

RECEIVED

PERMIT NUMBER: B 20003859

DATE ACCEPTED:

NOV 09 2020

RESIDENTIAL BUILDING PERMIT APPLICATION
 HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES, AND PERMITS
 3430 COURT HOUSE DRIVE, ELLICOTT CITY, MD 21043 - PHONE: (410) 313-2455 OPTION #4
 www.howardcountymd.gov

BUILDING SITE ADDRESS *REQUIRED*

Street Address: 8425 Murphy Road Unit: _____
 City: Lanear State: MD Zip Code: 20723
 Subdivision/Village/Complex Name: _____ SDP/WP/BA #: _____
 Lot: 7 Tax Map: 46 Parcel: _____ Grading Permit #: _____

DESCRIPTION OF WORK *REQUIRED*

Existing Use: garage Proposed Use: En-Low Suite Estimated Cost: \$ 176,497 28
 Trade Work to Be Completed (Separate Permits Required): Mechanical (HVAC) Electrical Plumbing None
Turning old garage into living space. In addition, building a 3 car detached 30 x 36 ONE story garage

PROPERTY OWNER INFORMATION *REQUIRED*

Owner(s) Name(s) (As it appears on tax records): Preston J. Tanklis Primary Residence: Yes No
 Owner's Street Address: 8425 Murphy Road
 City: Lanear State: MD Zip Code: 20723
 Phone: 240 498 6059 Email: _____

APPLICANT NAME *REQUIRED - INDIVIDUAL WHO SIGNS THIS APPLICATION*

Business Name: From The Ground Up Contractors Contact Name: Keith Smith
 Street Address: 6036 Duckings Run LLC
 City: Elkridge State: MD Zip Code: 21075
 Phone: 410 370 6495 Email: ksmith@thegroundupcontractors.com

CONTRACTOR INFORMATION *REQUIRED*

Business Name: From The Ground Up Contractors LLC
 Licensee's Name: Keith Smith License #: 120355
 Street Address: 6036 Duckings Run Rd
 City: Elkridge State: MD Zip Code: 21075
 Phone: 410 370 6495 Email: ksmith@thegroundupcontractors.com

ARCHITECT/ENGINEER INFORMATION *INDIVIDUAL WHO SIGNED PLANS IF APPLICABLE*

Business Name: _____ Name: _____
 Street Address: _____
 City: _____ State: _____ Zip Code: _____
 Phone: _____ Email: _____

BUILDING CHARACTERISTICS *REQUIRED*

Primary Structure: SF Dwelling SF Townhouse SF Duplex Mobile Home Multi-Family Dwelling (MF*) Condo: Yes No
 Utilities: Electric Gas Water Supply: Public Private (Well) Sewage Disposal: Public Private (Septic)
 Heating System: Electric Natural Gas Propane Other: _____ Roadside Tree Project: No Yes: # _____
 Sprinkler System: NFPA 13 NFPA 13R NFPA 13D None Fire Alarm System: Yes No Voice Evac

ADDITIONAL RESIDENTIAL INFORMATION *(PLEASE SELECT COMPLETE ALL THAT APPLY)*

Model Name & Options: _____
 # of Bedrooms (SF): 3 # of efficiency units (MF*): _____ # of 1 BR (MF*): _____ # of 2 BR (MF*): _____ # of 3 BR (MF*): _____
 # Rooms: 3 # Full Baths: 2 # Half Baths: _____ # Fireplaces: 1
 Garage/Carport Info: Attached Garage Detached Garage Integral Garage Carport None
 Basement/Foundation Info: Slab on Grade Post & Pier Unfinished Basement Finished Basement: Full or Partial
 1st Fl Width: _____ 1st Fl Depth: _____ 2nd Fl Width: _____ 2nd Fl Depth: _____ Bsmt Width: _____ Bsmt Depth: _____
 Energy Method: Prescriptive Performance UA Alternative ERI Gross Area: _____ sq ft Occupiable Area: _____ sq ft

AGREEMENT/ DISCALIMER *REQUIRED*

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

APPLICANT'S ORIGINAL SIGNATURE: _____ DATE SIGNED: 10-5-2020

FOR OFFICE USE ONLY *REQUIRED*

AGENCIES REQUIRED/APPROVALS: _____
 PR _____ DPZ _____ DEP _____ Health _____ SHA _____
 SUBMITTAL FEES: _____ PAYMENT: _____ ACCEPTED BY: _____

PERMIT

SEWAGE DISPOSAL SYSTEM

MARYLAND STATE DEPARTMENT OF HEALTH

HOWARD COUNTY
BUREAU OF ENVIRONMENTAL HEALTH
461-9933

05-341795
INDEXED

P 41858

A Repair

DATE 6/03/88

DATE SYSTEM APPROVED 12/27/98

INSPECTOR BIT

DAVE HOFFMAN 831-7257

Vision Builders

IS PERMITTED TO INSTALL _____ ALTER X

ADDRESS 9110 Q Red Branch Road, Columbia, Maryland 21045 PHONE 730-4653

SUBDIVISION _____ ROAD 8425 Murphy Road LOT _____

PROPERTY OWNER Vision Builders/Mr. Joseph Gonzales
8425 Murphy Road

ADDRESS _____

IF GARBAGE GRINDER IS USED INCREASE SEPTIC TANK CAPACITY BY 50% AND ABSORPTION AREA BY 22%.

