



Office of the Health Officer

8930 Stanford Drive, MD 21045

Main: 410-313-6300 | Fax: 410-313-6303

TDD 410-313-2323 | Toll Free 1-866-313-6300

www.hchealth.org

Facebook: www.facebook.com/hocohealth

Maura J. Rossman, M.D., Health Officer

DATE: May 17, 2023

TO: Residential Real Estate Solutions
C/O Williams Dixon

Via E-mail: DUDLEY@FRAMEHOUSEMD.COM

RE: **Building Permit # B23001631**
8042 Old Montgomery
Ellicott City, MD 21784

Hello All,

Our department has received and reviewed your building permit # B23001631 and based on your proposal we have several tasks completed to process your permit. We cannot review your building permit because your file is not complete. We need floor plans for the proposed addition and a plot plan that shows all the septic components. The septic system must be shown on your plan along with the well.

We also need to establish a sewage disposal area on your property. We do not have any information regarding the SDA in our office. With that being said, we need to do percolation testing on your property. I am attaching a percolation application along with information on developing a property. Guidance for percolation testing is listed below:


Health Requirements Prior to Testing

1. Perc Application (See Attached) completed and submitted to the Howard County Health Department along with \$506 fee. The proposed test locations will need to be staked. If there are other structures/utility lines within the vicinity those will need to be drawn on the plan by your engineer. These will need to be field located by the surveyor and shown on the plan as accurately as possible.
2. Miss Utility must be called to come out to the site and check for utility lines. If there are any they must be marked on the plan and in the field.
3. Any private lines will need to be shown on the plan. Including overhead lines so the contractor digging the holes is aware.
4. Once all this has been completed, we can schedule for perc testing.

5. Once the testing has been completed OSDS plan must be submitted by your engineer. After approval of your Onsite Sewage Disposal System plan your septic system must be upgraded before the release of the building permit.
6. Your well will be evaluated also to make sure it is up to code. If the well is not up to code it must be addressed prior to building permit approval.

Your building permit will be placed "on hold" until all Health Department requirements are met. If you have any questions or correspondence, I can be reached at the above address or by telephone at (410) 313-2775.

Respectfully,

Dana Bernard 

Dana Bernard, REHS/RS
Environmental Specialist II
Well and Septic Program
Phone (410) 313-2775

Menu Refine Search GIS Help My Filters

Showing 1 of 1

<input type="checkbox"/> Permit #	Status	Record Type Alias	Street #	Street Name	Type	Unit Type	Unit #	City
<input type="checkbox"/> B23001631	Pending Review	Residential Interior Alteration Single Family Dwelling Permit	8042	OLD MONTGOMERY	RD			ELLICOTT

Page of 1

On Hold

4 Bedrooms

Private Well

& Septic

Approved 6-20-23



Interior Remodel

8042 Old Montgomery Road
Ellicott city MD 21043

Area	Square Feet
Second Floor	983
First Floor	1,217
Basement	1,134
Total	3,334

5/6/2023

Wye Home Designs, LLC

P.O. Box 85
Queenstown, MD 21658

Doug Curry
dcurry@wyehomedesigns.com

Horowitz Remodel

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Table of Contents

Description	Name	#
Title Sheet	G-001	1
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Second Floor - Remodel	A-106	7

General Notes

- Contractors to verify all dimensions, elevations, and existing conditions prior to ordering of supplies/materials and prior to initiating construction. When a discrepancy or an error or omission is identified, the contractor shall comply with code and immediately notify the Owner and Wye Home Designs, LLC for proper adjustments.
- It is the responsibility of all contractors to coordinate their work with all other trades involved.
- Store all materials in such a manner as not to over stress or damage any structure or material during construction.
- Do not scale drawings to determine dimensions. Contact the designer prior to construction.
- Details are generally typical and are not always limited to those specific areas. Review any detail questions or conflicts with Wye Home Designs, LLC prior to construction.
- All interior walls are to be 2x4 studs at 16" O.C. unless noted otherwise. All exterior walls are as follows:
 - Walls up to 9'-1" - 9'-0" high -- 2x4 @ 16" O.C. (LINO)
 - Walls above 9'-1" - 9'-11" high -- 2x8 @ 16" O.C. (LNO)
 - Walls above 10'-0" -- see structural drawings
- Dimensional lumber used for all framing, except trusses, studs, sole plates, and cap plates shall be S.P.F. No. 2 or better.
- Dimensional lumber used for wall studs, sole plates, and cap plates shall be KD SPF.
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- Encase all steel columns, bearing plates and anchor bolts below slab grade with a minimum 3" concrete cover.
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- These plans and notes are the property of Wye Home Designs, LLC. Use of these plans and/or any portion within without written consent of Wye Home Designs, LLC is prohibited.

Design Loads

Topic	Value(s)
IRC	2018 and Local
Walls	KD SPF
Floor Joist	1-Joist
First Floor	40 P.S.F. live load 15 P.S.F. dead load
Sleeping Rooms	30 P.S.F. live load 15 P.S.F. dead load
Second Floor Non-Sleeping	40 P.S.F. live load 15 P.S.F. dead load
Roof	30 P.S.F. live load
Roof Snow Load	30 P.S.F.
Wind Speed	115 M.P.H
Seismic Conditions by Zone	I
Weathering	Severe
Frost Depth	24"
Termites and Decay	yes
Winter Design Temperature	13 deg. F
Assumed Soil	2000 P.S.F.
Concrete Floor With Air:	
Basement	3500 P.S.I.
Garage	3500 P.S.I.

