

Doc 2/6

Record Detail (This section is required.)

Permit Type Building/Residential/Addition/SFD Permit Number B23004973 Opened Date 12/27/2023
 Description of Work SFD/ Demo existing roof and deck. Add new second floor and roof. Add new front porch and deck. APPROX 2862 SQ FT, 2 STORY, Existing, 8R, 2FB, 1HB, 1FP, OTHER STRUCTURE = None, 4BR, PORCH/DECK = Front Porch, ENERGY METHOD = N/A,

Online BP, records
 may be under address 2800.
 g/b 1/23/24

[check spelling](#)

Address (This section is required.)

Search Reset Clear Get Parcel & Owner
 Street # 2796 Street Name NIXONS FARM Street Type LN
 Unit Type -Select- Unit # X Coordinate -76.96192 Y Coordinate 39.2959
 City WEST FRIENDSHIP State MD Zip Code 21794 Primary Yes

Parcel (This section is required.)

Search Reset Clear Get Address & Owner
 GIS ID 903525 Parcel 267 Parcel Area 7.36 Land Value 273800 Improved Value 489400 Exemption Value 215600 Plan Area RURAL
 Legal Description IMPVLOT 2 7.3568 A.[]2796 ROUTE 32[]NIXON PROPERTY

[check spelling](#)

Block 2 Census Tract 603000 Council Dist 5 Inspection Dist Supervisor Dist Map # DAP Zone
 Plan Area State Tax Id 1403318354 Subdivision Name NIXON PROP
 Section Area Tax Map 15
 Grid Zoning District RC-DEO ADC Map 4813-G3
 SDP No. Final Plan No. WP File No.
 SDP-14-014 ECP-13-057 Primary Yes
 Record Plat No. WS Contract No. FDP No.
 11254
 Owner Occupied Year Built 1988 Historic District
 Yes No Yes No
 Historic District Registry No. Stat Area 3-04 Flood Plain
 Yes No
 Building No

Owner (This section is not required.)

Search Reset Clear
 Name FRANZ JACOB D
 Address Line 1 2796 ROUTE 32
 Address Line 2
 Address Line 3
 Mail City WEST FRIENDSHIP Mail State MD Mail Zip Code 21794
 Phone 443-670-2270 Primary Yes
 E-mail
 Cell Number Fax Number

Professionals (This section is not required.)

License # · 08010116529
License Type · MHIC Ind
Primary
 Yes

Business Name
 RLF CONTRACTORS LLC

First Name · WHITNEY
Middle Name
Last Name · FORD

Address Line 1
 1111 POWDER ROAD
Address Line 2
 1111 POWDER ROAD

City · SYKESVILLE
State · MD
ZIP Code · 21784-0000

Phone 1 · 4436702270
Phone 2
Fax

E-mail
 WFORD2311@GMAIL.COM

Applicant (This section is not required.)

Search
 As Owner
 As Lic. Prof
 As Contact

Type
 Applicant

Relationship
 Applicant

Primary
 No

First Name · WHITNEY
MI
Last Name · FORD

Full Name
 Whitney Ford

Organization Name
 RLF CONTRACTORS LLC

Street Address
 1111 POWDER ROAD
Address Line 2
 1111 POWDER ROAD

City · SYKESVILLE
State · MD
Zip Code · 21784 000

Phone · 4436702270
Cell
Fax

E-mail
 rlfcontractorsllc@GMAIL.COM

Contact (This section is not required.)

Search
 As Owner
 As Lic. Prof
 As Contact

Type
 Contact

Relationship
 Licensed Professional

Primary
 Yes

First Name · Whitney
MI
Last Name · Ford

Full Name
 Whitney Ford

Organization Name
 RLF CONTRACTORS LLC

Street Address
 1111 powder rd
Address Line 2

City · Sykesville
State · MD
Zip Code · 21784

Phone · 443-670-2270
Cell
Fax

E-mail
 Rlfcontractorsllc@gmail.com

Addl Info

Est Construction Cost · 75000
Housing Units · 0
Number of Buildings · 0
Public Owned · No

Construction Type
 434 - Additions, Alterations and Conversions - Residential

RESIDENTIAL ADDITION INFORMATION

Capital Project-No Fee · Yes No
Capital Project Number
Fee Exempt · Yes No
Roadside Tree Project Permit · Yes No
Roadside Tree Project Permit #

No of Stories · 2
Foundation · Existing
Basement · Unfinished
No of Rooms · 8
Full Baths · 2
Half Baths · 1
Existing Use · Existing Structure

Model
 SFD/ Demo existing roof and deck. Add new second floor and roof. Add new front porch and deck. APPROX 2862 SQ FT

Condominium
 Yes No

[check spelling](#)