GARBAGE GRINDER? YES _____ NO _____

SEPTIC TANK CAPACITY _____ GALLONS NUMBER OF BEDROOMS _____

REPAIR - CALL FOR INSPECTION WHEN GROUND IS OPENED UP SO SANITARIAN CAN RECOMMEND REPAIR.

6-22-88 Inlet 3" Bottom 8" Require 300# of sidewall if existing syst. All
TRENCHES IF Drywell + Drywell is clay 200# Required. Replace PIPE FROM
HOUSE TO TANK. SAK

11/30/88 NO SYSTEM COMPLAINT ON SITE. INSTALL 474# SYSTEM. CW.

PLANS APPROVED BY C. Williams DATE 6/03/88

COVER NO WORK UNTIL INSPECTED AND APPROVED.

NEITHER THE HOWARD COUNTY COUNCIL NOR THE HEALTH DEPARTMENT IS RESPONSIBLE FOR THE SUCCESSFUL OPERATION OF ANY SYSTEM.

NOTE: CLEANOUT REQUIRED EVERY 70 FEET OF SEWER LINE AND/OR AT 90° SWEEPS IN LINES FROM HOUSE TO DRAIN FIELDS.

NOTE: ALL PARTS OF SEPTIC SYSTEMS (I.E. TANK, DISTRIBUTION BOX, TRENCHES) TO BE 100 FEET FROM WELL. (UNLESS OTHERWISE SPECIFICALLY AUTHORIZED)

NOTE: IF DEEP TRENCH(IES) ARE USED CALL FOR INSPECTION BEFORE AND AFTER PLACING GRAVEL IN TRENCH(IES).

NOTE: NO DRY WELL SHALL EXCEED 15 FOOT IN DIAMETER. NO ABSORPTION TRENCH TO EXCEED 100 FEET IN LENGTH.

NOTE: ALL PIPE FROM HOUSE TO SEPTIC TANK MUST BE CAST IRON OR SCHEDULE 40 PVC OR ABS.

PERMIT VOID AFTER TWO YEARS.

NOTE: INSTALL STAND PIPE ON SEPTIC TANK AND DRY WELL. STAND PIPES MUST BE 6 INCHES IN DIAMETER. CAST IRON, CONCRETE OR TERRA COTTA OR PVC OR ABS ACCEPTED. IF TOP OF SEPTIC TANK IS DEEPER THAN 3 FEET, MANHOLE TO GRADE REQUIRED.

NOTE: DISTRIBUTION BOXES MUST HAVE BAFFLES.

