

Maura J. Rossman, M.D., Health Officer

APPLICATION

FOR PERCOLATION TESTING AND SITE EVALUATION

PROPERTY LOCATION

SUBDIVISION/PROPERTY NAME TAUKULIS PROPERTY
 PROPERTY ADDRESS 8425 MURPHY ROAD LAUREL, MD 20723
STREET TOWN ZIP
 TAX ACCOUNT # 05 341795 TAX MAP 46 GRID 8 PARCEL 19 LOT NO. PROPOSED LOT SIZE (ACRES)
 ZONING CATEGORY RR-DEO TIER

PROPERTY OWNER(S) PRESTON TAUKULIS

DAYTIME PHONE CELL EMAIL
 MAILING ADDRESS 8425 MURPHY ROAD LAUREL, MD 20723
STREET CITY, STATE ZIP

APPLICANT CARROLL LAND SERVICES INC. RELATIONSHIP TO OWNER: ENGINEER
 DAYTIME PHONE 410/848/1790 CELL EMAIL lalexander@clsimail.com
 MAILING ADDRESS 439 E. MAIN STREET WESTMINSTER, MD 21157
STREET CITY, STATE ZIP

I HEREBY APPLY FOR THE NECESSARY TESTING/EVALUATION PRIOR TO ISSUANCE OF SEWAGE DISPOSAL SYSTEM PERMIT(S):

PROPERTY:

- SUBDIVISION: NUMBER OF LOTS INCLUDING RESIDUE:
SUBDIVISION CLASSIFICATION (PER DEPT. OF PLANNING AND ZONING) MAJOR MINOR
- CONSTRUCT NEW OSDS ON UNDEVELOPED LOT
- REPAIR OR REPLACE FAILING OSDS
- UPGRADE EXISTING OSDS

BUILDING:

- RESIDENTIAL WITH 5 EXISTING OR PROPOSED BEDROOMS IN THE COMPLETED STRUCTURE
- COMMERCIAL (PROVIDE DETAIL OF TYPE OF USE AND NUMBERS OF EMPLOYEES/CUSTOMERS ON ACCOMPANYING PLAN)

IS THE PROPERTY WITHIN 2500 FEET OF ANY RESERVOIR?

- YES
- NO

AS APPLICANT, I UNDERSTAND THE FOLLOWING:

- THIS APPLICATION IS VALID FOR TWO(2) YEARS FROM DATE OF FEE PAYMENT AND APPROVAL IS BASED UPON HEALTH OFFICER SIGNATURE OF A PERC CERTIFICATION PLAN PRIOR TO EXPIRATION OF THIS PERMIT.
- THE APPLICATION FEE IS NON-REFUNDABLE
- THIS APPLICATION MUST BE ACCOMPANIED BY ALL APPLICABLE FEES AND A SUITABLE SITE PLAN IN ORDER TO BE PROCESSED
- THIS IS A PUBLIC DOCUMENT

I declare and affirm that to the best of my knowledge, the information contained herein is correct. I declare that I am the owner of the property or duly authorized to make this application on behalf of the owner. I agree to comply with all applicable state and county regulations.

By signature of this application, I hereby grant Howard County Health Department officials the right to enter onto the property for the purpose of inspecting the property as directly related to the requested permit/service.

Heidi Alexander

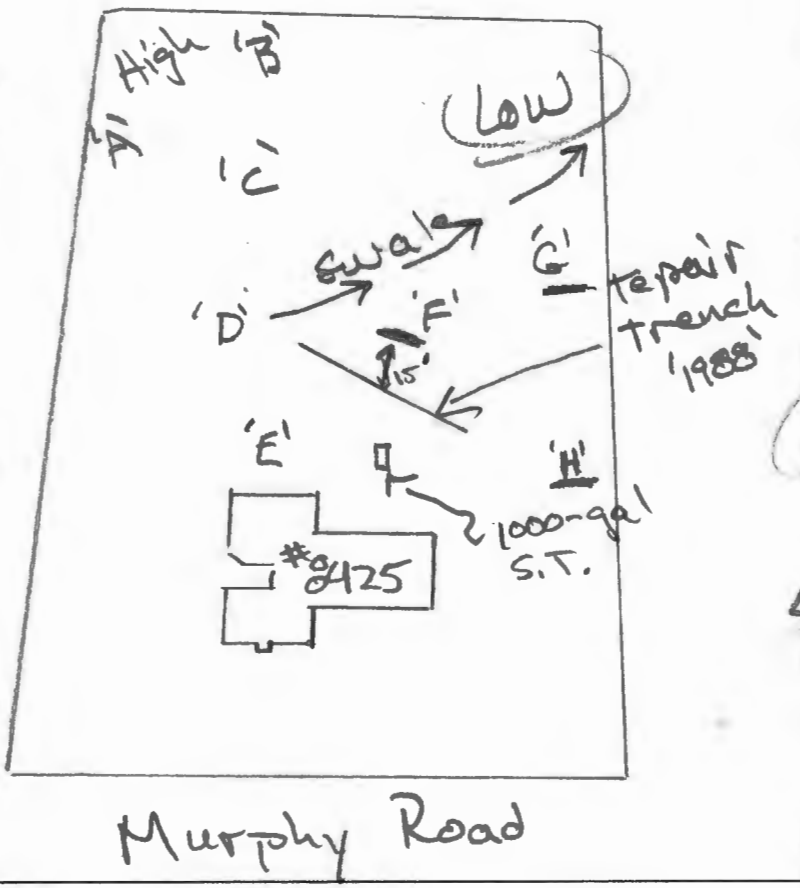
3-12-2021

SIGNATURE OF APPLICANT

DATE

AP 568791

8425 Murphy Road



A
 dk brn L
 1/2 sbk
 common mica
 0.4'
 brn & yel-red sl
 2 m sbk
 common mica
 common roots,
 yel-red sl
 2 m sbk
 common mica
 1.8'
 yel-red & lt brn
 ls, thin platy
 few mica