Other Structure None	Bedrooms 4	Porch Deck Front Porch	No of Fireplaces 1	Type of Fireplace Prefab	Energy Code N/A		
W & S Fees Paid <input type="radio"/> Yes <input type="radio"/> No	Water Private	Sewage Private	Utilities Electric	Heating System Electric	Sprinkler System None	Road Frontage Private	
1st Floor Width FT	1st Floor Depth FT	2nd Floor Width FT	2nd Floor Depth FT	Basement Width FT	Basement Depth FT	Height FT	Building Construction Type Other - See Description
Total Square Footage 2862	Occupiable Square Footage SQFT 0	Affordable Housing Funding SQFT N/A	Foundation Measurement Footings	MIHU Outside Downtown Columbia <input type="radio"/> Yes <input checked="" type="radio"/> No	MIHU Provided Units 0	MIHU Required Units 0	Affordable Downtown Columbia <input type="radio"/> Yes <input checked="" type="radio"/> No
Walls Roof	Change In Use <input type="radio"/> Yes <input checked="" type="radio"/> No	Grading Permit No	Senior Housing <input type="radio"/> Yes <input checked="" type="radio"/> No	Expiration Date 7/15/2024	Plan Submittal Electronically by Invitation from ProjectDox		

[check spelling](#)

GREEN INFORMATION

Goal Level --Select--	Actual Level --Select--	Leed Registration Number	Date of Leed Certification []
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STORM WATER MANAGEMENT

Green Roofs A1 <input type="radio"/> Yes <input type="radio"/> No	Permeable Pavements A2 <input type="radio"/> Yes <input type="radio"/> No	Reinforced Turf A3 <input type="radio"/> Yes <input type="radio"/> No	Disconnection of Rooftop Runoff N1	Disconnection of Non Rooftop Runoff N2 <input type="radio"/> Yes <input type="radio"/> No
Sheetflow to Conservation Areas N3 <input type="radio"/> Yes <input type="radio"/> No	Rainwater Harvesting M1	Submerged Gravel Wetlands M2	Landscape Infiltration M3	Infiltration Berms M4
Dry Wells M5	Micro Bioretention M6	Rain Gardens M7	Swales M8	Enhanced Filters M9

PSWM Certification Received in CID on []

Submit Cancel

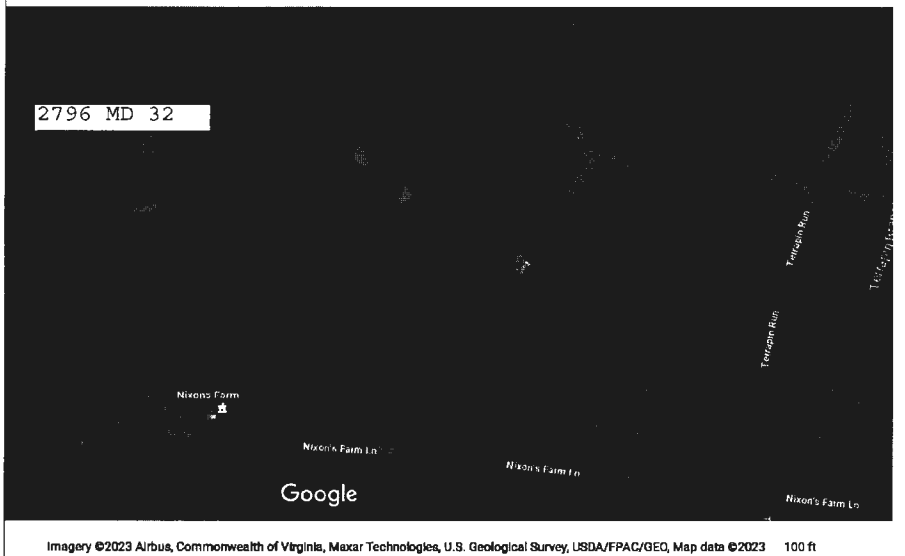
RESIDENTIAL ADDITION

43

JH Engineering, LLC
 44 GLEN OAK CT.
 WESMINSTER, MD 21158
 (410) 899-0809

2796 NIXON'S FARM
 LANE, WEST
 FRIENDSHIP, MD
 21794

COVER SHEET



VICINITY MAP

CODE INFORMATION:

- IBC 2021
- IRC 2021
- HOWARD COUNTY LOCAL AMMENDMENTS

IECC INFORMATION:

- CODE: IECC 2021
- METHOD OF COMPLIANCE: PRESCRIPTIVE
- R VALUES:
 - WALLS: R-30 OR R-20+5CI OR R-13-10CI
 - FLOORS: R-19 - FIRST FLOOR
 - CEILINGS: R-60
- U FACTOR: 0.30

AREA CALCULATIONS:

TOTAL EXISTING S.F. = 1436 FT²
 PROPOSED TOTAL S.F. = 2782 FT²
 EXISTING DECK S.F. = 984 FT²
 PROPOSED DECK S.F. = 240 FT²

PROJECT DATA:

- SINGLE FAMILY, SINGLE-STORY DETACHED RESIDENCE
- APN: 03 318354
- COUNTY: HOWARD
- OWNER: JACOB D. FRANZ

SCOPE OF WORK:

- DEMOLITION OF EXISTING ROOF AND DECK.
- ADD NEW SECOND FLOOR AND ROOF.
- ADD NEW FRONT PORCH.
- ADD NEW DECK.