BLDG. PERMIT SIGNED
AND RETURNED 6-16-88

BP 18418
SM

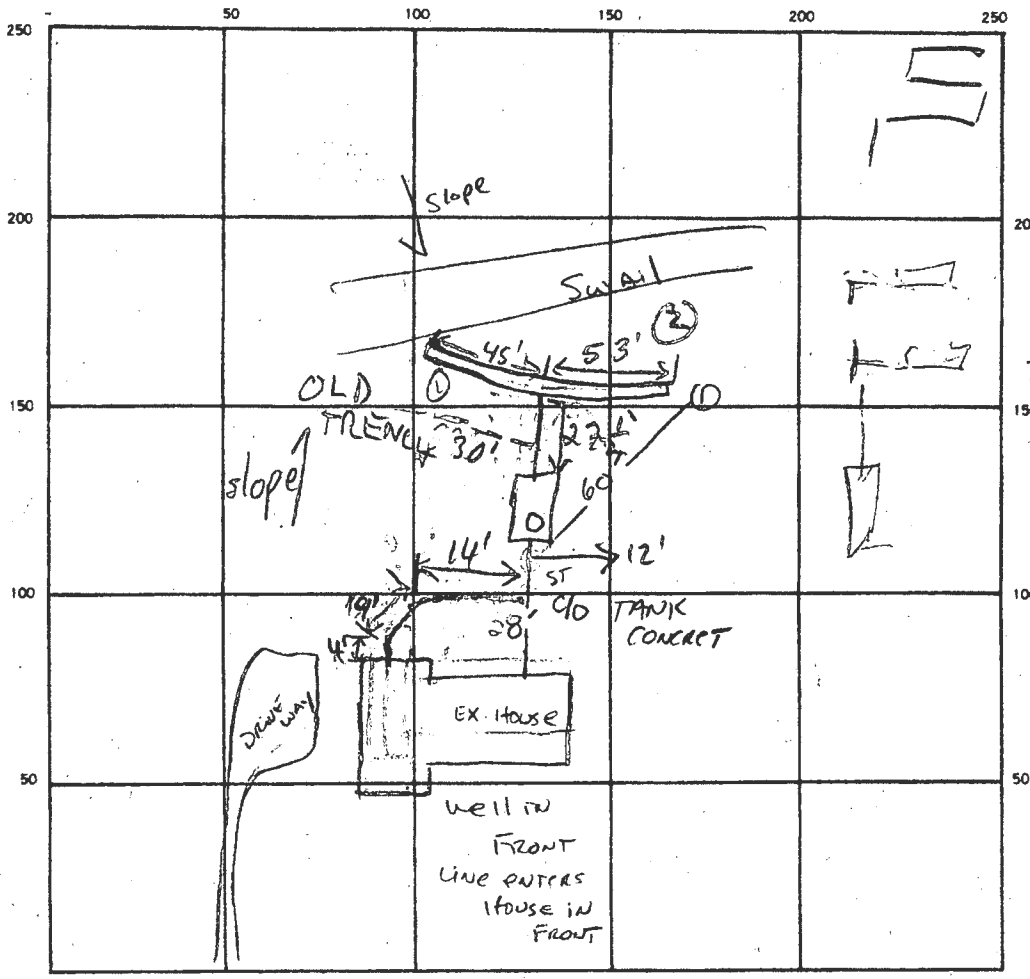
*INSTALLER IS RESPONSIBLE FOR OBTAINING FINAL APPROVAL ON THIS PERMIT

*CALL 461-9933 FOR INSPECTION OF SEPTIC SYSTEMS.

EH - 2-1186

BIT

4/22/88
10:14 AM
11/30/88
12/27/88
12:00-1:00



①
 3.5'
 Yellow Br. SAND
 CLAY LM
 MICACEOUS
 15-20% FRAGS
 13'
 Yellow BK
 MICACEOUS
 SAND LOAM
 15-20% FRAGS
 X Perc 8-10 min/1"
 158
 4 X 3
 474

INDICATE NORTH - NAME ADJOINING ROADWAY AS BASE LINE.
 MURPHY Rd.

SEPTIC TANK LEVEL OK CLEANOUTS CLEANOUT INSTALLED RIT
NEED CLEANOUT
 DISTRIBUTION BOX LEVEL NO BOX - A "T" EXISTS AT JUNCTION OF TRENCHES
 DRAIN FIELD/TILE FIELD DEPTH 8 FT. TRENCH WIDTH 2 FT. INLET DEPTH 3 FT.
 EFFECTIVE GRAVEL DEPTH 5 FT. TOTAL LENGTH 45' 2 98' FT.
 NUMBER OF TRENCHES 2 ONE SIDEWALL/BOTTOM AREA 490 SQ. FT.
 DRYWELL INSIDE DIAMETER _____ FT. EFFECTIVE DEPTH BELOW INLET 5 FT.
 ABSORBENT AREA 490 SQ. FT.

REMARKS TRENCHES STONED & PAPERED - OK TO COVER
TRENCHES; CLEANOUT COMPOSED OF 6" PIPE IN 9" HOLE;
PIPE SUPPORTED AT HOLE W/ BRICKS + MORTAR; HOUSE
CONNECTION NOT COMPLETE; TRENCH DEPTH +
EFFECTIVE STONE DEPTH PER CONTRACTOR; CALL
FOR FINAL STICKER LEFT REAR DOOR 11/30/88 MR
HOUSE HOOR UP OK 12/27/88 RIT
 DATE SYSTEM APPROVED 12/27/88 INSPECTOR Raymond Dodge

Bricker, Robert

From: Bricker, Robert
Sent: Wednesday, December 2, 2020 10:39 AM
To: ksmith@thegroundupcontractors.com
Subject: 8425 Murphy Road_B20003859

From: Bricker, Robert <RBricker@howardcountymd.gov>
Sent: Tuesday, December 1, 2020 5:10 PM
To: ksmith@thegroundupcontractors.com
Subject: 8425 Murphy Road_B20003859

Dear Mr Smith,

I have reviewed the proposal (B20003859) to convert the existing garage to living space and construct a new garage at 8425 Murphy Road. The Health Department has responsibility to assure that there is a Percolation Certification Plan on file for the property by which a sewage disposal area (SDA) was approved. Howard County Code [3.805] requires that all properties in Howard County have a SDA. I have found that there is not a current Percolation Certification Plan on file for 8425 Murphy Road, and there is not a record of percolation tests to establish a SDA. Also, in that a bedroom is being added, floor plans for the entire residence must be submitted for the Health Department. All floor plans must be submitted at the Department of Inspections, Licenses, and Permits.