B
 0.1' brn L, 1/2 sbk
 yel-red & brn
 2/3 sbk
 common mica
 common roots
 0.4' yel-red
 ch ls, 2 m sbk
 common mica
 common roots
 2' red & red-yel
 ls, thin platy
 common mica
 few roots
 4.5' red-yel ls
 thin platy
 many mica
 few channels
 & clags
 few roots

7.5' 7.5'
 brn, lt grey
 & yel-red
 ch ls, platy
 15-25% rock

DATE	TEST #	DEPTH	START	BREAK 1" DROP	STOP 2" DROP	TIME OF 2ND INCH	P/F/H
6/4/21	D	4'	Visual			bedded rock	F
6/4/21	A	4 1/2'	9:23	9:28	9:59	11	P
6/4/21	B	4 1/2'	9:42	9:44	9:48	4	P
6/4/21	C	4 1/3'	10:08:30	10:10	10:12:30	2.5	P
6/4/21	E	4.9'	Visual			rock > 50%	F

10' brn & yel-red
 ch ls, platy
 25-35% rock
 12' 12'
 C
 dk brn L
 2/3 sbk
 common mica
 0.3'
 brn & yel-red
 vch sl, com.
 mica
 30-40% rock
 1.2' yel-red sl
 1/2 sbk com.
 mica
 2' red-yel & lt brn
 ls, thin platy
 few mica
 common roots
 4' yel-red & brn
 ch ls, thin platy
 8' brn & yel-red
 ch ls, thin platy, 25-35% rock
 few roots common mica

12' E
 dk brn sl
 to brn sl
 1' brn & yel-red
 ch ls, platy
 common mica
 3' brn & yel-red
 vch ls, platy
 common mica
 4.9' rock > 50%
 5.5' bedded
 rock

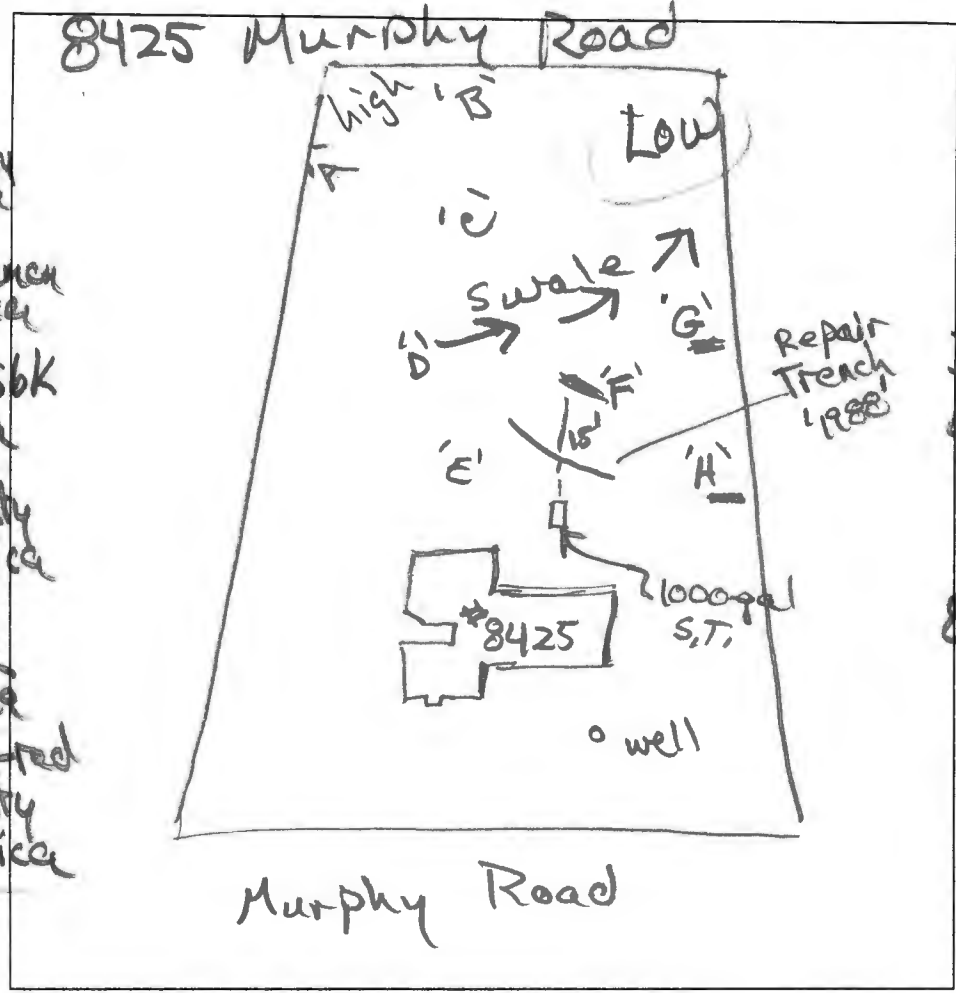
REMARKS
 SANITARIAN R Bricker BACKHOE Hatfield's OTHERS Wayne Wilkins
 TEST HOLES USED IN SDA Donnie & Siete SQ. FT/BR
 TRENCH WIDTH _____ INLET DEPTH _____ MAX. BOT DEPTH _____ EFFECTIVE SW _____

13'

AP 568791

8425 Murphy Road

F
 dk brn sl
 1 fsk, mica
 brn sl
 musbk
 common mica
 brn sl, 2CSbk
 common mica
 2.5'
 brn sl, platy
 common mica
 3.5'
 red-brn
 sl, 2 fsk
 mica
 6.5'
 brn & yel-red
 chls, platy
 common mica
 15'



