

Record Detail \* (This section is required.)

Permit Type	Permit Number	Opened Date
Building/Residential/Misc/Tanks	B24001732	05/09/2024
Description of Work		
SFD/ Install (1) 1,000 gallon underground propane tank		
<a href="#">check spelling</a>		

triacdelphia to  
Ⓡ on Evergreen  
Ⓡ on Ordway

Address \* (This section is required.)

Search Reset Clear Get Parcel & Owner

Street #	Street Name	Street Type
2896	ORDWAY	DR
Unit Type	Unit #	X Coordinate
-Select-		-76.93059
		Y Coordinate
		39.29211
City	State	Zip Code
ELLCOTT CITY	MD	21042
	Primary	Yes

5/15/24 - revised plan is required - showing well & septic → also the lp tank site chosen is right over the septic line and will need to be relocated Ⓡ

Parcel \* (This section is required.)

Search Reset Clear Get Address & Owner

GIS ID	Parcel	Parcel Area	Land Value	Improved Value	Exemption Value	Plan Area
10736	314	6.98	24400	0	0	RURAL
Legal Description						
PAR 5 6.988 ACRES [ ]2896 ORDWAY DR [ ]WEST FRIENDSHIP						

[check spelling](#)

Block	Lot	Census Tract	Council Dist	Inspection Dist	Supervisor Dist	Map #	DAP Zone
	PAR 5	603000	5				
Plan Area	State Tax Id	Subdivision Name					
	1403288692						
Section	Area	Tax Map					
		16					
Grid	Zoning District	ADC Map					
16-13	RR-DEO	4814-B4					
SDP No.	Final Plan No.	WP File No.					
Record Plat No.	WS Contract No.	FDP No.					
Owner Occupied	Year Built	Historic District					
<input type="radio"/> Yes <input checked="" type="radio"/> No	0	<input type="radio"/> Yes <input checked="" type="radio"/> No					
Historic District Registry No.	Stat Area	Flood Plain					
	3-06A	<input type="radio"/> Yes <input checked="" type="radio"/> No					
Building No							

Approved 5/16/24  
[Signature]

Owner \* (This section is required.)

Search Reset Clear

Name \*  
ONYEV

Address Line 1  
15700 CAMBRIA COVE BLVD

Address Line 2

Address Line 3

Mail City  
MIDLOTHIAN

Mail State  
VA

Mail Zip Code  
23112

Phone  
202-436-0060

Primary  
Yes

E-mail

Cell Number      Fax Number

**Professionals** *(This section is not required.)*

**License # \*** 20100079809  
**License Type \*** Propane Gs  
**Primary** Yes  
**Business Name** MID ATLANTIC COOPERATIVE SOLUTIONS DBA AERO ENERGY  
**First Name** RICHARD      **Middle Name** THOMAS      **Last Name** JARCY  
**Address Line 1** 230 LINCOLN WAY EAST  
**Address Line 2**  
**City** NEW OXFORD      **State** PA      **ZIP Code** 17350-0000  
**Phone 1** 2406744592      **Phone 2** 717-624-5809      **Fax**  
**E-mail** RJARCY@AEROENERGY.COM

**Applicant** *(This section is not required.)*

Search    As Owner    As Lic. Prof    As Contact

**Type \*** Applicant  
**Relationship** Applicant  
**Primary** Yes  
**First Name** steve      **MI**      **Last Name** dannenfeldt  
**Full Name** steve dannenfeldt  
**Organization Name** Aero Energy  
**Street Address** 230 lincoln way East  
**Address Line 2**  
**City** New Oxford      **State** PA      **Zip Code** 17350  
**Phone** 717-577-5923      **Cell**      **Fax**  
**E-mail \*** sdannenfeldt@aeroenergy.com

**Addtl Info**

**Est Construction Cost \*** 8600      **Housing Units \*** 0      **Number of Buildings \*** 0      **Public Owned** No  
**Construction Type** 329 - Structures Other Than Buildings (Retaining Walls/Tents)