Before the Health Department can approve a building permit for an auxiliary structure, or for adding a bedroom in the existing structure, percolation tests must be completed and the results certified by the signature of the Bureau of Environmental Health Director on the Percolation Certification Plan developed for the property. During this process, the existing well must be inspected, and the area of the existing septic system must be inspected. The existing septic system will also be evaluated for regulatory compliance. Additional requirements may become apparent due to inspections of the well and the septic system, and/or due to percolation test results.

An upgrade or replacement of the existing septic system likely will be required. If so, an Onsite Sewage Disposal System (OSDS) Design Plan must be submitted to the Bureau of Environmental Health for review and approval prior to release of a permit to modify the existing septic system or install a replacement septic system.

Percolation Certification Plans and OSDS Design Plans are developed engineers or surveyors and presented to the Bureau of Environmental Health for review and approval. The Percolation Certification Plan process begins with application for percolation testing. The application, which is submitted to the Bureau of Environmental Health, consists of a completed Percolation Test Application form, a Percolation Test Plan developed by an engineer/surveyor, and payment of \$506 fee.

If you have questions regarding these stated requirements, you may contact me by 'Reply' to this email.

Respectfully,
Robert Bricker, REHS/RS, L.E.H.S.

Howard County Health Department

FRONT VIEW

8425 MURPHY RD.
LAUREL MD 20723

SCALE 1/4" = 1'0"
1-LEVEL BUILDING - 1050 SQ FT
NO HEAT DETACHED GARAGE

APPROVED 6/12 ENGINEERED TRUSSES 2'0" ON CENTER
1/2" PLYWOOD OSB SHEATHING
#15 FELT - ARCHITECTURA FIBERGLASS SHINGLES
DRIP EDGE / 3'0" ICE SHIELD @ BOTTOM

ALL SOFFIT
/ FACIA
GUTTERS/
DOWNSPOUTS
ALL OVER

SEE
SECTION
A-A

8'x8'

8'x8'

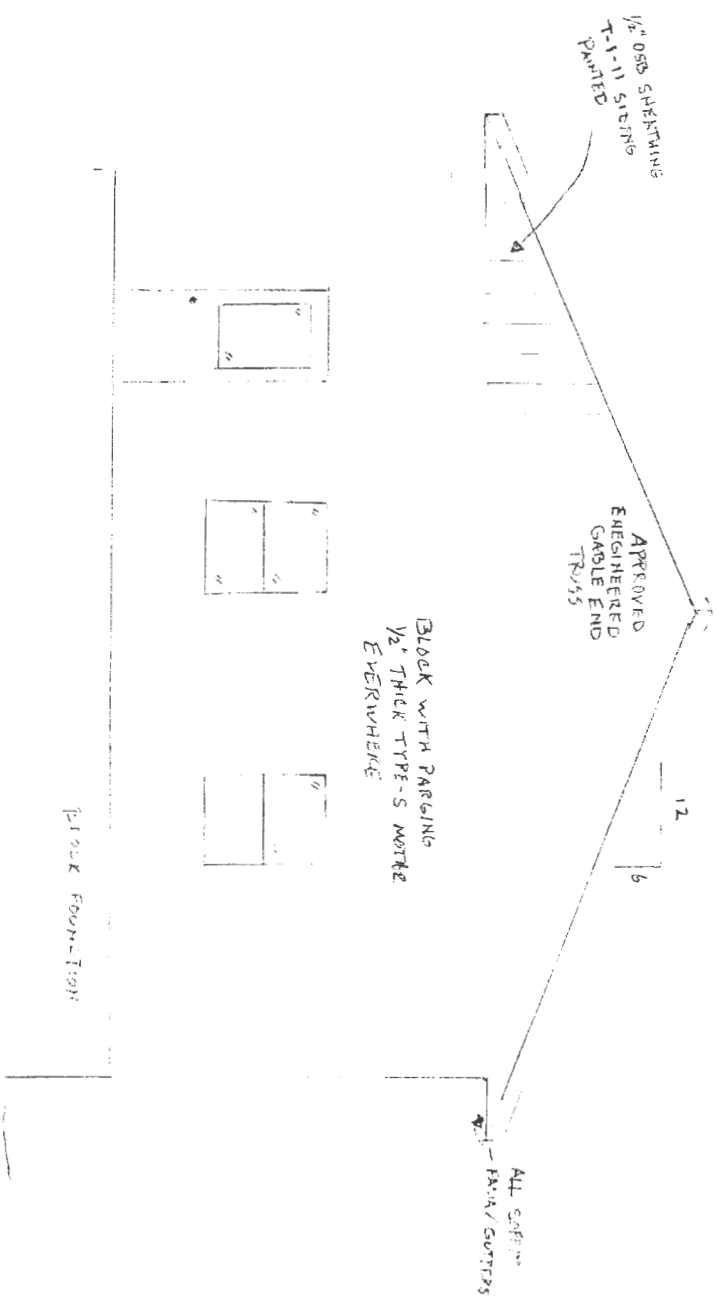
10'x11'