H
 dk brn L
 thin surface
 yel-red L
 sbk
 3' yel-red sl
 platy
 4' yel-red ls
 1/2 brn & red-yel
 ls, platy
 common mica
 8' brn & yel-red
 chls com,
 mica
 12'

G
 dk brn sl
 1 fsk
 0.3'
 brn & red-brn
 sl, 1 musbk
 6/4/21
 0.7'
 brn & yel-red
 sl, platy
 1.5'
 brn & yel-red
 chls, platy
 20-30% rock
 few mica
 few roots
 R-10'

DATE	TEST #	DEPTH	START	BREAK 1" DROP	STOP 2" DROP	TIME OF 2ND INCH	P/F/H
6/4/21	F	5/15'	10:36	10:46	11:00	14	P
6/4/21	G	3.7/10'	11:16	11:17:30	11:19:30	2	P
6/4/21	H	12	Visual		3'-8" sidewell 1.2 gpd/ft.		P

REMARKS F dug 15' downhill from ex. trench

SANITARIAN RR Bricker BACKHOE Hat Field OTHERS Wayne Wilkins

TEST HOLES USED IN SDA Doanie & Eite AVG. PERC TIME 2 SQ. FT/BR 1 wife

TRENCH WIDTH _____ INLET DEPTH _____ MAX. BOT DEPTH _____ EFFECTIVE SW _____

Bricker, Robert

From: Bricker, Robert
Sent: Monday, June 14, 2021 12:06 PM
To: Linda D. Alexander (lalexander@clsimail.com)
Cc: Keith Smith
Subject: 8425 Murphy Road_percolation test report and data
Attachments: 8425 Murphy Road_perc test data_June 2021.pdf

Dear Linda Alexander,

On Friday, June 4, percolation tests were conducted at 8425 Murphy Road in Howard County. Seven locations, 'A' thru 'G', were proposed and staked, and an eighth location, 'H', was added during testing. Locations 'D' and 'E' were FAIL due to shallow depth to bedded rock. Depth to rock was documented for these two locations. The other six locations PASS. Soil profiles were described for each passing location and infiltration tests were conducted at locations 'A', 'B', 'C', 'F' and 'G'. The infiltration rate at location 'H' was estimated based on soil texture and structure. Two filed worksheets with soil profile descriptions and percolation data are attached with this email.

A Percolation Certification Plan is required to support the proposal for a detached garage and conversion of the existing garage to living area to include a proposed bedroom. The percolation certification plan proposal may be submitted with two sewage disposal areas (SDA) proposed for areas having percolation tests that PASS. The potential SDA are separated by a swale which bisects the property. Trench layout may be proposed on the percolation certification plan for three drainfield systems, including the existing trench. The trench systems must be designed for the total number of bedrooms in the residence after the proposed improvements are completed. The floor plan illustrates five bedrooms in the completed dwelling.

The existing septic system components were exposed and visually evaluated while percolation tests were being conducted. Hatfield's Equipment Company, Inc. estimated the septic tank capacity to be 1000-gallons. The septic tank capacity is appropriate for a three-bedroom residence. The capacity is consistent with the design of the repair trench installed on December 27, 1988.

The proposed Percolation Certification Plan must be submitted to the Bureau of Environmental Health for review and approval. After the plan is signed by the Bureau Director, an Onsite Sewage Disposal System Design Plan must be submitted to the Bureau for the purpose of proposing a septic system upgrade to include a septic tank replacement and additional trench area to serve a five-bedroom residence. The septic system permit may be released after approval of the OSDS Design Plan by an Environmental Sanitarian. The building permit may be approved after the Environmental Sanitarian attending the septic system upgrade approves the installation permit by signature.

The existing well at 8425 Murphy Road was not inspected on the day of percolation testing. During the review process for the Percolation Certification Plan the well on the property shall be inspected. If required, a condition for repair or upgrade of the well will be enforced prior to approval of the building permit (B20003859).

If you have questions about this report content, or stated requirements, you may contact me by 'Reply' to this email.

Robert Bricker, CPSS, REHS/RS, L.E.H.S.
Environmental Sanitarian II
Bureau of Environmental Health, Well and Septic Program



HOWARD COUNTY HEALTH DEPARTMENT

68791

DATE 3/16/21

AS
410-848-1790

Received From

CLSI

PHONE #

For

Perio App/ 8425

Murphy RD.

CASH
 CHECK

NO 11383

Five hundred six

Dollars

\$ 500.00

Received By

King

4/22/88
10:11 AM
11/30/88 12:00-1:00
12/27/88

PERMIT

SEWAGE DISPOSAL SYSTEM

MARYLAND STATE DEPARTMENT OF HEALTH DISTRICT _____

HOWARD COUNTY
BUREAU OF ENVIRONMENTAL HEALTH
461-9933

05-341795
INDEXED

P 41858

A Repair

DATE 6/03/88

DATE SYSTEM APPROVED 12/27/88

INSPECTOR RH

DAVE HOFFMAN 831-7257

Vision Builders IS PERMITTED TO INSTALL _____ ALTER

ADDRESS 9110 Q Red Branch Road, Columbia, Maryland 21045 PHONE 730-4653

SUBDIVISION _____ ROAD 8425 Murphy Road LOT _____

PROPERTY OWNER Vision Builders/Mr. Joseph Gonzales
8425 Murphy Road

ADDRESS _____

IF GARBAGE GRINDER IS USED INCREASE SEPTIC TANK CAPACITY BY 50% AND ABSORPTION AREA BY 22%.