**TANK INFORMATION**

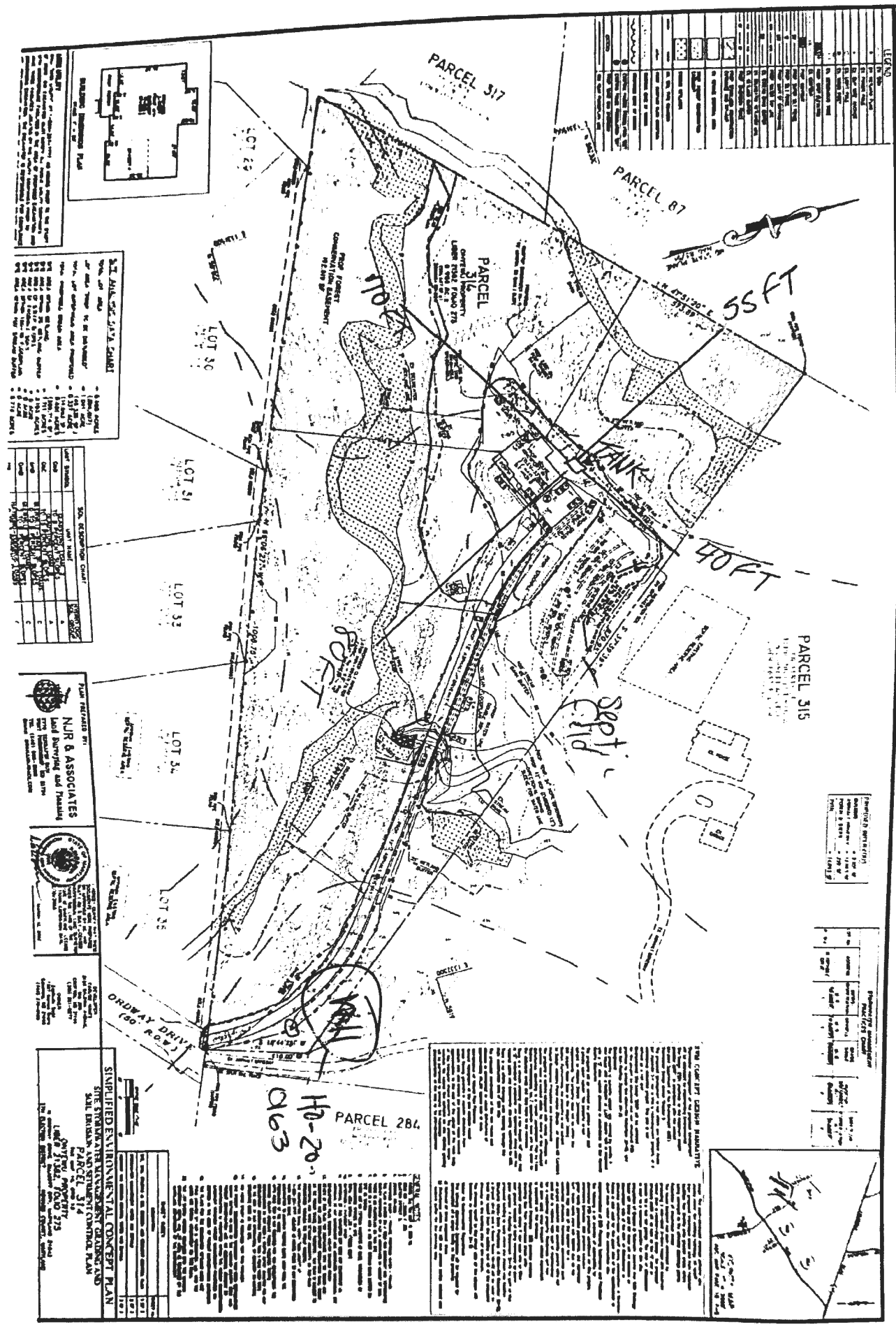
**RESIDENTIAL TANK INFORMATION**

**Capital Project-No Fee \***  Yes  No      **Capital Project Number** (Text)      **Fee Exempt \***  Yes  No      **Roadside Tree Project Permit \***  Yes  No      **Roadside Tree Permit #** (Text)  
**Existing Use \*** SFD      **Number of Tanks Installed \*** 1      **Number of Tanks Removed** 0 (Number)  
**Water Supply** Private      **Sewage Disposal** Private      **Expiration Date** 11/9/2024      **Relocate Existing Tank \*** 0 (Number)