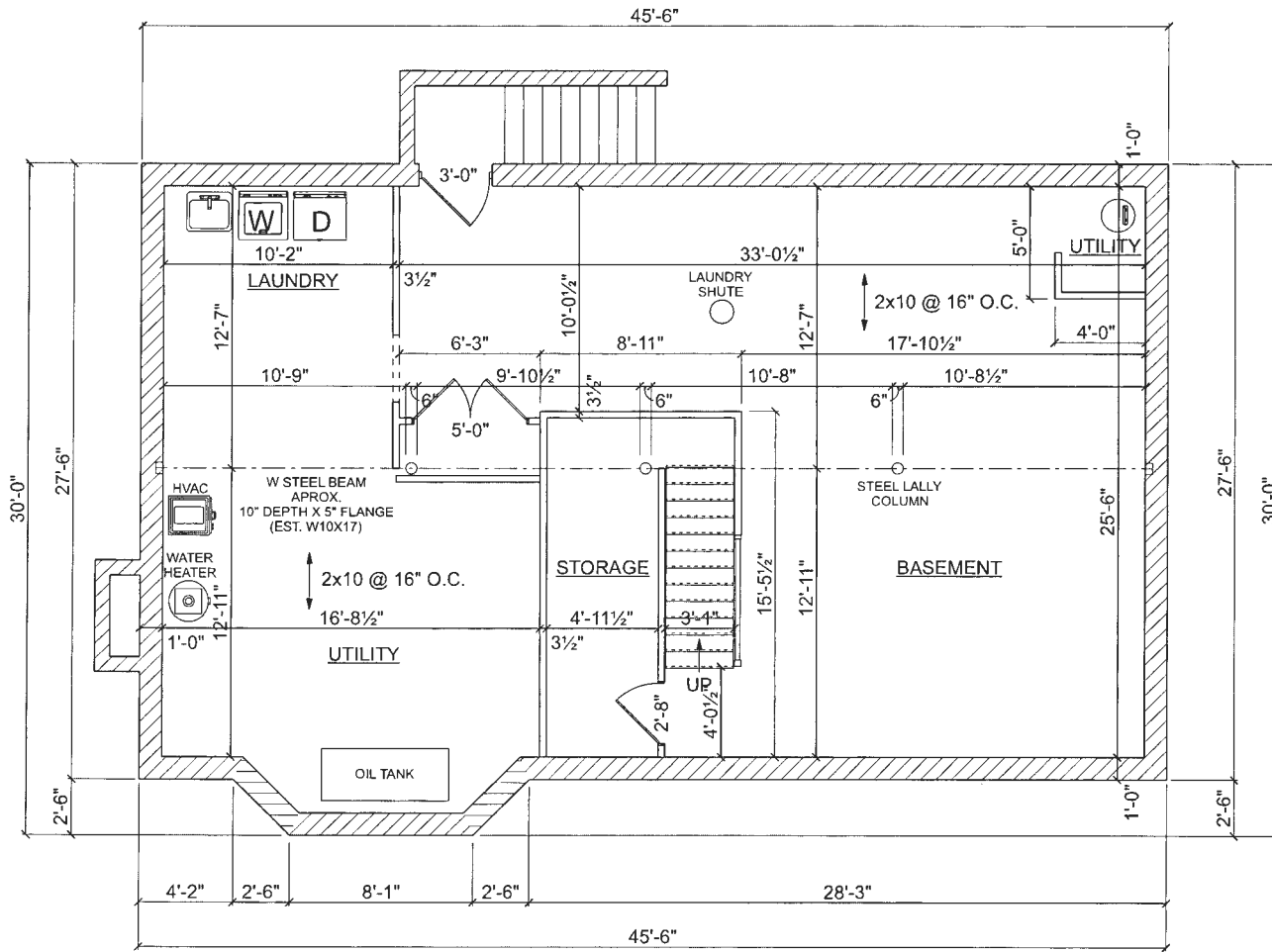
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Date: 5/6/2023

TITLE SHEET

Sheet Name
G-001

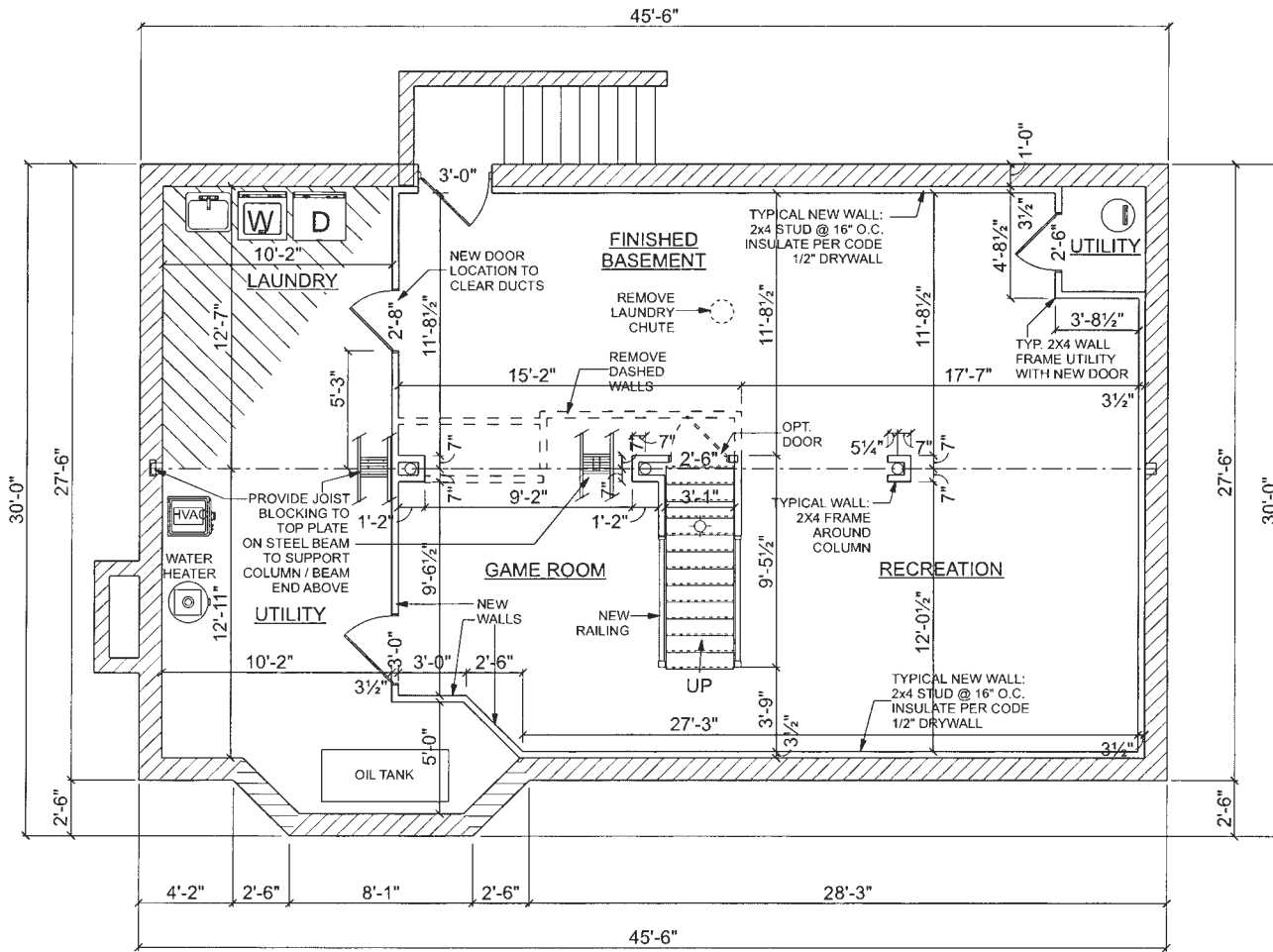
Sheet Number
1 of 7



LIVING AREA = 1134 S.F.

CONTRACTORS TO VERIFY ALL DIMENSIONS PRIOR TO ORDERING MATERIALS AND PRIOR TO CONSTRUCTION.