WALLS
8" 16" BLOCK
TRUSS WIRE EVERY THREE COURSES
3" 16" FHA CAP BLOCK
TRUSS WIRE EVERY THREE
COURSES 2-BOLTS EVERY
THREE BLOCK TYPE-S MORTAR
2" 8" 4" CONCRETE LENTILS
AT ALL OPENINGS/HEADERS
PARGE OUTER BLOCK WALLS
TYPE-S MORTAR
2X8 P.T. PLATE

CONCRETE SLAB 5" THICK
SLOPPED 1/8" PER FT. TO DOORS
OVER 4" EPS STONE BASE
CONCRETE TO THE REAR PER WITH FIBER

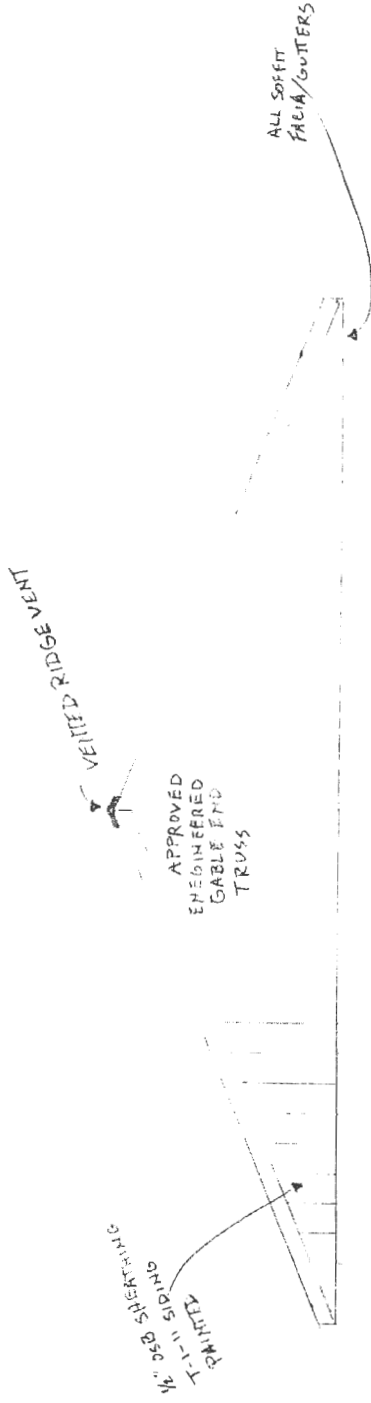
RIGHT SIDE VIEW

3415 MURPHY BLD.
SCALE 3/4" = 1'-0"



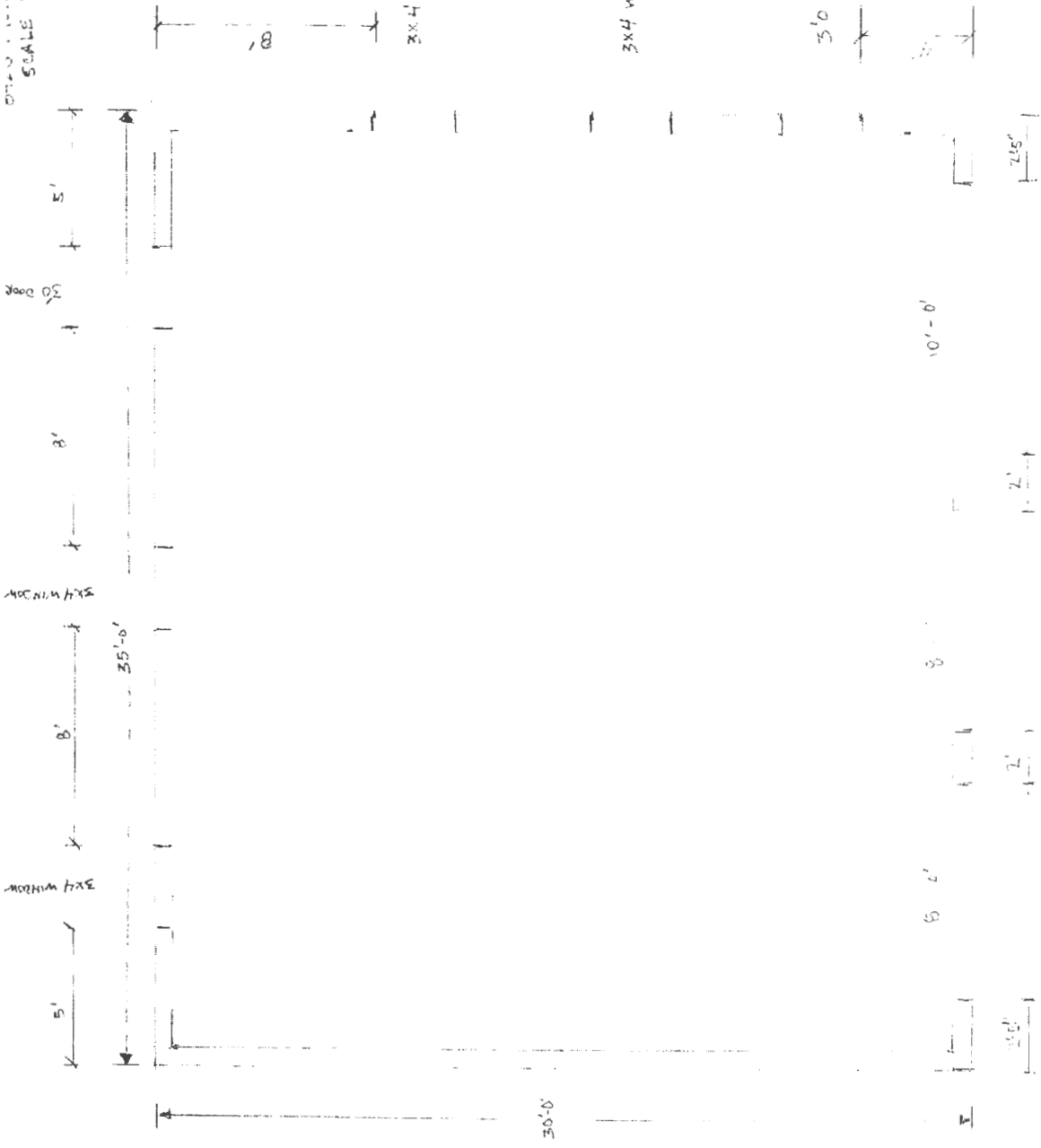
8425 MURPHY RD.
SCALE 1/4" = 1'-0"

LEFT SIDE VIEW



1/2" = 1'-0"

SCALE 1/4" = 1'-0"