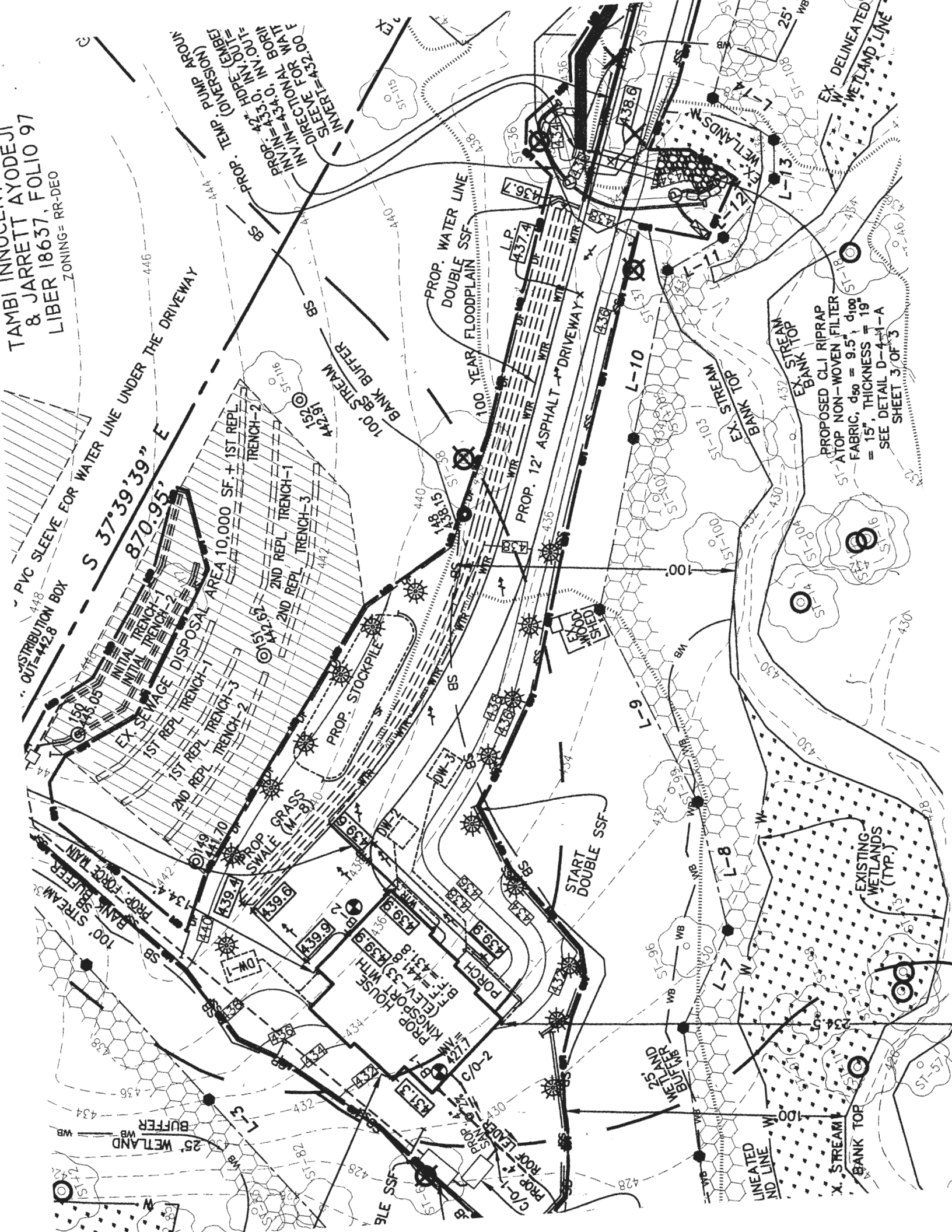
**Related Records**

Showing 1-5 of 6

Permit Number	Record Type Alias	Status	Number	Street Name	Opened Date	Description
B23003878	Residential New Single Family Dwelling Permit	Issued	2896	ORDWAY	09/20/2023	SFD/CUSTOM-KINGSPORT ELEV. 34, 2 STORY, F
E24001036	Residential Electrical New Home Permit	Issued	2896	ORDWAY	02/26/2024	Wire new 200 amp single family home B23003878
F24000192	Residential New-Addition SFD Sprinkler Permit	Issued	2896	ORDWAY	02/16/2024	INSTALL FIRE SPRINKLERS PER NFPA 13D - 59 I
M24000208	Residential HVAC New Permit	Issued	2896	ORDWAY	02/19/2024	NEW HVAC AND DUCTWORK GAS BY OTHERS 2
P23005322	Residential New Plumbing Permit	Issued	2896	ORDWAY	12/29/2023	NEW SFD, INSTALLING PLUMBING & GAS FIXTU



TAMBI INNOCE AYODEJI  
& JARRETT FOLIO 97  
LIBER 18637, RR-DEO  
ZONING= RR-DEO



PVC SLEEVE FOR WATER LINE UNDER THE DRIVEWAY  
S 37°39'39" E  
870.95' E

DISTRIBUTION BOX  
OUT=42.8

100' STREAM  
BANK SB BUFFER  
PROP. FORCE MAIN

25' WETLAND  
WB  
L-7

EX. SEWAGE DISPOSAL AREA 10,000 SF + 1ST REPL TRENCH-2  
1ST REPL TRENCH-1  
2ND REPL TRENCH-1  
2ND REPL TRENCH-2  
2ND REPL TRENCH-3  
PROP. STOCKPILE

PROP. HOUSE WITH KINGSPORT  
PORCH  
PROP. ROOF LEADER  
PROP. SWALE GRASS  
PROP. FORCE MAIN

100' STREAM  
BANK BUFFER  
PROP. WATER LINE  
DOUBLE SSF  
100 YEAR FLOODPLAIN  
PROP. 12' ASPHALT DRIVEWAY

EXISTING WETLANDS (TYP.)  
BANK TOP  
L-8  
L-9  
L-10  
L-11  
L-12  
L-13  
L-14

PROPOSED CL1 RIPRAP  
AT TOP NON-WOVEN FILTER  
FABRIC, d<sub>50</sub> = 9.5, d<sub>100</sub>  
= 15", THICKNESS = 19"  
SEE DETAIL D-4-A  
SHEET 3 OF 3