PROJECT NOTES:

- ACCEPTANCE OF THESE DRAWINGS BY THE OWNER WILL CONSTITUTE CONTRACT FULFILLMENT.
- GC TO PROVIDE SPRINKLERS THROUGHOUT THE HOME.
- GC TO PROVIDE SMOKE DETECTORS IN COMPLIANCE WITH THE IRC 2021 AND HOWARD COUNTY LOCAL AMENDMENTS.
- GC TO COMPLY WITH THE 2021 IECC REQUIREMENTS FOR THE PRESCRIPTIVE ENERGY REQUIREMENTS. THESE REQUIREMENTS ARE NOT SHOWN ON THESE DRAWINGS.
- THE GC IS NOT TO MAKE ANY CHANGES OR SUBSTITUTIONS TO THESE DRAWINGS WITHOUT THE EXPRESS WRITTEN CONSENT OF THE OWNER AND THE DESIGN PROFESSIONAL OF RECORD.
- THE GC IS TO NOTIFY THE DESIGN PROFESSIONAL OF RECORD OF ANY DISCREPANCIES OF EXISTING CONDITIONS SHOWN IN THESE DOCUMENTS.
- DO NOT SCALE THE DRAWINGS.
- GC TO COORDINATE AND PROVIDE ELECTRICAL, MECHANICAL AND PLUMBING PER THE IRC 2021.
- GC TO COMPLY WITH THE HOWARD COUNTY INSPECTION REQUIREMENTS.

SHEET INDEX:

ARCHITECTURAL:

- CS COVER SHEET
- AD-100 BASEMENT DEMOLITION PLAN
 AD-101 FIRST FLOOR DEMOLITION PLAN
 AD-102 ROOF DEMOLITION PLAN
- A-001 PROPOSED SITE PLAN
 A-100 BASEMENT LAYOUT
 A-101 FIRST FLOOR LAYOUT
 A-102 SECOND FLOOR LAYOUT
 A-103 ROOF LAYOUT
 A-200 PLAN NORTH ELEVATION
 A-201 PLAN SOUTH ELEVATION
 A-202 PLAN WEST ELEVATION
 A-203 PLAN EAST ELEVATION
 A-300 DETAILS AND WIDOW SCHED.
 A-400 SECTIONS 1 AND 2

STRUCTURAL:

- S-001 GENERAL NOTES
 S-002 GENERAL NOTES
 S-100 FOUNDATION PLAN
 S-101 FIRST FLOOR FRAMING PLAN
 S-102 SECOND FLOOR FRAMING PLAN
 S-103 ROOF FRAMING PLAN
 S-200 TYPICAL DETAILS
 S-300 SECTIONS
 S-400 FIRST FLOOR WALL BRACING
 S-401 SECOND FLOOR WALL BRACING

SITE:

- 1 OF 1 EXISTING LOCATION SURVEY

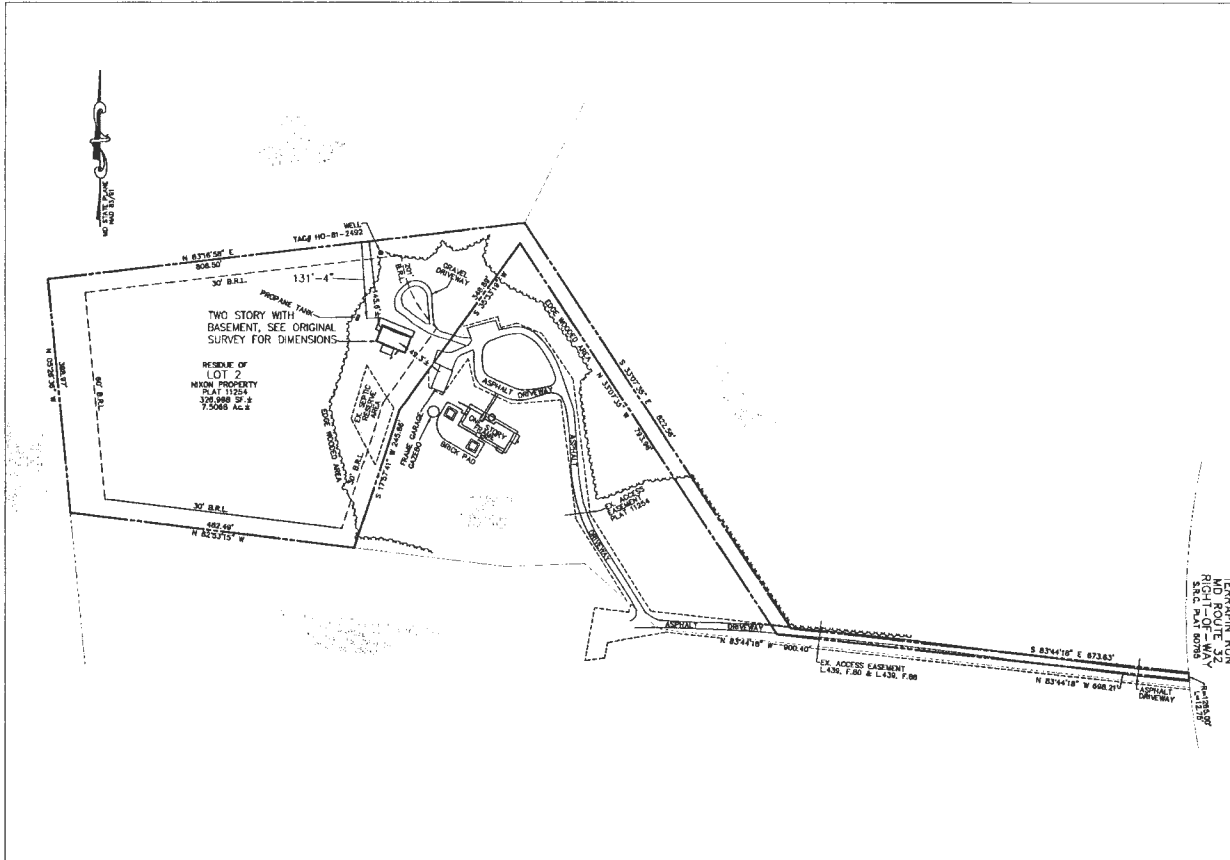
PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE No. 44839, EXPIRATION DATE: 01/02/2024.

DATE:	12/10/2023
SCALE:	AS NOTED JOB # 23032
DRAWN BY:	JFH
CHECKED BY:	JFH

SHEET #
CS

2796 NIXON'S FARM
LANE, WEST
FRIENDSHIP, MD
21794

SITE PLAN



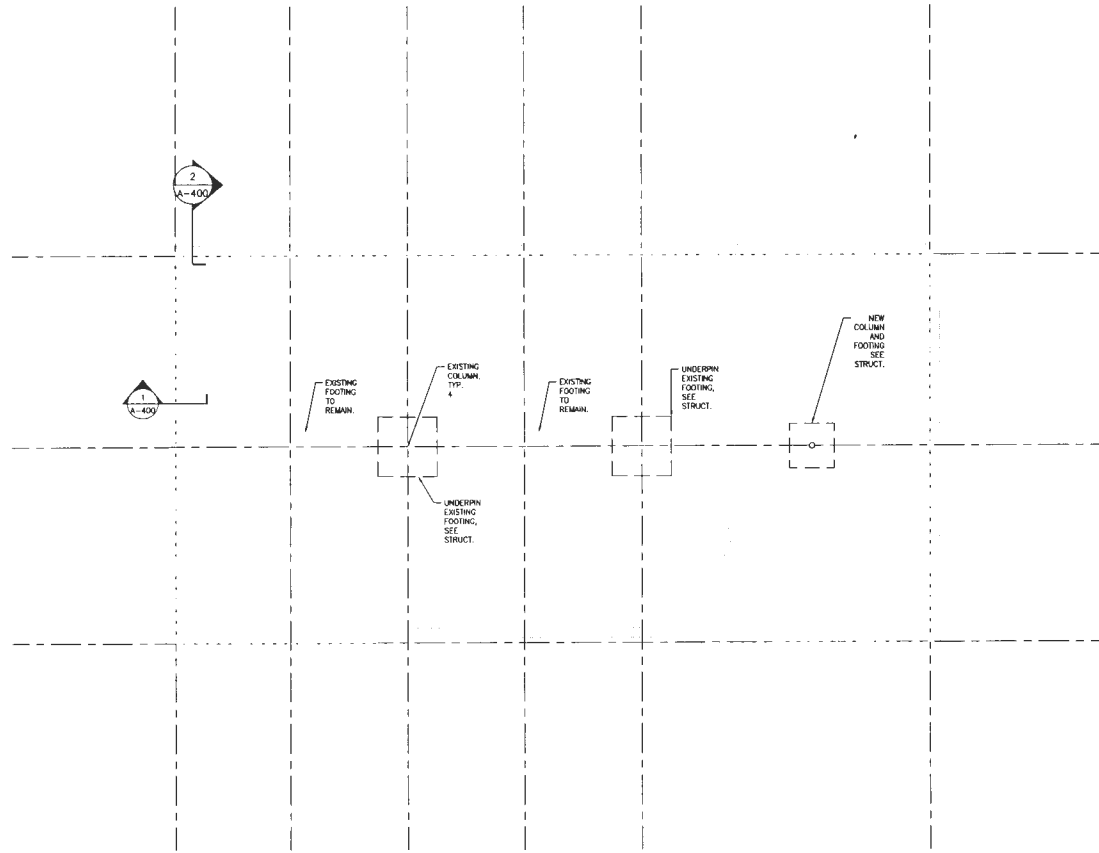
PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 44639, EXPIRATION DATE: 01/02/2024.