Wye Home Designs, LLC		P.O. Box 95 Queenstown, MD 21658	
Doug Gunn (410) 924-7856 dgunn@atlantibb.net			
Horowitz Remodel			
© 2023 Wye Home Designs, LLC			
Date:	5/6/2023	Scale:	3/16" = 1' 0"
Sheet Name		BASEMENT - EXISTING	
Sheet Number		A-101	
Sheet Number		2 of 7	

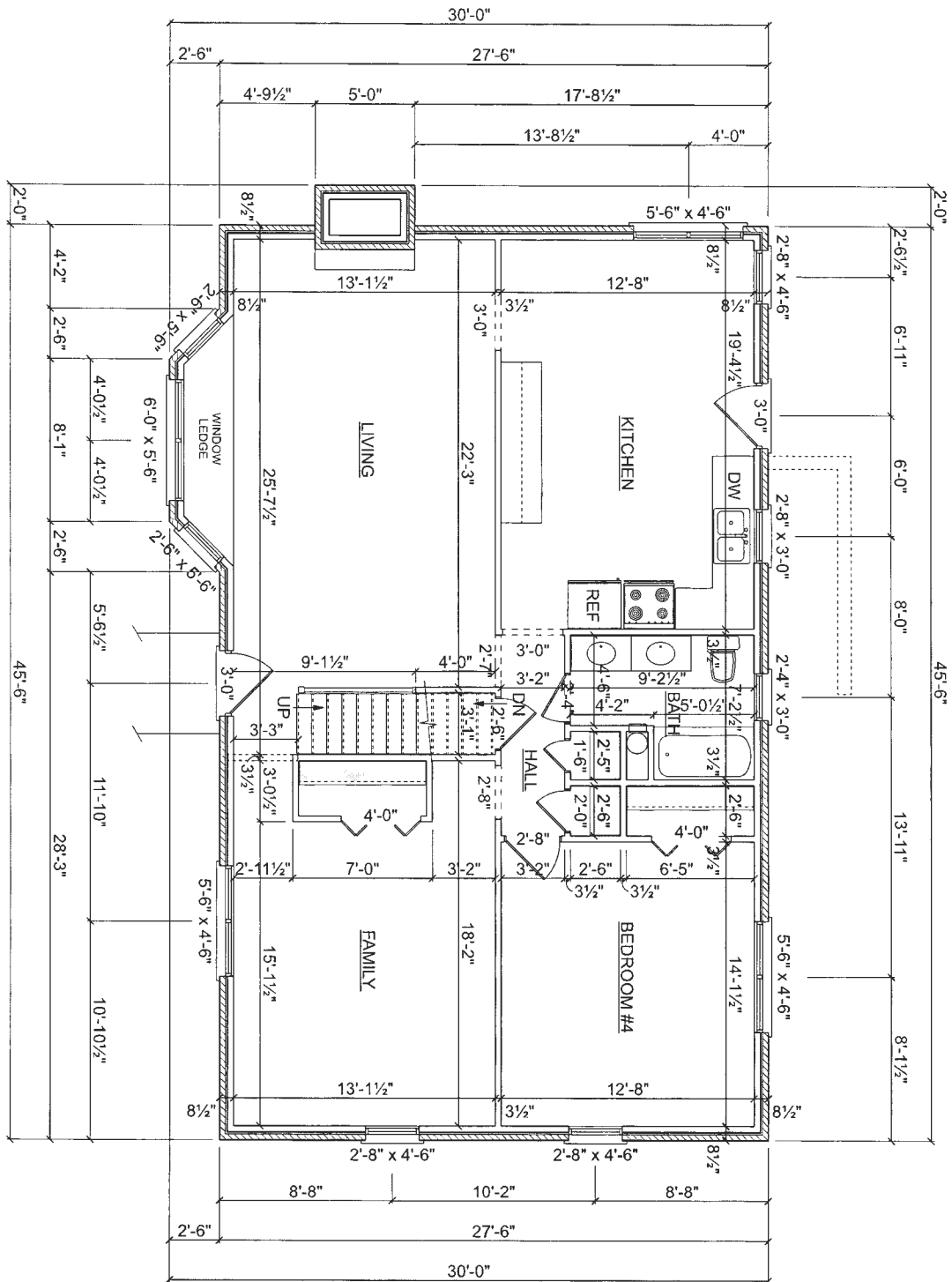


LIVING AREA = 1134 S.F.

CONTRACTORS TO VERIFY ALL DIMENSIONS PRIOR TO ORDERING MATERIALS AND PRIOR TO CONSTRUCTION.

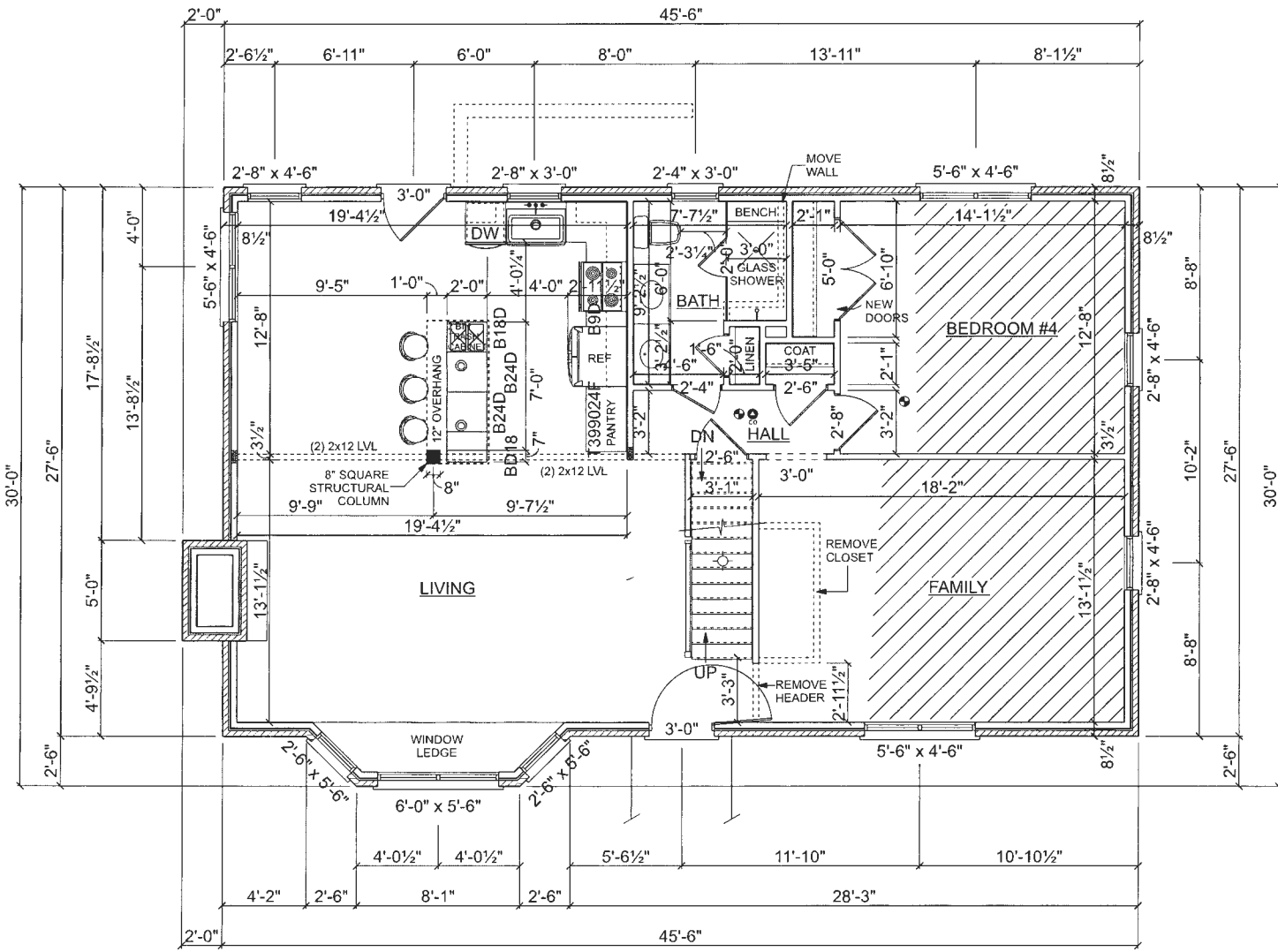
Wye Home Designs, LLC Doug Gunn (410) 924-7856 dgunn@atlanticcbb.net		P.O. Box 95 Queenstown, MD 21658	
Horowitz Remodel		© 2023 Wye Home Designs, LLC	
Date: 5/6/2023	Scale: 3/16" = 1' 0"	SHEET NAME BASEMENT - REMODEL	
SHEET NUMBER A-102		SHEET NUMBER 3 of 7	