8475 MURPHY RD.
SCALE 1/4" = 1'-0"

BACK VIEW

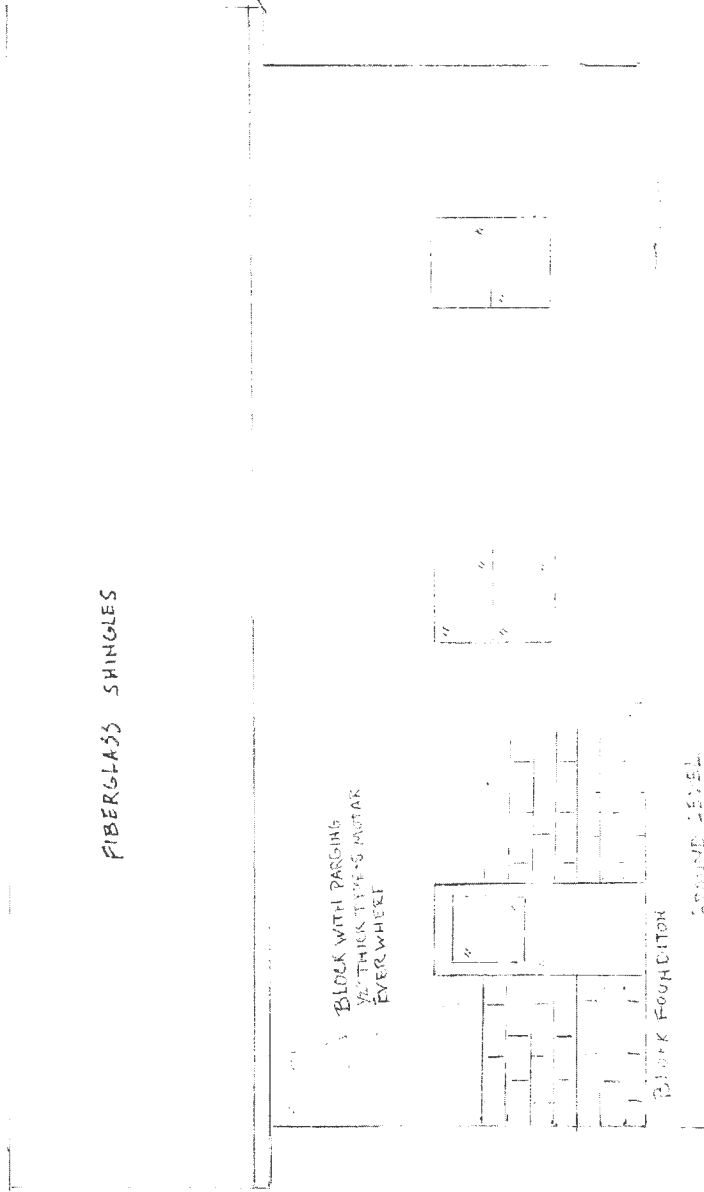
FIBERGLASS SHINGLES

ALL SOFFIT
FALIA
GUTTERS DOWNPOUTS
ALL SUEK

BLOCK WITH PARING
YOU THINK THEY'S MUSTAR
EVERWHERE

BLOCK FOUNDATION

GROUND LEVEL



SECTION A-A

ANCHOR BOLTS EVERY 6" O.C. MAX

8" HIGH 2" BLOC

2x8 P.T. PLATE

THERMAL SHIELD/FOAM INSULATION