GARBAGE GRINDER? YES _____ NO _____

SEPTIC TANK CAPACITY _____ GALLONS NUMBER OF BEDROOMS _____

REPAIR - CALL FOR INSPECTION WHEN GROUND IS OPENED UP SO SANITARIAN CAN RECOMMEND REPAIR.

6-22-88 INLET 3" BOTTOM 8" Require 300 ϕ OF SIDEWALL IF EXISTING SYST. ALL
TRENCHES IF DRYWELL + Dry well is dry 200 ϕ REQUIRED. Replace PIPE FROM
HOUSE TO TANK. SA

11/30/88 NO SYSTEM CURRENTLY ON SITE. INSTALL 474 ϕ SYSTEM. CW.

PLANS APPROVED BY C. Williams DATE 6/03/88

COVER NO WORK UNTIL INSPECTED AND APPROVED.

NEITHER THE HOWARD COUNTY COUNCIL NOR THE HEALTH DEPARTMENT IS RESPONSIBLE FOR THE SUCCESSFUL OPERATION OF ANY SYSTEM.

NOTE: CLEANOUT REQUIRED EVERY 70 FEET OF SEWER LINE AND/OR AT 90° SWEEPS IN LINES FROM HOUSE TO DRAIN FIELDS.

NOTE: ALL PARTS OF SEPTIC SYSTEMS (I.E. TANK, DISTRIBUTION BOX, TRENCHES) TO BE 100 FEET FROM WELL. (UNLESS OTHERWISE SPECIFICALLY AUTHORIZED)

NOTE: IF DEEP TRENCHES ARE USED CALL FOR INSPECTION BEFORE AND AFTER PLACING GRAVEL IN TRENCHES.

NOTE: NO DRY WELL SHALL EXCEED 15 FOOT IN DIAMETER. NO ABSORPTION TRENCH TO EXCEED 100 FEET IN LENGTH.

NOTE: ALL PIPE FROM HOUSE TO SEPTIC TANK MUST BE CAST IRON OR SCHEDULE 40 PVC OR ABS.

PERMIT VOID AFTER TWO YEARS.

NOTE: INSTALL STAND PIPE ON SEPTIC TANK AND DRY WELL. STAND PIPES MUST BE 6 INCHES IN DIAMETER. CAST IRON, CONCRETE OR TERRA COTTA OR PVC OR ABS ACCEPTED. IF TOP OF SEPTIC TANK IS DEEPER THAN 3 FEET, MANHOLE TO GRADE REQUIRED.

NOTE: DISTRIBUTION BOXES MUST HAVE BAFFLES.

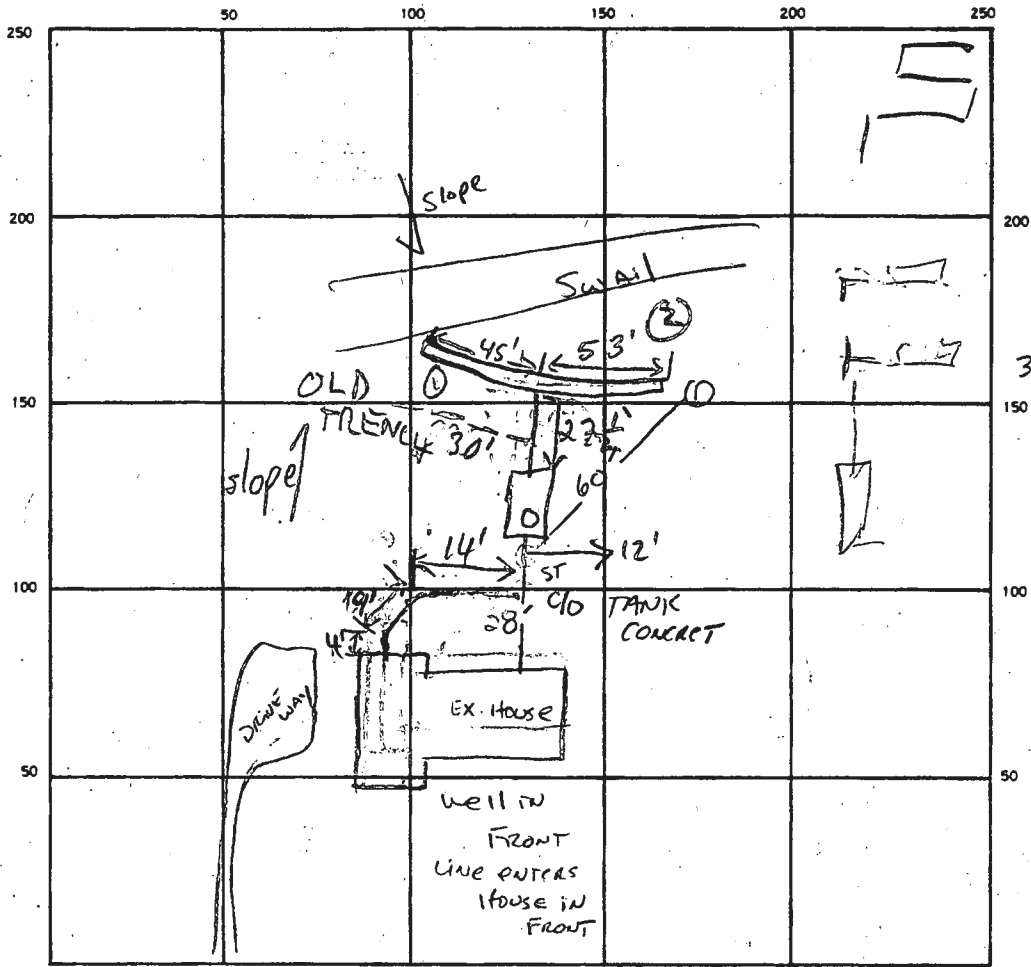
BLDG. PERMIT SIGNED
AND RETURNED 6-16-88

*INSTALLER IS RESPONSIBLE FOR OBTAINING FINAL APPROVAL ON THIS PERMIT SA

*CALL 461-9933 FOR INSPECTION OF SEPTIC SYSTEMS.