NO.	DATE	REVISIONS

DATE: 12/10/2023
SCALE: AS NOTED JOB # 23032
DRAWN BY: JPH CHECKED BY: JPH

SHEET #:
A-001

BASEMENT
LAYOUT



PLAN NORTH



BASEMENT LAYOUT

1/4" = 1'-0"

NOTES:

1. BASEMENT TO REMAIN UNFINISHED.

PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE No. 44839, EXPIRATION DATE: 01/02/2024.

REVISIONS

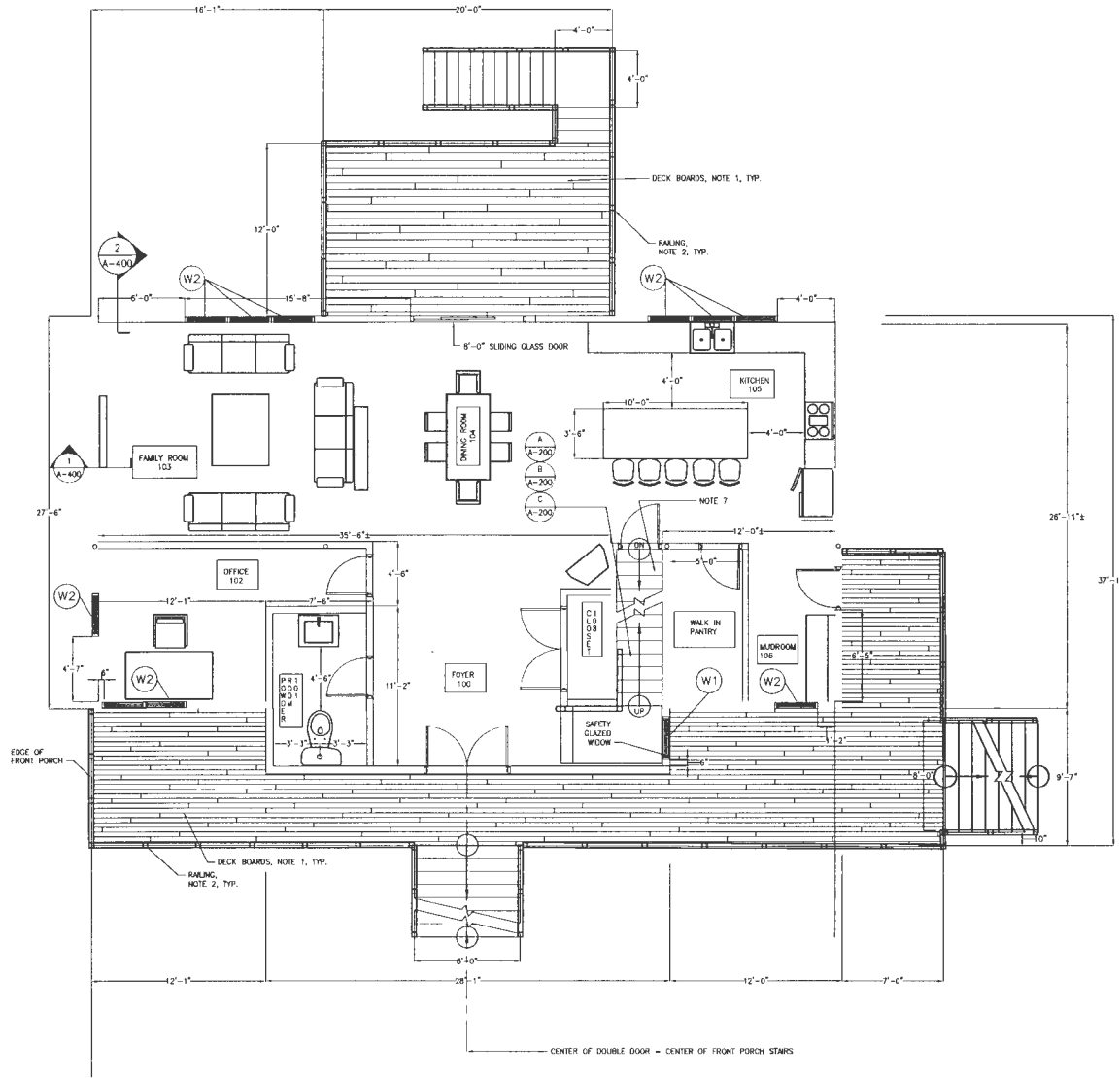
TITLE: 17-110/2023
SCALE: AS NOTED JOB # 23032
DRAWN BY: JPH CHECKED BY: JPH

SHEET #:

A-100

NOTES:

1. DECKING TO BE FIBERON PVC DECKING (ESR 4947). COLOR: TBD. FASTEN TO DECK JOISTS USING HIDDEN FASTENERS.
2. RAILINGS TO BE VERANDA BY BARRETT TRADITIONAL. COLOR TBD. PFS-TECO REPORT 0103.
3. GC TO FIELD VERIFY ALL EXISTING DIMENSIONS PRIOR TO ORDERING MATERIALS.
4. GC TO COORDINATE WINDOW SELECTION WITH OWNER PRIOR TO ORDERING.
5. EXTERIOR WALLS TO BE 2X6 STUDS, WITH $\frac{3}{4}$ " APA SPAN RATED OSB/PLYWOOD. INSULATE TO MEET IECC 2021 REQUIREMENTS. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
6. NON-LOAD BEARING INTERIOR WALLS TO BE 2X4 STUDS AT 1'-4" O/C. PROVIDE $\frac{1}{2}$ " GYPSUM ON EACH FACE.
7. EXISTING STAIRS TO BASEMENT TO REMAIN.



FIRST FLOOR LAYOUT

1/4" = 1'-0"

PLAN NORTH



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WESMINSTER, MD 21158
(410) 899-0805

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LANE, WEST
FRIENDSHIP, MD
21794

FIRST FLOOR LAYOUT

PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE No. 44839, EXPIRATION DATE: 01/02/2024.

REVISIONS

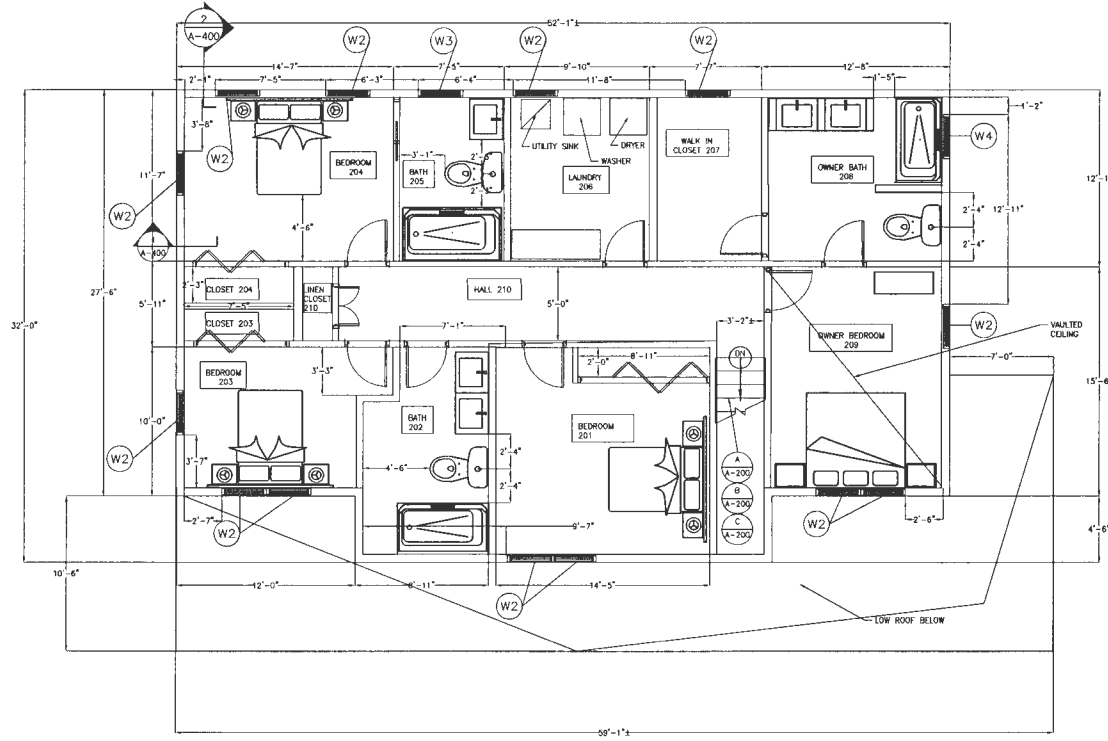
NO.	DATE	DESCRIPTION

DATE: 12/10/2023
SCALE: AS NOTED JOB #: 23032
DRAWN BY: JPH CHECKED BY: JPH

SHEET #:

A-101

SECOND
FLOOR
LAYOUT



SECOND FLOOR LAYOUT

1/4" = 1'-0"

PLAN NORTH



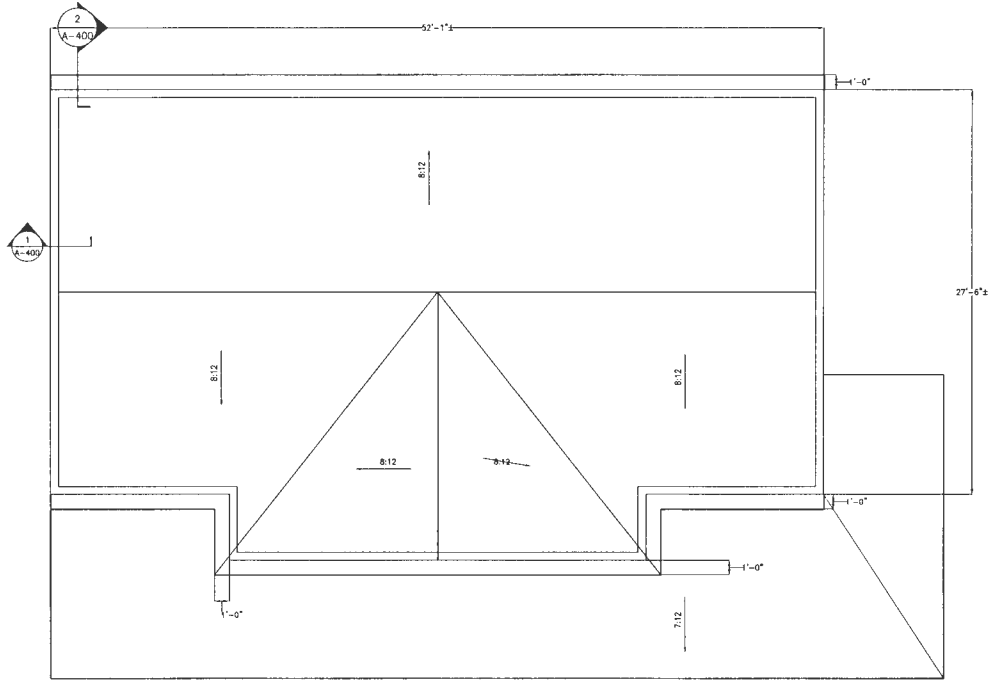
PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE No. 44839, EXPIRATION DATE: 01/02/2024.

NO.	REVISIONS

DATE: 12/10/2023
SCALE: AS NOTED OR 1/8" = 1'-0"
DRAWN BY: JPH CHECKED BY: JPH

SHEET #
A-102

ROOF
LAYOUT



ROOF LAYOUT

1/4" = 1'-0"

PLAN NORTH



PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE No. 44839, EXPIRATION DATE: 01/02/2024.

NO.	DATE	REVISIONS

TITLE: 12/10/2023
SCALE: AS NOTED JOB #: 23032
DRAWN BY: JPH CHECKED BY: JPH

SHEET #:
A-103

2796 NIXON'S FARM
LANE, WEST
FRIENDSHIP, MD
21794

PLAN SOUTH
ELEVATION



PLAN SOUTH ELEVATION

1/4" = 1'-0"

PLAN NORTH



PROFESSIONAL CERTIFICATION. I
HEREBY CERTIFY THAT THESE
DOCUMENTS WERE PREPARED OR
APPROVED BY ME, AND THAT I
AM A DULY LICENSE
PROFESSIONAL ENGINEER UNDER
THE LAWS OF THE STATE OF
MARYLAND, LICENSE No. 44839,
EXPIRATION DATE: 01/02/2024.

REVISIONS

DATE: 12/10/2023
SCALE: AS NOTED JOB # 23032
DRAWN BY: JPH CHECKED BY: JPH

SHEET #:
A-201



JH Engineering, LLC
 44 GLEN OAK CT.
 WESTMINSTER, MD 21158
 (410) 839-0805

2796 NIXON'S FARM
 LANE, WEST
 FRIENDSHIP, MD
 21794

PLAN WEST
 ELEVATION



PLAN NORTH



PLAN WEST ELEVATION

1/4" = 1'-0"

PROFESSIONAL CERTIFICATION. I
 HEREBY CERTIFY THAT THESE
 DOCUMENTS WERE PREPARED OR
 APPROVED BY ME, AND THAT I
 AM A DULY LICENSE
 PROFESSIONAL ENGINEER UNDER
 THE LAWS OF THE STATE OF
 MARYLAND, LICENSE No. 44839,
 EXPIRATION DATE: 01/02/2024.