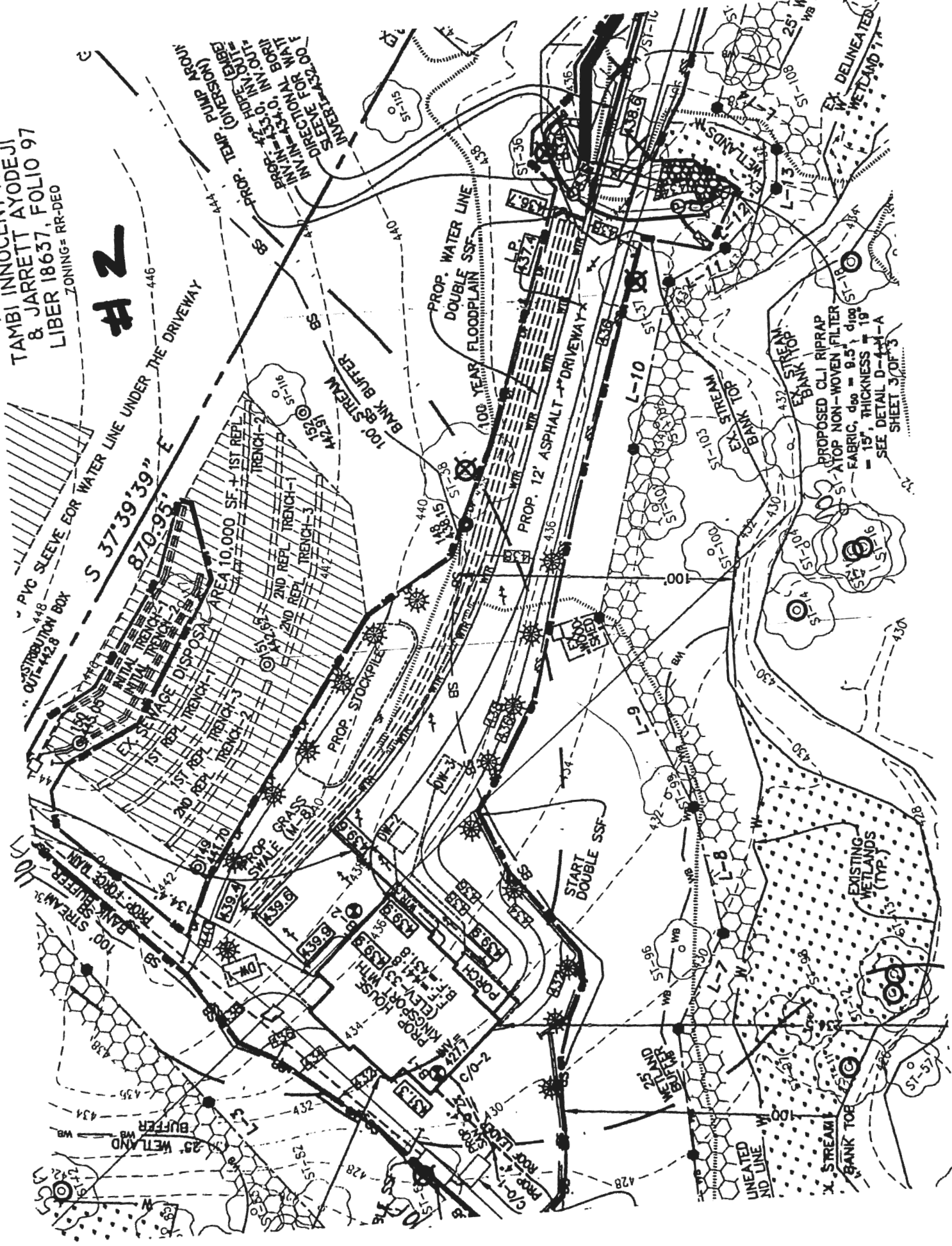
EX. DELINEATED WETLAND LINE



TAMBI INNOCENT MAINTA  
 & JARRETT AYODEJI  
 LIBER 18637, FOLIO 97  
 ZONING= RR-DEO

#2

Scanned with CamScanner



PROPOSED CL1 RIPRAP  
 ST-103 ATOP NON-WOVEN FILTER  
 FABRIC, d<sub>50</sub> = 9.5, d<sub>100</sub> = 19,  
 - 15", THICKNESS - 19"  
 SEE DETAIL D-441-A  
 SHEET 3 OF 3

PVC SLEEVE FOR WATER LINE UNDER THE DRIVEWAY  
 S 37°39'39" E  
 870.95'

INITIAL TRENCH-1  
 2ND REPL TRENCH-1  
 2ND REPL TRENCH-2  
 2ND REPL TRENCH-3  
 1ST REPL TRENCH-1  
 1ST REPL TRENCH-2  
 1ST REPL TRENCH-3

