in it, all set forth in Regulation .12 of Chapter 09.13.06 of the Code of Maryland Annotated Regulations.

This is page one of a two page document. The advice found on the affixed page is an integral part of this drawing, and is not valid without all pages.



LOCATION DRAWING
16412 OLD FREDERICK ROAD
4th ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

Scale: 1" = 80'
Date: 2/20/2023
Field By: CB/KSW
Drawn By: RMS
File No.: MISC 15783
Page No.: 1 of 2

NTT Associates, Inc.
16205 Old Frederick Rd.
Mt. Airy, Maryland 21771
Phone: (410) 442-2031
Fax: (410) 442-1315
www.nttsurveyors.com