CONTRACTORS TO VERIFY ALL DIMENSIONS PRIOR TO ORDERING MATERIALS AND PRIOR TO CONSTRUCTION.



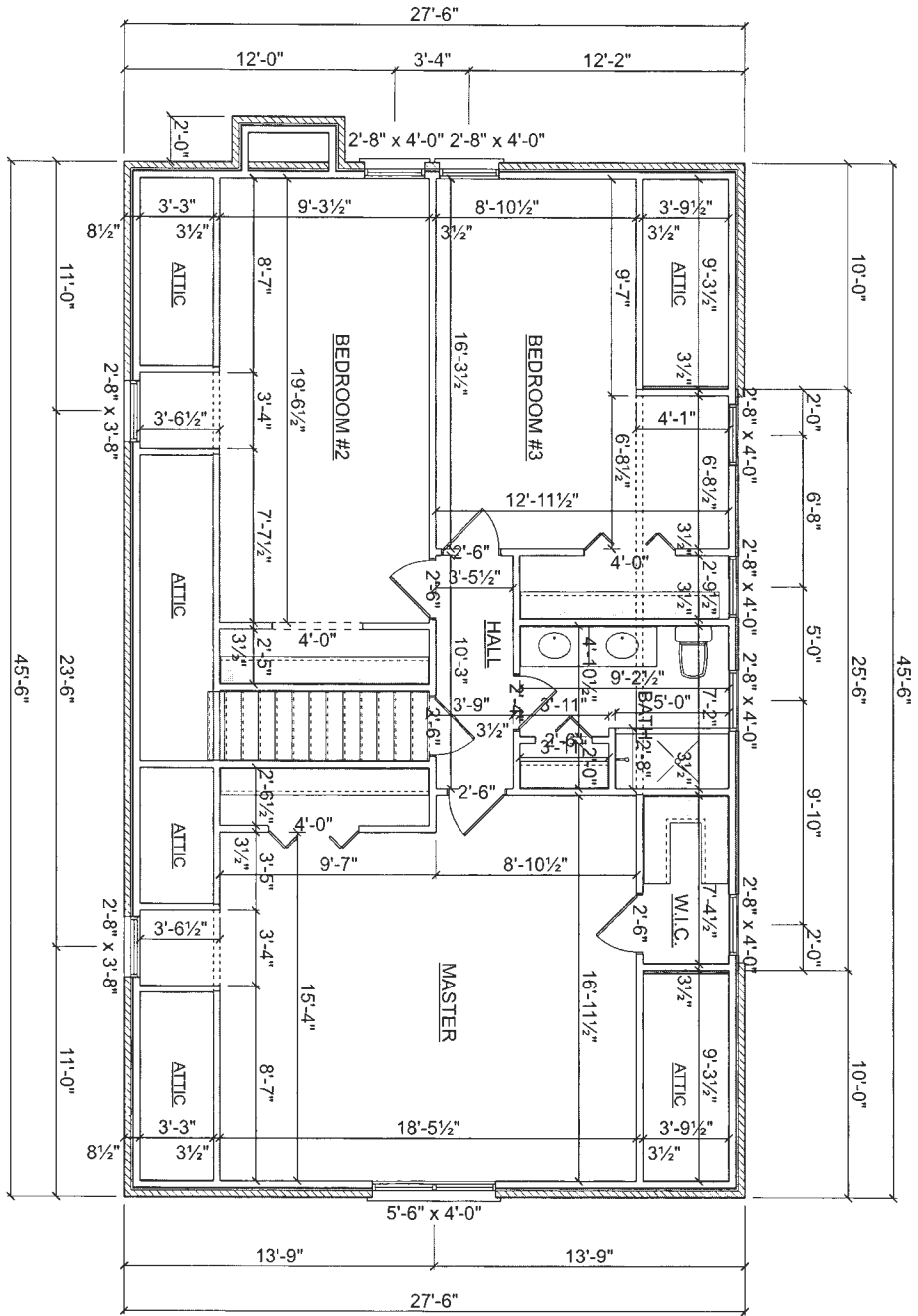
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Sheet Name A-103	Date: 5/6/2023	Scale: 3/16" = 1' 0"	Horowitz Remodel	Wye Home Designs, LLC	
	FIRST FLOOR - EXISTING			Doug Gunn (410) 924-7856 dgunn@atlanticbb.net	P.O. Box 95 Queenstown, MD 21658
Sheet Number 4 of 7	© 2023 Wye Home Designs, LLC				



Wye Home Designs, LLC Doug Gunn (410) 924-7856 dlgunn@atlantictbb.net		P.O. Box 95 Queenstown, MD 21658	
Horowitz Remodel		© 2023 Wye Home Designs, LLC	
Date: 5/6/2023	Scale: 3/16" = 1' 0"	FIRST FLOOR - REMODEL	
Sheet Name A-104		Sheet Number 5 of 7	

CONTRACTORS TO VERIFY ALL DIMENSIONS PRIOR TO ORDERING MATERIALS AND PRIOR TO CONSTRUCTION.