NO.	DATE	REVISIONS

TITLE: 12/10/2023
 SCALE: AS NOTED
 DRAWN BY: JPH
 CHECKED BY: JPH

SHEET #:
A-202

JH Engineering, LLC

44 GLEN OAK CT.
WESMINSTER, MD 21158
(410) 877-0805

2796 NIXON'S FARM
LANE, WEST
FRIENDSHIP, MD
21794

PLAN EAST
ELEVATION



PLAN EAST ELEVATION

1/4" = 1'-0"

PLAN NORTH



PROFESSIONAL CERTIFICATION. I
HEREBY CERTIFY THAT THESE
DOCUMENTS WERE PREPARED OR
APPROVED BY ME, AND THAT I
AM A DULY LICENSE
PROFESSIONAL ENGINEER UNDER
THE LAWS OF THE STATE OF
MARYLAND, LICENSE No. 44839,
EXPIRATION DATE: 01/02/2024.

REVISIONS

DATE: 12/10/2023
SCALE: AS NOTED JOB # 23032
DRAWN BY: JPH CHECKED BY: JPH

SHEET #
A-203

Record Detail * (This section is required.)

Permit Type	Permit Number	Opened Date
Building/Residential/Misc/Tanks	B24002669	07/17/2024
Description of Work		
SFD//INSTALL (1) ONE 500 GALLON UNDERGROUND PROPANE TANK		

check spelling

Address * (This section is required.)

Search Reset Clear Get Parcel & Owner

Street #	Street Name	Street Type
2796	NIXONS FARM	LN
Unit Type	Unit #	X Coordinate
--Select--		-76.96192
		Y Coordinate
		39.2959
City	State	Zip Code
WEST FRIENDSHIP	MD	21794
	Primary	
	Yes	

2796 Rt 32

Approved
7/22/24
AK

Parcel * (This section is required.)

Search Reset Clear Get Address & Owner

GIS ID *	Parcel	Parcel Area	Land Value	Improved Value	Exemption Value	Plan Area
903525	267	7.36	273800	489400	215600	RURAL

Legal Description
LOT 2 7.3568 A. []2796 ROUTE 32 []NIXON PROPERTY

check spelling

Block	Lot	Census Tract	Council Dist	Inspection Dist	Supervisor Dist	Map #	DAP Zone
	2	603000	5				
Plan Area	State Tax Id	Subdivision Name					
	1403318354	NIXON PROP					
Section	Area	Tax Map					
		15					
Grid	Zoning District	ADC Map					
15-16	RC-DEO	4813-G3					
SDP No.	Final Plan No.	WP File No.					
SDP-14-014	ECP-13-057						
Record Plat No.	WS Contract No.	FDP No.	Primary				
11254			Yes				
Owner Occupied	Year Built	Historic District					
<input type="radio"/> Yes <input type="radio"/> No	1988	<input type="radio"/> Yes <input checked="" type="radio"/> No					
Historic District Registry No.	Stat Area	Flood Plain					
	3-04	<input type="radio"/> Yes <input checked="" type="radio"/> No					
Building No							

Owner * (This section is required.)

Search Reset Clear

Name *

FRANZ

Address Line 1

2796 ROUTE 32

Address Line 2

Address Line 3

Mail City
 WEST FRIENDSHIP
Mail State
 MD
Mail Zip Code
 21794
Phone
 301-725-3232
Primary
 Yes
E-mail

Cell Number **Fax Number**

Professionals (This section is not required.)

License # * 68408 **Business Name** HJ POIST
License Type * Propane Gs **First Name** JEFF **Middle Name** **Last Name** WISEMAN
Primary Yes **Address Line 1** **Address Line 2** **City** LAUREN **State** MD **ZIP Code** 20707
Phone 1 3017253232 **Phone 2** **Fax**
E-mail JEFF@HJPOIST.COM

Applicant (This section is not required.)

Search As Owner As Lic. Prof As Contact

Type * Applicant **First Name** MICHELLE **MI** **Last Name** CLANCY
Relationship Applicant **Full Name** MICHELLE CLANCY
Primary Yes **Organization Name** APPLIED & APPROVED PERMITS LLC
Street Address P.O. BOX 310
Address Line 2

City PERRY HALL **State** MD **Zip Code** 21128
Phone 443-340-1229 **Cell** **Fax**
E-mail * MICHELLE@APPLIEDANDAPPROVED.COM

Addtl Info

Est Construction Cost * 800 **Housing Units *** 0 **Number of Buildings *** 0 **Public Owned** No
Construction Type 434 - Additions, Alterations and Conversions - Residential

TANK INFORMATION

RESIDENTIAL TANK INFORMATION

Capital Project-No Fee * Yes No **Capital Project Number** (Text) **Fee Exempt *** Yes No **Roadside Tree Project Permit *** Yes No **Roadside Tree Permit #** (Text)
Existing Use * SFD **Number of Tanks Installed *** 1 **Number of Tanks Removed *** (Number) 0 (Number)