1/2" THICK TYPE 5 BRICKS ON N OUT SIDE BLOCK

8"x16" BLOCK 12' TALL - 18 COURSES OF BLOCK WITH TRUSS WIRE EVERY 3 COURSES TYPE-S MORTAR

5" CONCRETE SLAB

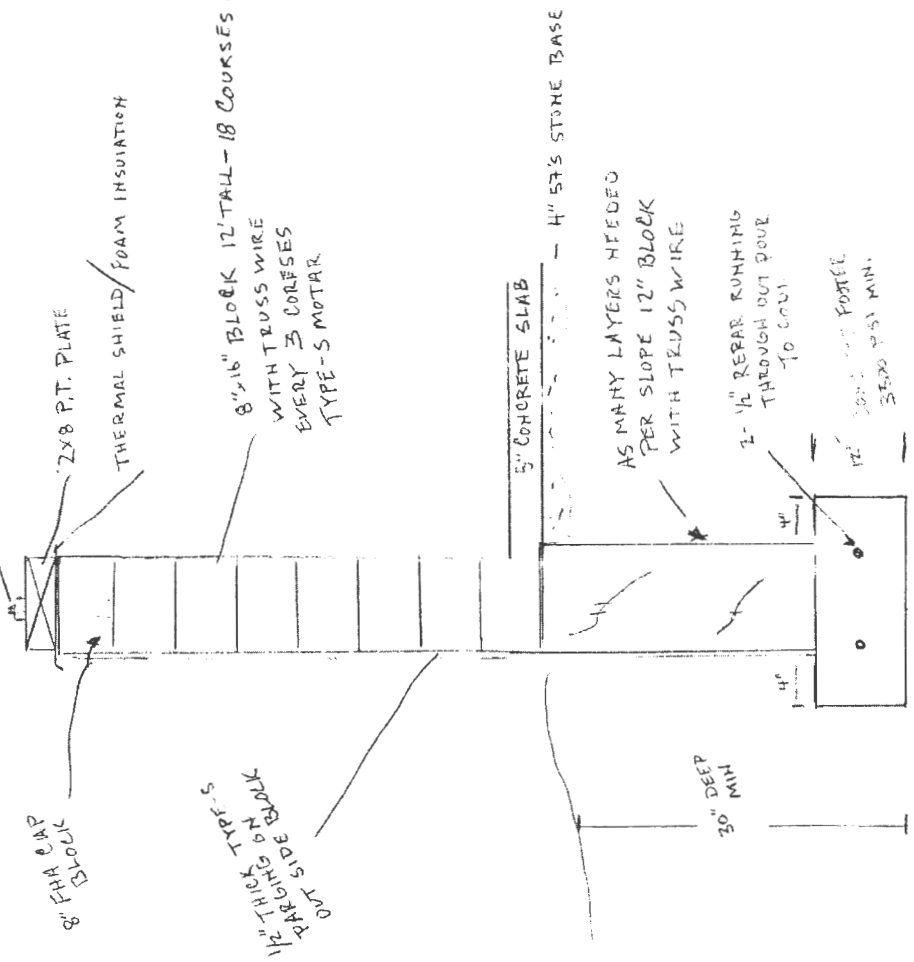
4" SF'S STONE BASE

AS MANY LAYERS NEEDED PER SLOPE 12" BLOCK WITH TRUSS WIRE

1-1/2" REBAR RUNNING THROUGH OUT DOOR TO COUL

1/2" CONCRETE FORTIF. 3000 PSI MIN.