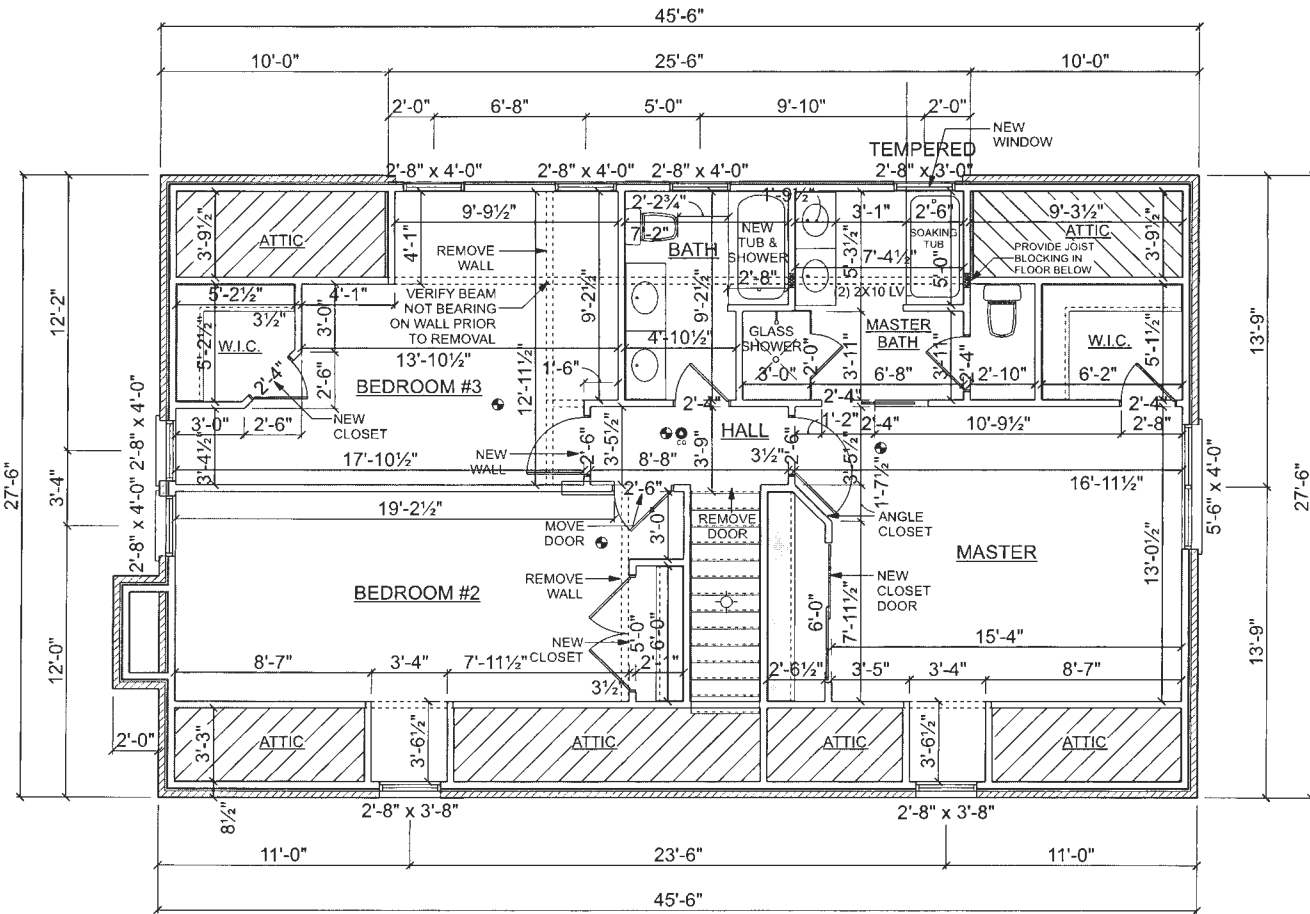
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Sheet Name
A-105
Sheet Number
6 of 7

Date: 5/6/2023
Scale: 3/16" = 1' 0"
SECOND FLOOR - EXISTING

Horowitz Remodel
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Wye Home Designs, LLC
Doug Gunn
(410) 924-7856
dgunn@atlanticbb.net
P.O. Box 95
Queenstown, MD 21658



LIVING AREA = 983 S.F.

CONTRACTORS TO VERIFY ALL DIMENSIONS PRIOR TO ORDERING MATERIALS AND PRIOR TO CONSTRUCTION.

<p>Wye Home Designs, LLC</p> <p>Doug Gunn (410) 924-7856 dgunn@atlanticbb.net</p> <p>P.O. Box 95 Queenstown, MD 21659</p>	
<p>Horowitz Remodel</p> <p>©2023 Wye Home Designs, LLC</p>	
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<p>Sheet Number: 7 of 7</p>	

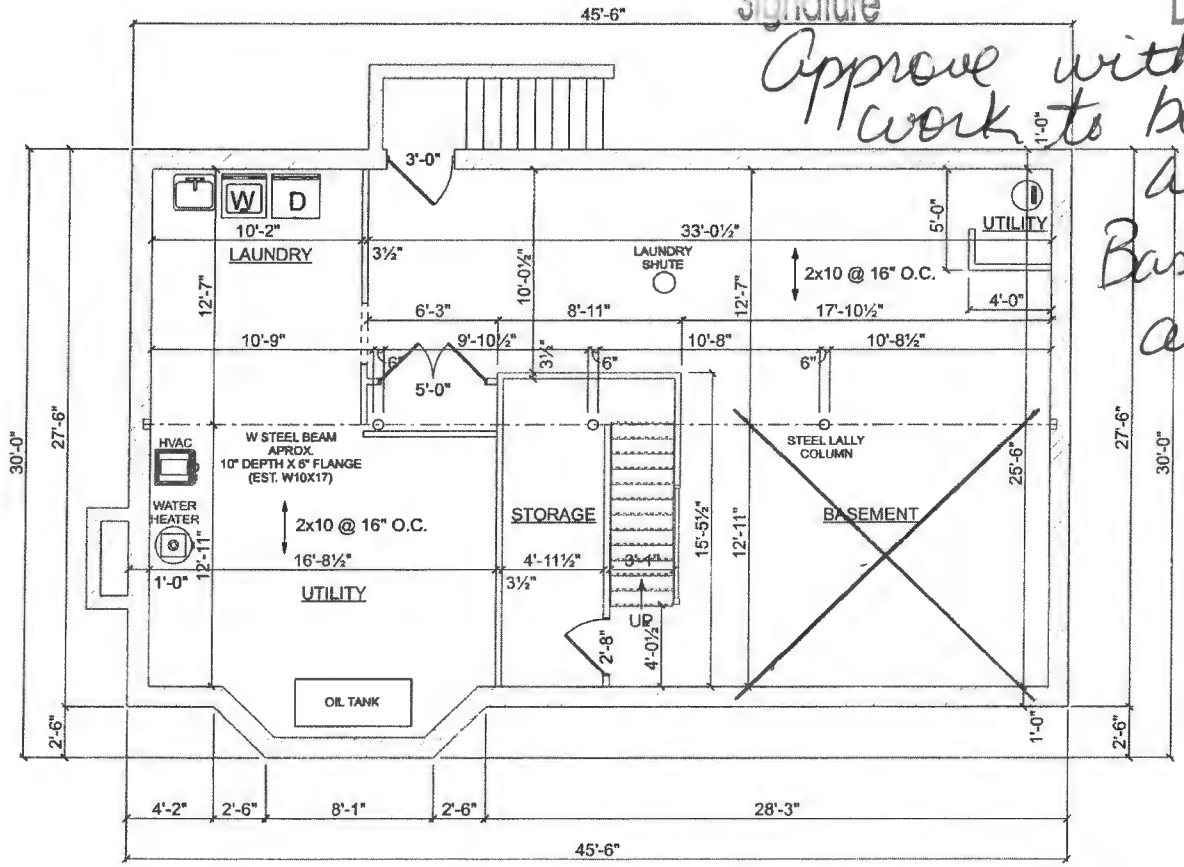
Approved Septic System Plan
Howard County Health Department

Barnerd
Signature

10-20-23
Date

Approve with no work to be completed within

Basement Area.



LIVING AREA = 1134 S.F.