PROP. STOCKPILES  
 PROP. SWALE (M=2.0)  
 PROP. TRENCH-1  
 PROP. TRENCH-2  
 PROP. TRENCH-3

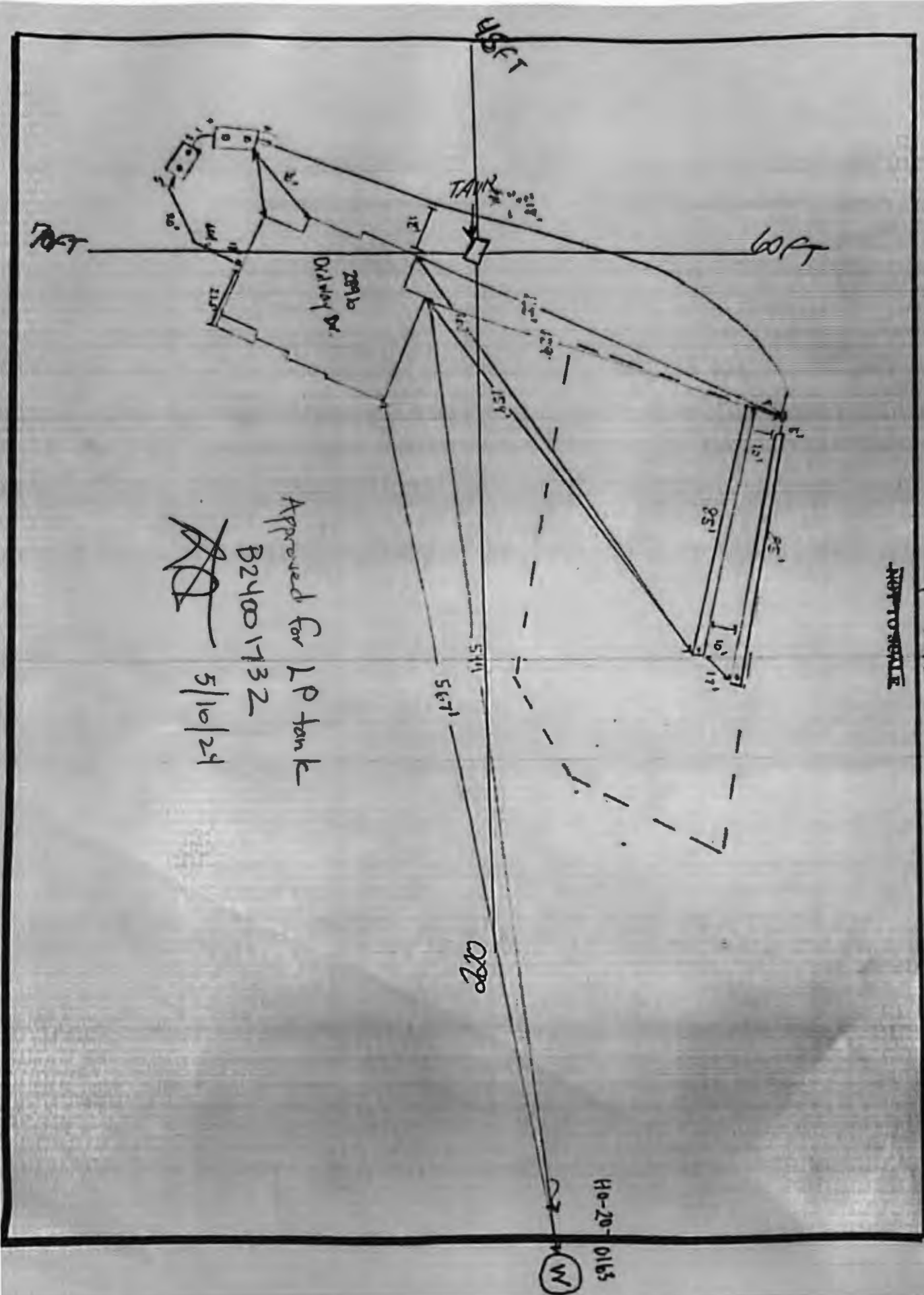
PROP. HOUSE  
 PROP. PORCH  
 PROP. DRIVEWAY  
 PROP. SHED

PROP. WATER LINE  
 DOUBLE SSF  
 100 YEAR FLOODPLAIN

100' STREAM  
 BANK BUFFER  
 EX. STREAM  
 BANK TOP  
 EX. STREAM  
 BANK TOP

EXISTING WETLANDS (TYP.)  
 EX. DELINEATED WETLAND TYP.

25' LAND WETLAND BUFFER  
 25' STREAM BANK TOE



1" = 90'  
 NOT TO SCALE

Approved for LP tank  
 B24001732  
 5/10/24

H0-20-0165  
 W

**Preston Hood**

---

**From:** David Frazier <dfrazier@aeroenergy.com>  
**Sent:** Monday, June 24, 2024 3:03 PM  
**To:** Preston Hood  
**Subject:** 2896 Ordway Dr

**CAUTION:** This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

---

This is in reference to a tank being installed before the Health Dept and DILP approved the permit. The tank is not installed over the sewer line. We agreed on tank location.

Best Regards,

David Frazier  
Aero Energy  
Commercial Fuels  
301-606-8052  
dfrazier@aeroenergy.com

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I Preston Hood with Carusa Homes  
agree on the tank location and I  
agree that it is not over the sewer  
line





Record Detail \* (This section is required.)

Permit Type Building/Residential/New/SFD Permit Number B23003878 Opened Date 09/20/2023  
 Description of Work SFD/CUSTOM-KINGSPOINT ELEV, 34, 2 STORY, Full Basement, Basement = Unfinished, 11R, 4FB, 1HB, 1FP, 2  
 ,Car Attached, 4BR, N/A, ENERGY METHOD = UA Alternative, null.FINISHED SF- 5950

[check spelling](#)

Online BP. w/ paper file  
 g8 10/3/23

Address \* (This section is required.)

Search Reset Clear Get Parcel & Owner  
 Street # 2896 Street Name ORDWAY Street Type DR  
 Unit Type -Select-- Unit # X Coordinate -76.93059 Y Coordinate 39.29211  
 City ELLICOTT CITY State MD Zip Code 21042 Primary Yes

Parcel \* (This section is required.)

Search Reset Clear Get Address & Owner  
 GIS ID 10736 Parcel 314 Parcel Area 6.98 Land Value 24400 Improved Value 0 Exemption Value 0 Plan Area RURAL  
 Legal Description PAR 5 6.988 ACRES [ 2896 ORDWAY DR ] WEST FRIENDSHIP

[check spelling](#)

Block Lot PAR 5 Census Tract 603000 Council Dist 5 Inspection Dist Supervisor Dist Map # DAP Zone  
 Plan Area State Tax Id 1403288692 Subdivision Name  
 Section Area Tax Map 16  
 Grid Zoning District RR-DEO ADC Map 4814-B4  
 SDP No. Final Plan No. WP File No.  
 Record Plat No. WS Contract No. FDP No. Primary Yes  
 Owner Occupied Year Built Historic District  
 Yes  No  Yes  No  
 Historic District Registry No. Stat Area 3-06A Flood Plain  
 Yes  No  
 Building No

Owner (This section is not required.)