EH - 2-1186

PH



①
 3.5'
 Yellow Br. SAND
 CLAY LAM
 MICACEOUS
 15-20% FRAGS

Yellow Br
 MICACEOUS
 SAND LOAM
 15-20% FRAGS

13'
 X Perc 8-10 in / 11

188
 4 1/3
 474

INDICATE NORTH. — NAME ADJOINING ROADWAY AS BASE LINE.
 MORPHY Rd.

SEPTIC TANK LEVEL OK CLEANOUTS NEED CLEANOUT CLEANOUT INSTALLED RIT

DISTRIBUTION BOX LEVEL NO BOX - A "T" EXISTS AT JUNCTION OF TRENCHES

DRAIN FIELD/TILE FIELD. DEPTH 8 FT. TRENCH WIDTH 2 FT. INLET DEPTH 3 FT.

EFFECTIVE GRAVEL DEPTH 5 FT. TOTAL LENGTH 45' + 53' = 98' FT.

NUMBER OF TRENCHES 2 ONE SIDEWALL/BOTTOM AREA 490 SQ. FT.

DRYWELL INSIDE DIAMETER _____ FT. EFFECTIVE DEPTH BELOW INLET 5 FT.

ABSORBENT AREA 490 SQ. FT.

REMARKS TRENCHES STONED & PAPERED - OK TO COVER
TRENCHES; CLEANOUT COMPOSED OF 6" PIPE IN 9" HOLE;
PIPE SUPPORTED AT HOLE W/ BRICKS & MORTAR; HOUSE
CONNECTION NOT COMPLETE; TRENCH DEPTH &
EFFECTIVE STONE DEPTH PER CONTRACTOR; CALL
FOR FINAL STICKER LEFT REAR DOOR 11/30/88 MR
HOUSE HOOR UP OK 12/27/88 RIT
 DATE SYSTEM APPROVED 12/27/88 INSPECTOR Raymond Dodge



LEGEND

- 560 — EX 10' CONTOUR
- - - EX 2' CONTOUR
- SWALE
- EXISTING FENCE
- FAILED PERC TEST
- PASSED PERC TEST
- △ EXISTING WELL LOCATION
- SOL LINES
- SLOPES > 25%

SEPTIC SYSTEM TRENCH DESIGN:

EXISTING HOUSE - 4 BEDROOMS
 PROPOSED ADDITION - 1 BEDROOM
 TOTAL BEDROOMS - 5

INITIAL SYSTEM:
 ASSUME APPLICATION RATE = 0.8 GPD/SQ. FT.
 ASSUME EFFECTIVE DEPTH IS 5'
 TRENCH WIDTH = 2'
 150 GAL x 5 BEDROOMS = 750 GAL/DAY
 750 GAL/DAY / 0.8 GAL./DAY/SQ. FT. = 937.5 USE 938 SQ. FT.
 938 SQ. FT. / 2' = 469 L.F.
 469 L.F. x .31 = 145.39 USE 146 L.F. OF DEEP TRENCH
 98 L.F. = 98' OF EXISTING TRENCH
 ADDITIONAL TRENCH = 48 L.F.

REPLACEMENT SYSTEM #1 & #2:
 ASSUME APPLICATION RATE = 1.2 GPD/SQ. FT.
 ASSUME EFFECTIVE DEPTH IS 6'
 TRENCH WIDTH = 3'
 150 GAL x 5 BEDROOMS = 750 GAL/DAY
 750 GAL/DAY / 1.2 GAL./DAY/SQ. FT. = 625 USE 625 SQ. FT.
 625 SQ. FT. / 3' = 208.33 USE 209 L.F.
 209 L.F. x .31 = 64.79 USE 65 L.F. OF DEEP TRENCH

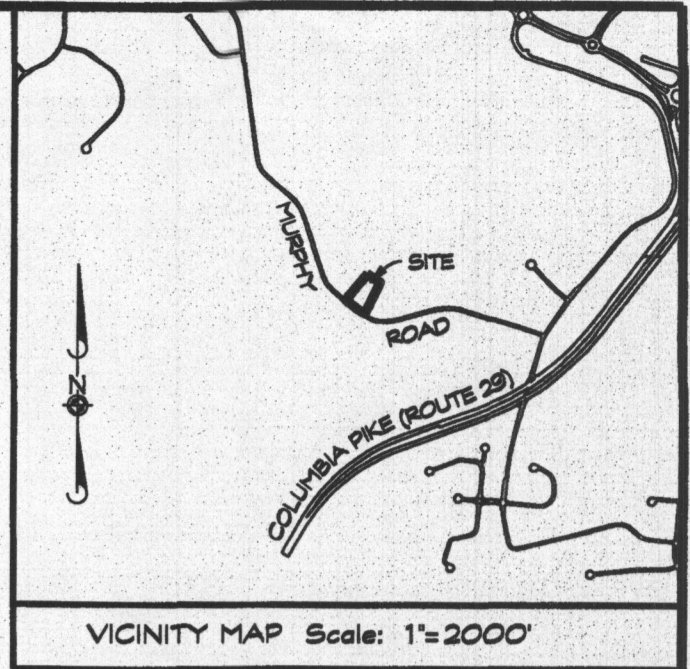
NOTE:

A WATER SAMPLE OBTAINED AT THE SUBJECT PROPERTY ON APRIL 6, 2021 BY A PRIVATE LABORATORY HAD AN ELEVATED NITRATE ANALYSIS. POINT OF USE TREATMENT (I.E., REVERSE OSMOSIS) WILL BE REQUIRED IN BOTH THE RESIDENCE AND IN THE PROPOSED ACCESSORY APARTMENT. THE TREATMENT SYSTEM FOR THE RESIDENCE MUST BE INSTALLED PRIOR TO BUILDING PERMIT APPROVAL AND A FOLLOW-UP TEST ANALYSIS FOR NITRATE MUST SHOW THAT WATER FROM THE TREATMENT UNIT IS BELOW THE REGULATORY MCL OF 10 mg/L. THE REVERSE OSMOSIS TREATMENT FOR THE ACCESSORY APARTMENT MUST BE INSTALLED PRIOR TO FINAL INSPECTION AND A FOLLOW-UP TEST ANALYSIS FOR NITRATE MUST SHOW THAT WATER FROM THE TREATMENT UNIT IS BELOW THE REGULATORY MCL OF 10 mg/L.

THIS AREA DESIGNATES A PRIVATE SEWAGE DISPOSAL AREA AS REQUIRED BY THE MARYLAND DEPARTMENT OF THE ENVIRONMENT FOR INDIVIDUAL SEWAGE DISPOSAL. FOR LOTS CREATED PRIOR TO MARCH OF 1972 IT PROVIDES AT LEAST ENOUGH AREA TO ACCOMMODATE AN INITIAL AND TWO REPLACEMENT SEPTIC SYSTEMS AS REQUIRED BY THE HOWARD COUNTY HEALTH DEPARTMENT. IMPROVEMENTS OF ANY NATURE IN THIS AREA ARE RESTRICTED. THIS SEWAGE DISPOSAL AREA SHALL BECOME NULL AND VOID UPON CONNECTION TO A PUBLIC SEWAGE SYSTEM. THE COUNTY HEALTH OFFICER SHALL HAVE THE AUTHORITY TO GRANT ADJUSTMENTS TO THE PRIVATE SEWAGE EASEMENT. RECORDATION OF THE MODIFIED SEWAGE DISPOSAL AREA SHALL NOT BE NECESSARY.

SOILS LEGEND

SOL SYMBOL	SOL SERIES	SOL HSG	ERODIBLE (K-FACTOR .35)	HYDRC
Mac	MANOR LOAM	B	-	-



GENERAL NOTES

- CURRENT TITLE REFERENCE:
 OWNER: PRESTON J. TALKULIS
 DEED REFERENCE: 13652, F. 245
 DATE: DECEMBER 14, 2011
 GRANTOR: PRESTON J. TALKULIS
- THE LOT SHOWN HEREON COMPLES WITH THE MINIMUM OWNERSHIP WIDTH AND LOT AREA AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF THE ENVIRONMENT.
- THE TOPOGRAPHY SHOWN HEREON IS BASED ON HOWARD COUNTY 200' SCALE TOPO MAPS AND VERIFIED TO ACCURATELY REPRESENT THE RELATIVE CHANGES ON THE SUBJECT PROPERTY. TOPOGRAPHY OF THE SEWAGE DISPOSAL AREA WAS FIELD VERIFIED BY CLSI.
- EXISTING WELLS AND/OR SEWER DISPOSAL AREA WITHIN 100' OF THE LOT LINES HAVE BEEN SHOWN. THERE ARE NO WELLS 200' DOWN GRADIENT OF THE SEPTIC DISPOSAL AREA SHOWN. ANY CHANGES TO THE PRIVATE SEWER DISPOSAL AREA AND/OR ALTERNATIVE WELL LOCATION SHALL REQUIRE A REVISED PERCOLATION CERTIFICATION PLAN.
- ALL STORM-WATER MANAGEMENT DEVICES WILL MEET HOWARD COUNTY SETBACKS TO ALL WELL SITES AND ON-SITE DISPOSAL SYSTEMS.
- THE BOUNDARY SHOWN HEREON IS FROM PLAT TITLED MAP OF RESUBDIVISION OF LOT NO. 7 OF ALBIN F. AND SARAH E. PAYNE PROPERTY AND RECORDED IN PLAT BOOK: 6 PAGE: 69 NO BOUNDARY SURVEYS WERE PERFORMED NOR CERTIFIED BY CLSI.
- EX. WELL ON SITE HAS NO TAG NUMBER AVAILABLE
- THIS PLAN IS A BENEFIT TO THE CUSTOMER ONLY INsofar AS IT IS REQUIRED BY HOWARD COUNTY FOR THE PURPOSE OF THE APPROVAL OF THE PERCOLATION TEST. IT IS NOT TO BE RELIED UPON FOR THE ESTABLISHMENT OF BOUNDARY, EASEMENT OR RIGHT-OF-WAY LINES FOR ANY REASON, SUCH AS THE LOCATION OF FENCES, GARAGES, BUILDINGS OR FUTURE IMPROVEMENTS, OFFSETS OF BUILDING OR OTHER EXISTING OR FUTURE IMPROVEMENTS, OFFSETS OF BUILDINGS TO PROPERTY LINE ARE TO THE NEAREST FOOT (1') UNLESS OTHERWISE NOTED AND HAS AN ACCURACY OF ± 1 FOOT.
- THE CAPACITY OF THE EXISTING SEPTIC SYSTEM COMPONENTS MUST BE UPGRADED AND APPROVED PRIOR TO HEALTH DEPARTMENT APPROVAL OF THE CURRENT BUILDING PERMIT PROPOSAL (B20003859). AN ONSITE SEWAGE DISPOSAL SYSTEM DESIGN PLAN FOR THE UPGRADE MUST BE APPROVED BY THE HEALTH DEPARTMENT PRIOR TO RELEASE OF THE SEPTIC SYSTEM INSTALLATION PERMIT FOR THE UPGRADE.