Wye Home Designs, LLC
Doug Gunn
(410) 824-7856
dgunn@atlantichb.net

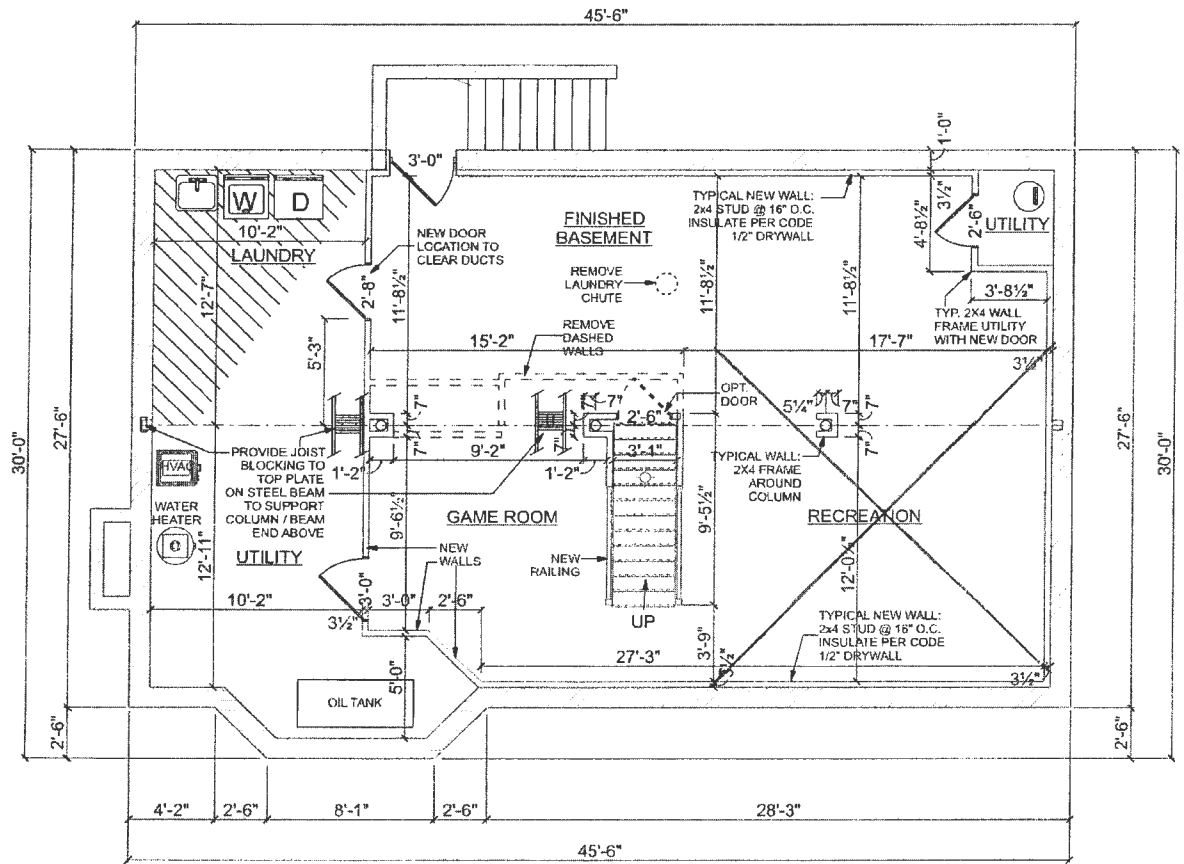
Horowitz Remodel

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Sheet Name:	BASEMENT - EXISTING		
Sheet Number:	A-101		
2 of 7			

CONTRACTORS TO VERIFY ALL DIMENSIONS PRIOR TO ORDERING MATERIALS AND PRIOR TO CONSTRUCTION.

No work to be done in basement



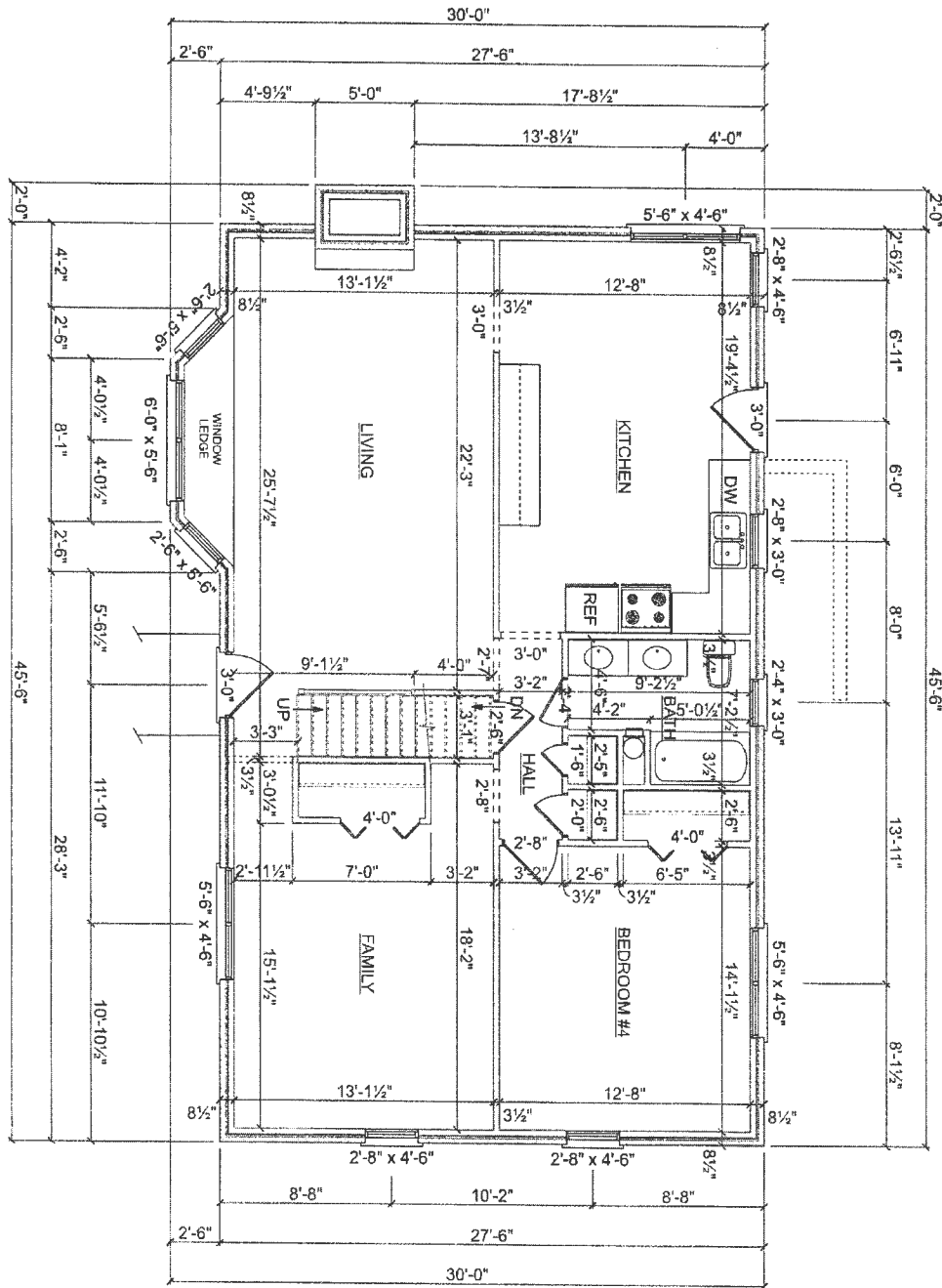
LIVING AREA = 1134 S.F.