Search Reset Clear  
 Name ONYEWU SAMUEL  
 Address Line 1 15700 CAMBRIA COVE BLVD  
 Address Line 2  
 Address Line 3  
 Mail City MIDLOTHIAN Mail State VA Mail Zip Code 23112  
 Phone 301-832-3018 Primary Yes  
 E-mail sconyewu@yahoo.com  
 Cell Number Fax Number



2 Bedrooms \* Full Basement \* Unfinished \* 11 No of Fireplaces \* 4 Type of Fireplace \* 1 Energy Code \* 2 Car Attached \* Subject to CB-76-2018 \*  
 4 Porch Deck \* N/A \* 1 Masonry & Prefab \* UA Alternative \*  
 W&S Fees Paid \* Water Supply \* Sewage Disposal \* Utilities \* Heating System \* Sprinkler System \* Affordable Housing Funding \*  
 Yes  No Private \* Private \* Electric \* Electric \* NFPA #13D \* N/A \*  
 1st Floor Width \* 1st Floor Depth \* 2nd Floor Width \* 2nd Floor Depth \* Basement Width \* Basement Depth \* Height \* Total Sq Ft \* Occ Sq Ft \* Roof \*  
 60 FT 58 FT 60 FT 58 FT 60 FT 32 FT FT 6675 SQFT 0 SQFT  
 Building Construction Type \* Footings \* Foundation Measurement \* Walls \* Plan Submittal \*  
 Conventional \* Electronically by Invitation from ProjectC \*  
 Location Survey Approval Date \* Road Frontage \* Expiration Date \* Additional Description Info \*  
 N/A \* 3/26/2024 \*  FINISHED SF- 5950 \*  
 U&O Issued On \* U & O Comments \*

[check spelling](#) [check spelling](#)

**GRADING INFORMATION**

Grading Permit No \* Grading Certification Required \* Grading Certification Received in DILP On \* Grading Certification Received in CID On \*  
 TBD  Yes  No

Grading Certification Comments \* Seasonal Surety Comments \*

[check spelling](#)

[check spelling](#)

Seasonal Grading Surety Depositor \* Driveway Apron Surety Depositor \* Stormwater Surety Depositor \*

**GREEN NEIGHBORHOOD INFORMATION**

Check List Points Goal \* Check List Points Achieved \* Date of Certification \*

**PRIVATE ON LOT SWM FACILITIES**

Green Roofs A1 \* Permeable Pavements A2 \* Reinforced Turf A3 \*  
 Yes  No  Yes  No  Yes  No

Disconnection of Rooftop Runoff N1 \* Disconnection of Non Rooftop Runoff N2 \* Sheetflow to Conservation Areas N3 \*  
 Yes  No  Yes  No  Yes  No

Rainwater Harvesting M1 \* Submerged Gravel Wetlands M2 \* Landscape Infiltration M3 \* Infiltration Berms M4 \*

Dry Wells M5 \* Micro Bioretention M6 \* Rain Gardens M7 \* Swales M8 \* Enhanced Filters M9 \* PSWM Certification Received in CID on \*

Submit Cancel

## Oswald, Hank

---

**From:** Oswald, Hank  
**Sent:** Tuesday, October 3, 2023 3:28 PM  
**To:** 'Gregory Phillips'  
**Cc:** 'htompkins@carusohomes.com'; roshannj@aol.com  
**Subject:** B23003878\_2896 Ordway Drive\_Gorss Alpha  
**Attachments:** GrossAlpha.pdf

Hi Greg:

Good afternoon. I just reviewed and approved the building permit for 2896 Ordway Drive. While looking through the file, I came across the letter regarding the Gross Alpha and Beta results (see attached). Do you know if follow-up samples were collected to determine what type of treatment will be required on the water supply? There does appear to be some room left in the sewage disposal area for a treatment trench (if necessary). I just wanted to make you aware of this.

Thanks,

Hank

Hank Oswald  
Licensed Environmental Health Specialist  
Bureau of Environmental Health  
Howard County Health Department  
8930 Stanford Blvd. Columbia, MD 21045  
(410) 313 - 1786  
[www.hchealth.org](http://www.hchealth.org)

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# 2021 IECC Energy Efficiency Certificate

**Building Details**

Address: 1100  
 City: 1100  
 State: 4100  
 Zip: 4100

**Building Information**

Year Built: 2012  
 Construction Type: U-Frame - SHDC  
 Heating System: U-Frame  
 Cooling System: U-Frame  
 Water Heating: U-Frame  
 Comments:

# Generated by Rescheck-Web Software Compliance Certificate

**Project:** KINGSPOINT MD1.075 - Cityview

**Project Info:**  
 Project Name: Kingspoint  
 Location: Anne Arundel County, Maryland  
 Construction Type: Single Family  
 Construction Code: 2012 IECC  
 Construction Year: 2012  
 Construction Method: 4 (Energy Model)

**Design/Construction:**  
 Design/Construction Firm: RESCHECK  
 Design/Construction Address: 1100 05 000  
 Design/Construction City: 1100 05 000  
 Design/Construction State: 1100 05 000

**General Notes:**  
 This certificate is generated by Rescheck-Web Software. It is not a substitute for a professional engineering or architectural seal. It is intended for informational purposes only. For more information, please contact Rescheck-Web Software at 1100 05 000.