DATA TABULATIONS

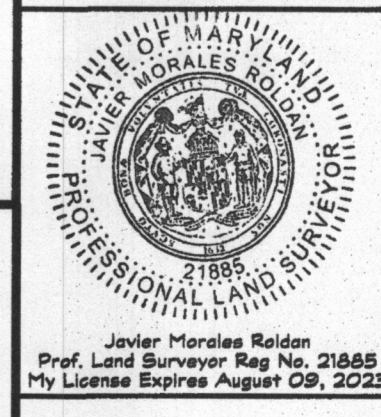
- ZONING DISTRICT: RR-DEO
- NUMBER OF BUILDING SITES: 1
- TOTAL AREA OF LOT: 1.74± ACRES

PURPOSE NOTE:
 THE PURPOSE OF THIS PERCOLATION CERTIFICATION PLAN IS TO A REVISED SEPTIC EASEMENT FOR PROPOSED IMPROVEMENTS FOR A TOTAL OF 5 BEDROOMS.

OWNER
 PRESTON TALKULIS
 8425 MURPHY ROAD
 LAUREL, MD 20723

DEVELOPER
 THE GROUND UP CONTRACTORS
 6036 DUCKEYS RUN ROAD
 ELKBRIDGE, MD 21075

PERCOLATION CERTIFICATION PLAN
8425 MURPHY ROAD
 PLAT BOOK: 6 PAGE: 69
 LIBER 13652, FOLIO 245
 TAX MAP: 46 * BLOCK: 8 * PARCEL: 19
 5th ELECTION DISTRICT * HOWARD COUNTY, MD



Javier Morales Roldan
 Prof. Land Surveyor Reg No. 21885
 My License Expires August 09, 2023

439 East Main Street Westminster, MD 21157-5539
 (410) 848-1790 FAX (410) 848-1791

APPROVED FOR PRIVATE WATER AND SEWERAGE SYSTEM
 HOWARD COUNTY HEALTH DEPARTMENT

Javier Morales Roldan 3/1/22
 HEALTH OFFICER, HOWARD COUNTY HEALTH DEPT

I HEREBY CERTIFY THAT THE INFORMATION SHOWN HEREON IS BASED ON FIELD WORK PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION, AND IS CORRECT, TO THE BEST OF MY KNOWLEDGE AND BELIEF:

Javier Morales Roldan 1-31-22
 JAVIER MORALES ROLDAN, PROFESSIONAL LAND SURVEYOR
 NO. 21885 LICENSE EXPIRES 8/9/2023

Date	Revisions	Drawn By: BH
5/4/21	REV'D STEEP SLOPES AND SEPTIC AREAS	Designed By: LDA, BH
11/12/21	ADDRESS COUNTY COMMENTS	Reviewed By:
01/21/22	address per email comms dated 1/20/2022	Date: MARCH, 2021
		Scale: 1" = 30'
		Job No.: 2020321
		Sheet: 1 OF 1



LEGEND

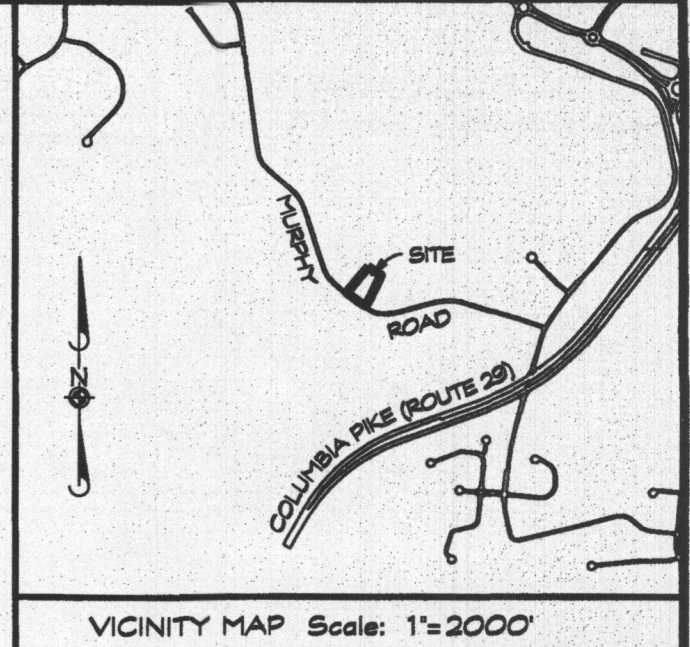
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- THE BOUNDARY SHOWN HEREON IS FROM PLAT TITLED MAP OF RESUBDIVISION OF LOT NO. 7 OF ALBIN F. AND SARAH E. PAYNE PROPERTY AND RECORDED IN PLAT BOOK: 6 PAGE: 69 NO BOUNDARY SURVEYS WERE PERFORMED NOR CERTIFIED BY CLSI.
- EX. WELL ON SITE HAS NO TAG NUMBER AVAILABLE.
- THIS PLAN IS A BENEFIT TO THE CUSTOMER ONLY INsofar AS IT IS REQUIRED BY HOWARD COUNTY FOR THE PURPOSE OF THE APPROVAL OF THE PERCOLATION TEST. IT IS NOT TO BE RELIED UPON FOR THE ESTABLISHMENT OF BOUNDARY, EASEMENT OR RIGHT-OF-WAY LINES FOR ANY REASON, SUCH AS THE LOCATION OF FENCES, GARAGES, BUILDINGS OR FUTURE IMPROVEMENTS, OFFSETS OF BUILDING OR OTHER EXISTING OR FUTURE IMPROVEMENTS, OFFSETS OF BUILDINGS TO PROPERTY LINE ARE TO THE NEAREST FOOT (1) UNLESS OTHERWISE NOTED AND HAS AN ACCURACY OF ± 1 FOOT.
- THE CAPACITY OF THE EXISTING SEPTIC SYSTEM COMPONENTS MUST BE UPGRADED AND APPROVED PRIOR TO HEALTH DEPARTMENT APPROVAL OF THE CURRENT BUILDING PERMIT PROPOSAL (S 20003859). AN ONSITE SEWAGE DISPOSAL SYSTEM DESIGN PLAN FOR THE UPGRADE MUST BE APPROVED BY THE HEALTH DEPARTMENT PRIOR TO RELEASE OF THE SEPTIC SYSTEM INSTALLATION PERMIT FOR THE UPGRADE.