No work to be done in basement

CONTRACTORS TO VERIFY ALL DIMENSIONS PRIOR TO ORDERING MATERIALS AND PRIOR TO CONSTRUCTION.

Wye Home Designs, LLC Doug Gunn (410) 924-7856 dgunn@atlantictb.net		P.O. Box 95 Queenstown, MD 21658	
Horowitz Remodel			
Date: 5/16/2023	Scale: 3/16" = 1' 0"	© 2023 Wye Home Designs, LLC	
Sheet Name: BASEMENT - REMODEL		Sheet Number: 3 of 7	

CONTRACTORS TO VERIFY ALL DIMENSIONS PRIOR TO ORDERING MATERIALS AND PRIOR TO CONSTRUCTION.



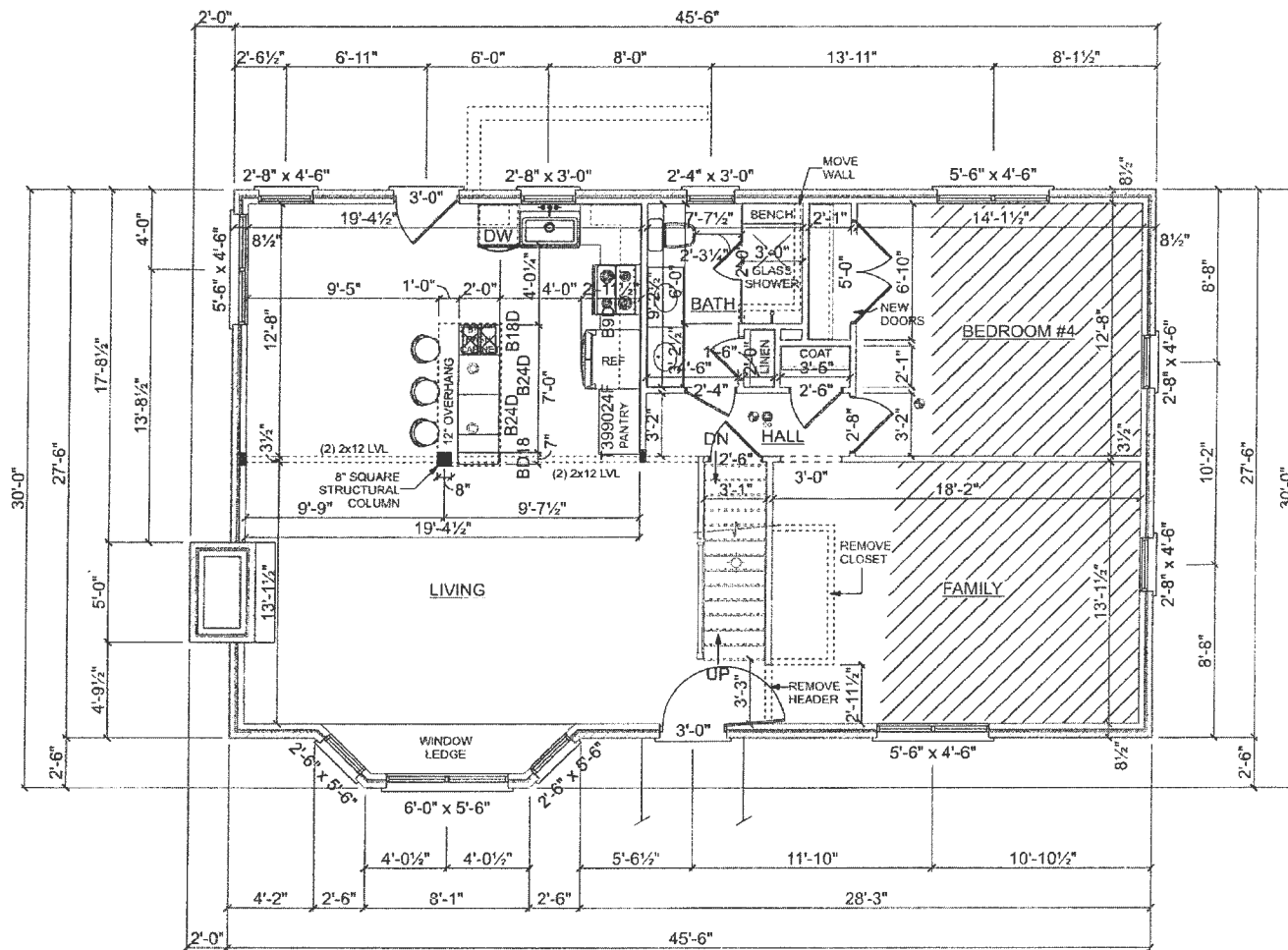
LIVING AREA = 1217 S.F.

Sheet Name
A-103
Sheet Number
4 of 7

Date: 5/6/2023
Scale: 3/16" = 1' 0"
FIRST FLOOR - EXISTING

Horowitz Remodel
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Wye Home Designs, LLC
Doug Gunn
(410) 824-7866
dgunn@atlantfcbb.net
P.O. Box 95
Queenstown, MD 21658