**Envelope Assemblies**

Assembly	U-Value	R-Value	Area	U-Value	R-Value	Area	U-Value	R-Value	Area
Roof	0.08	12.50	1200	0.08	12.50	1200	0.08	12.50	1200
Walls	0.15	6.67	1000	0.15	6.67	1000	0.15	6.67	1000
Floors	0.10	10.00	800	0.10	10.00	800	0.10	10.00	800
Windows	0.30	3.33	200	0.30	3.33	200	0.30	3.33	200
Doors	0.25	4.00	100	0.25	4.00	100	0.25	4.00	100
Attic	0.05	20.00	1200	0.05	20.00	1200	0.05	20.00	1200
Basement	0.12	8.33	1000	0.12	8.33	1000	0.12	8.33	1000
Foundation	0.18	5.56	1000	0.18	5.56	1000	0.18	5.56	1000
Garage	0.10	10.00	800	0.10	10.00	800	0.10	10.00	800
Other	0.15	6.67	1000	0.15	6.67	1000	0.15	6.67	1000

Report Date: 07/17/23  
 Page: 1 of 2

# Additional Efficiency Packages

**Package 1: Energy Star**

Package	U-Value	R-Value	Area	U-Value	R-Value	Area	U-Value	R-Value	Area
Roof	0.08	12.50	1200	0.08	12.50	1200	0.08	12.50	1200
Walls	0.15	6.67	1000	0.15	6.67	1000	0.15	6.67	1000
Floors	0.10	10.00	800	0.10	10.00	800	0.10	10.00	800
Windows	0.30	3.33	200	0.30	3.33	200	0.30	3.33	200
Doors	0.25	4.00	100	0.25	4.00	100	0.25	4.00	100
Attic	0.05	20.00	1200	0.05	20.00	1200	0.05	20.00	1200
Basement	0.12	8.33	1000	0.12	8.33	1000	0.12	8.33	1000
Foundation	0.18	5.56	1000	0.18	5.56	1000	0.18	5.56	1000
Garage	0.10	10.00	800	0.10	10.00	800	0.10	10.00	800
Other	0.15	6.67	1000	0.15	6.67	1000	0.15	6.67	1000

Report Date: 07/17/23  
 Page: 1 of 2

Professional Certification

I hereby certify that these documents were prepared or reviewed by me, and that I am a duly licensed professional architect under the laws of the State of Maryland.

Date: 07/17/23

Signature: [Signature]

Stamp: [Professional Seal]

RESCHECK

Drawn: RC Date: 7-13-22

Checked: [Signature]

Project: CARUSO HOMES

Address: KINGSPOINT - MD1.075

Architecture Collaborative, Inc.

8534 Main Street Ellicott City, MD 21043

www.archcol.com

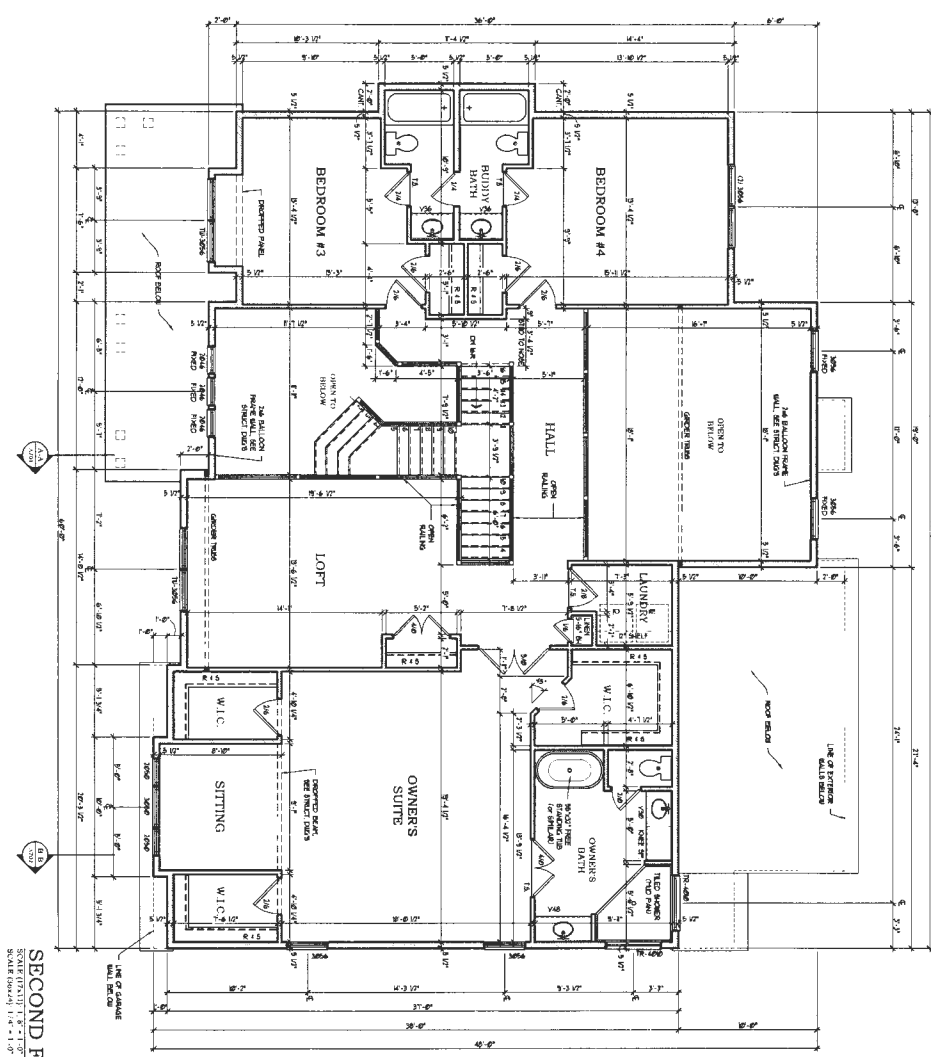
Tel.: (410) 465-7800 Fax: (410) 465-0903