NOTE:

A WATER SAMPLE OBTAINED AT THE SUBJECT PROPERTY ON APRIL 6, 2021 BY A PRIVATE LABORATORY HAD AN ELEVATED NITRATE ANALYSIS. POINT OF USE TREATMENT (I. E., REVERSE OSMOSIS) WILL BE REQUIRED IN BOTH THE RESIDENCE AND IN THE PROPOSED ACCESSORY APARTMENT. THE TREATMENT SYSTEM FOR THE RESIDENCE MUST BE INSTALLED PRIOR TO BUILDING PERMIT APPROVAL AND A FOLLOW-UP TEST ANALYSIS FOR NITRATE MUST SHOW THAT WATER FROM THE TREATMENT UNIT IS BELOW THE REGULATORY MCL OF 10 mg/L. THE REVERSE OSMOSIS TREATMENT FOR THE ACCESSORY APARTMENT MUST BE INSTALLED PRIOR TO FINAL INSPECTION AND A FOLLOW-UP TEST ANALYSIS FOR NITRATE MUST SHOW THAT WATER FROM THE TREATMENT UNIT IS BELOW THE REGULATORY MCL OF 10 mg/L.

THIS AREA DESIGNATES A PRIVATE SEWAGE DISPOSAL AREA AS REQUIRED BY THE MARYLAND DEPARTMENT OF THE ENVIRONMENT FOR INDIVIDUAL SEWAGE DISPOSAL FOR LOTS CREATED PRIOR TO MARCH OF 1972 IT PROVIDES AT LEAST ENOUGH AREA TO ACCOMMODATE AN INITIAL AND TWO REPLACEMENT SEPTIC SYSTEMS AS REQUIRED BY THE HOWARD COUNTY HEALTH DEPARTMENT. IMPROVEMENTS OF ANY NATURE IN THIS AREA ARE RESTRICTED. THIS SEWAGE DISPOSAL AREA SHALL BECOME NULL AND VOID UPON CONNECTION TO A PUBLIC SEWAGE SYSTEM. THE COUNTY HEALTH OFFICER SHALL HAVE THE AUTHORITY TO GRANT ADJUSTMENTS TO THE PRIVATE SEWAGE EASEMENT. RECORDATION OF THE MODIFIED SEWAGE DISPOSAL AREA SHALL NOT BE NECESSARY.

SOILS LEGEND				
SOL SYM/SOL	SOL SERIES	SOL HSG	ERODIBLE (K-FACTOR x35)	HYDRIC
Mac	MANOR LOAM	B	-	-

DATA TABULATIONS

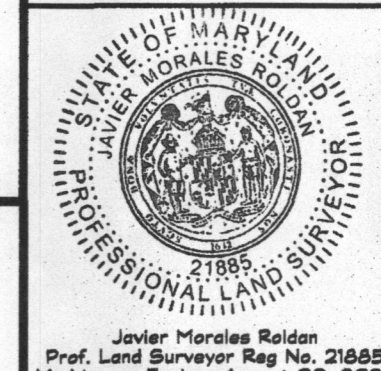
- ZONING DISTRICT: RR-DEO
- NUMBER OF BUILDING SITES: 1
- TOTAL AREA OF LOT: 1.74 ± ACRES

PURPOSE NOTE:
 THE PURPOSE OF THIS PERCOLATION CERTIFICATION PLAN IS TO A REVISED SEPTIC EASEMENT FOR PROPOSED IMPROVEMENTS FOR A TOTAL OF 5 BEDROOMS.

OWNER
 PRESTON TALKULIS
 8425 MURPHY ROAD
 LAUREL, MD 20723

DEVELOPER
 THE GROUND UP CONTRACTORS
 6036 DUCKEYS RUN ROAD
 ELKCRIDGE, MD 21075

PERCOLATION CERTIFICATION PLAN
8425 MURPHY ROAD
 PLAT BOOK: 6 PAGE: 69
 LIBER 13652, FOLIO 245
 TAX MAP: 46 * BLOCK: 8 * PARCEL: 19
 5th ELECTION DISTRICT * HOWARD COUNTY, MD



439 East Main Street Westminster, MD 21157-5539
 (410) 848-1790 FAX (410) 848-1791

APPROVED FOR PRIVATE WATER AND SEWERAGE SYSTEM
 HOWARD COUNTY HEALTH DEPARTMENT

Javier Morales Roldan 2/11/23
 HEALTH OFFICER, HOWARD COUNTY HEALTH DEPT.

Javier Morales Roldan 1-31-22
 JAVIER MORALES ROLDAN, PROFESSIONAL LAND SURVEYOR
 NO. 21555 LICENSE EXPIRES 8/9/2023

Date	Revisions	Drawn By: BH
5/4/21	REV'D STEEP SLOPES AND SEPTIC AREAS	Designed By: LDA, BH
11/12/21	ADDRESS COUNTY COMMENTS	Reviewed By:
01/21/2022	address per email com's dated 1/20/2022	Date: MARCH, 2021
		Scale: 1" = 30'
		Job No.: 2020321
		Sheet: 1 OF 1