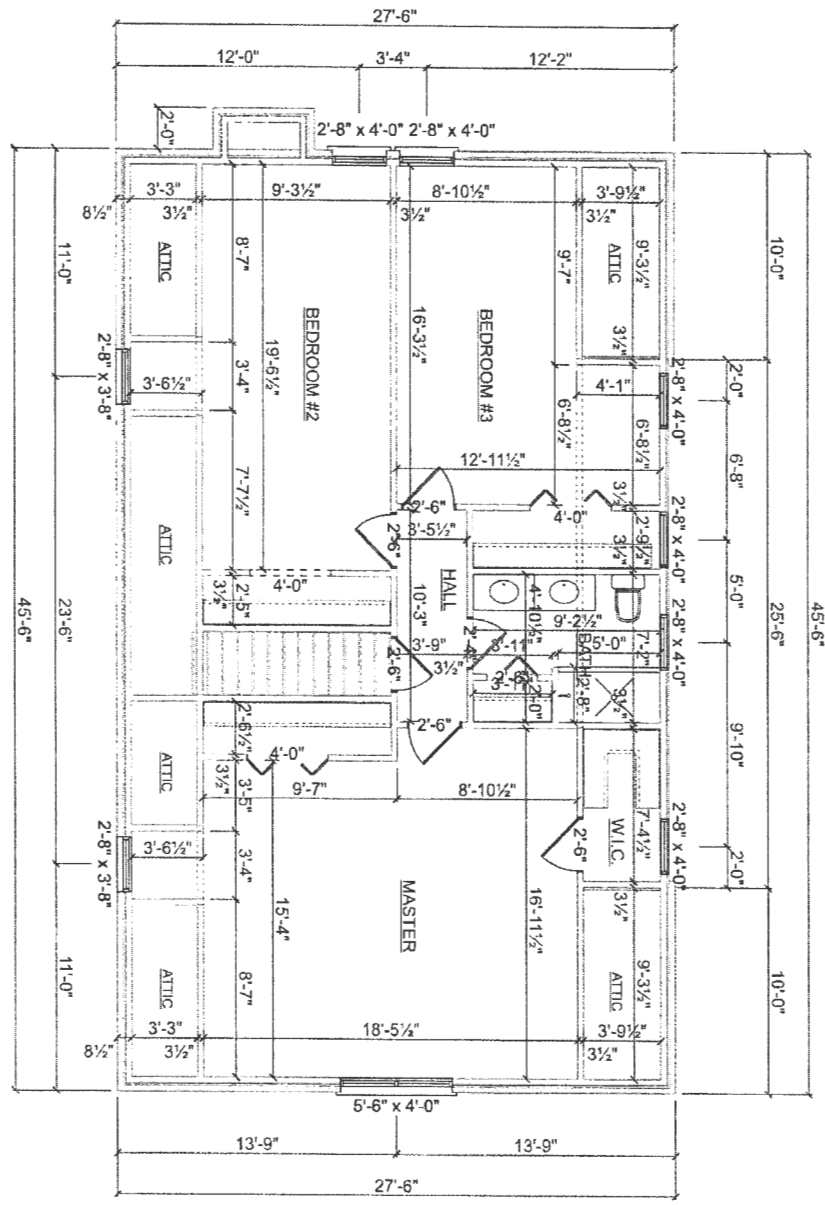


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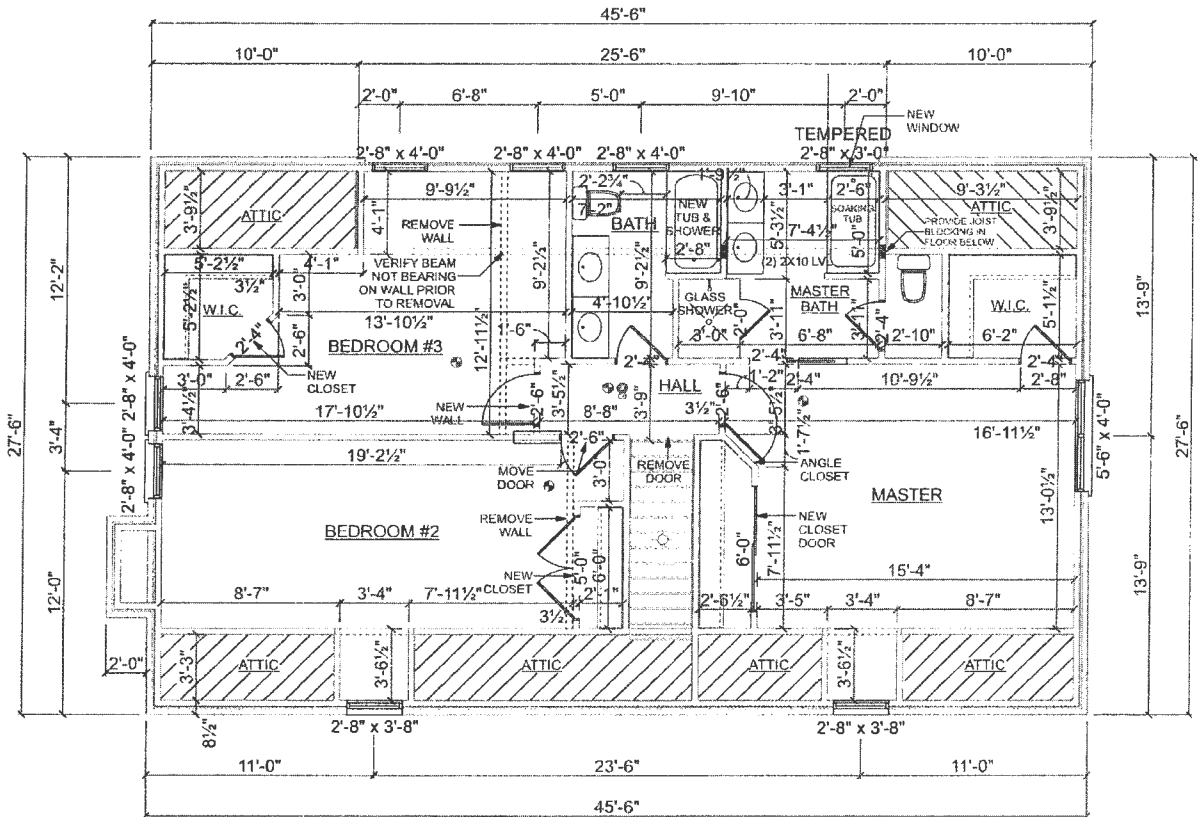
Horowitz Remodel © 2023 Wye Home Designs, LLC		Wye Home Designs, LLC Doug Gunn (410) 524-7856 dgunn@atlantictb.net	
Date: 5/6/2023	Scale: 3/16" = 1' 0"	P.O. Box 65 Queenstown, MD 21658	
Sheet Name: FIRST FLOOR - REMODEL		Sheet Number: 5 of 7	

CONTRACTORS TO VERIFY ALL DIMENSIONS PRIOR TO ORDERING MATERIALS AND PRIOR TO CONSTRUCTION.



LIVING AREA = 983 S.F.

Sheet Name: A-105 Second Floor 6 of 7	Date:	5/6/2023	Scale:	3/16" = 1' 0"	Horowitz Remodel © 2023 Wye Home Designs, LLC	Wye Home Designs, LLC Doug Gunn (410) 924-7856 dgunn@allianticbb.net		P.O. Box 95 Queenstown, MD 21658
	SECOND FLOOR - EXISTING							



LIVING AREA = 983 S.F.

CONTRACTORS TO VERIFY ALL DIMENSIONS PRIOR TO ORDERING MATERIALS AND PRIOR TO CONSTRUCTION.

Wye Home Designs, LLC
 Design Group
 (410) 924-7856
 alquinn@aiambobbb.net
 P.O. Box 85
 Queenstown, MD 21658

Horowitz Remodel

© 2023 Wye Home Designs, LLC

Date: 5/6/2023
 Scale: 3/16" = 1' 0"
 SECOND FLOOR - REMODEL

Sheet Name
A-106
 Sheet Number
7 of 7



Interior Remodel

8042 Old Montgomery Road
Ellicott city MD 21043

Area	Square Feet
Second Floor	983
First Floor	1,217
Basement	1,134
Total	3,334

5/6/2023

Wye Home Design, LLC

P.O. Box 93
Charmersville, MD 21038

Doc. Num.
(410) 824-7256
edesign@wyehome.com

Horowitz Remodel

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Roof	30 P.S.F. live load
Roof Snow Load	30 P.S.F.
Wind Speed	15 M.P.H.
Seismic Conditions by Zone	1
Roofing	Asvere
Frost Depth	24"
Termites and Decay	yes
Winter Design Temperature	13 deg. F
Assumed Soil	3000 P.S.F.
Concrete Floor w/1st Fl.	
Basement	3000 P.S.F.
Garage	3000 P.S.F.