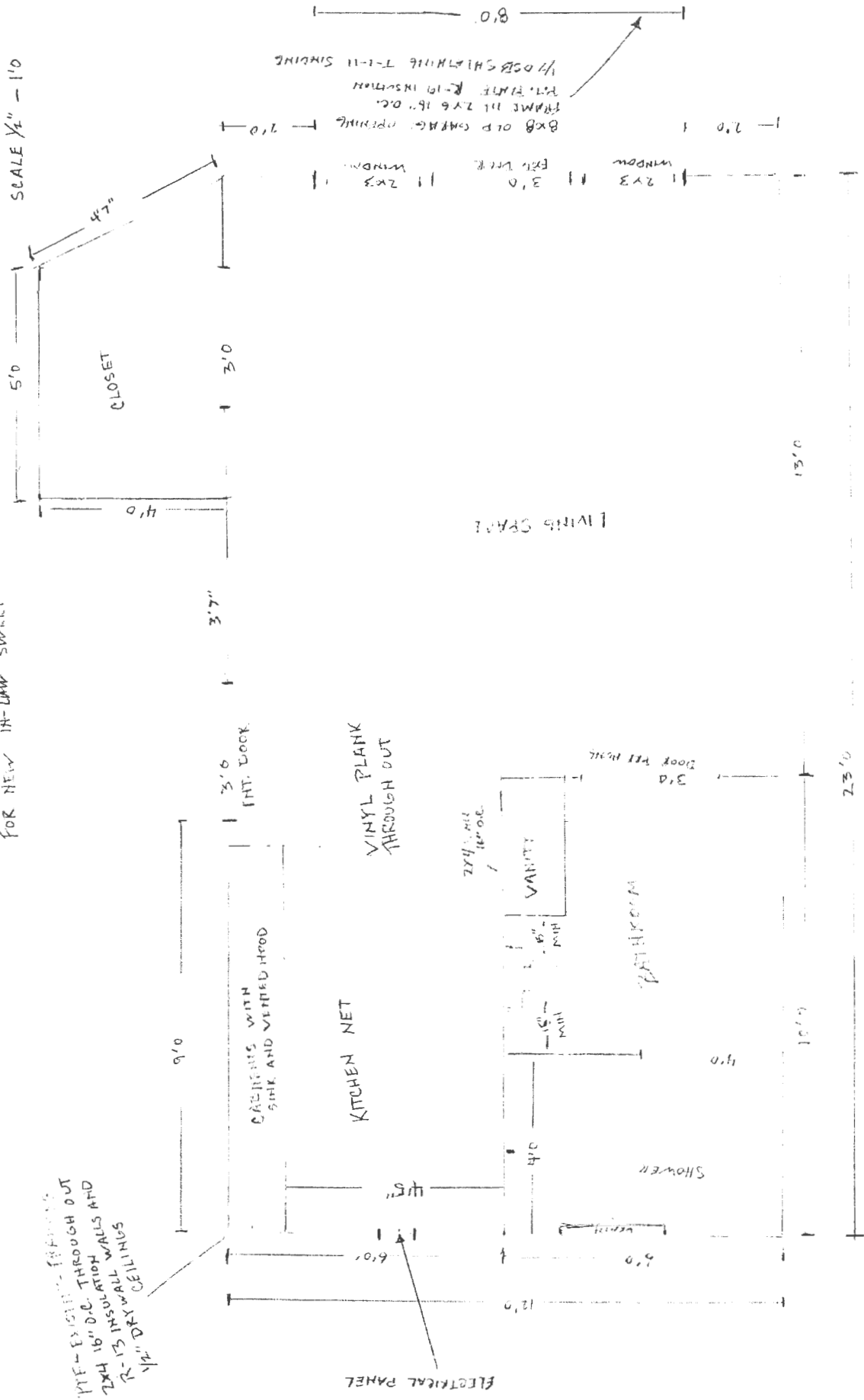
30" DEEP



8425 MURPHY ROAD
LAUREL MD 20723
SCALE 1/2" = 1'-0"

OLD GARAGE FLOOR PLAN
FOR NEW IN-LAW SUITE

EXISTING - REMAINING
PTF - EXISTING THROUGH OUT
16" O.C. THROUGH OUT
2X4 INSULATION WALLS AND
R-13 INSULATION
1/2" DRY CEILING



NEW CONCRETE CURB 4" HIGH
CONCRETE 4" THICK WITH 4" LAP BARRIER
4" STAIR CURB ALL CONCRETE SUPPORT CURB
CONCRETE 4" THICK WITH 4" LAP BARRIER