**SECOND FLOOR PLAN**  
 SCALE: 1/8" = 1'-0"  
 SHEET NO. 101

DATE: 7/17/2013  
 TIME: 11:31 AM  
 PROJECT: CARUSO HOMES  
 SHEET: 101

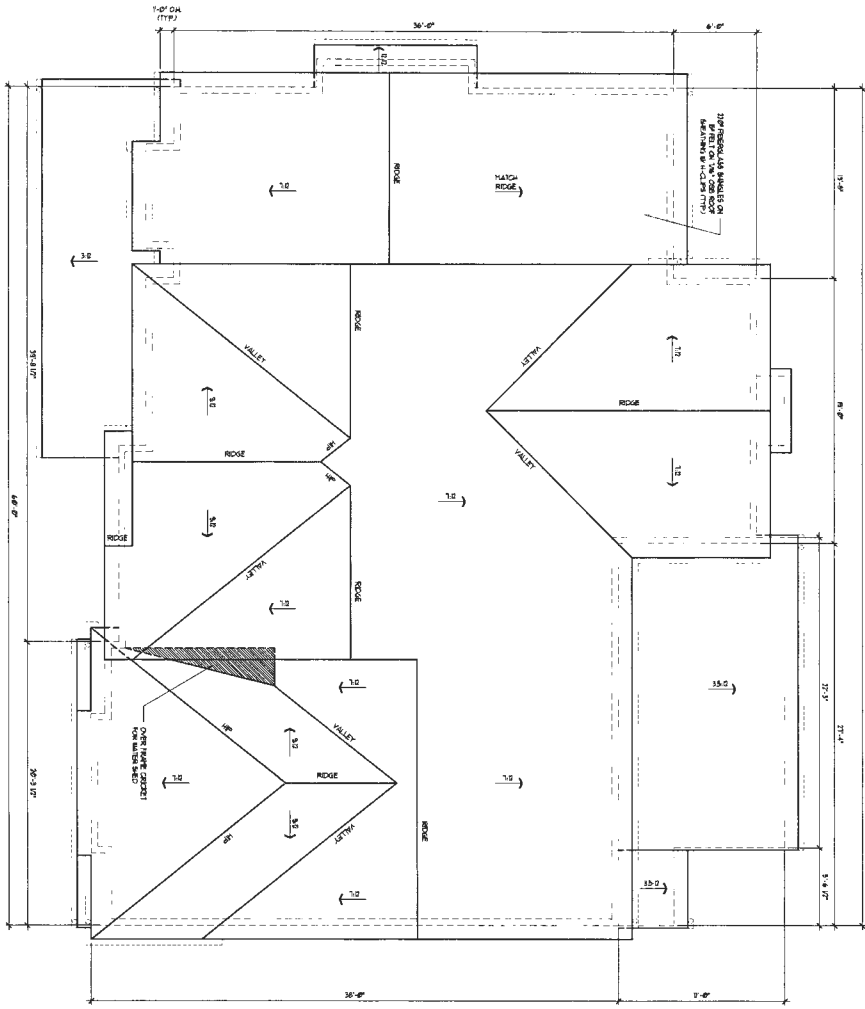
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**Professional Certification**  
 I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed architect in the State of Maryland.  
 License Number: 0000000000  
 Expiration Date: 00-00-0000

DATE	REVISION	BY	CONTENT

**SECOND FLOOR**  
 Scale: 1/8" = 1'-0" (Graphic) Title: A601  
 U.R.O. 1'-0" (Text) A601  
**CARUSO HOMES**  
 KINGSPOINT - MD1.075  
 Title: \_\_\_\_\_  
 Date: 70-18-22  
 Drawn: RC

**Architecture Collaborative, Inc.**  
 8334 Main Street Ellicott City, MD 21043  
 www.archcol.com  
 Tel: (410) 465-7500 Fax: (410) 465-0903



**SCHEMATIC ROOF PLAN**  
 SHEET 9 OF 10  
 SOUTH ELEVATION 1/4" = 1'-0"



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**Professional Certification**  
 I hereby certify that these documents were prepared or supervised by me, and that I am a duly licensed architect under the laws of the State of Maryland.  
 License number: MD 37623  
 Expiration date: 01-01-2025

date	revision	by

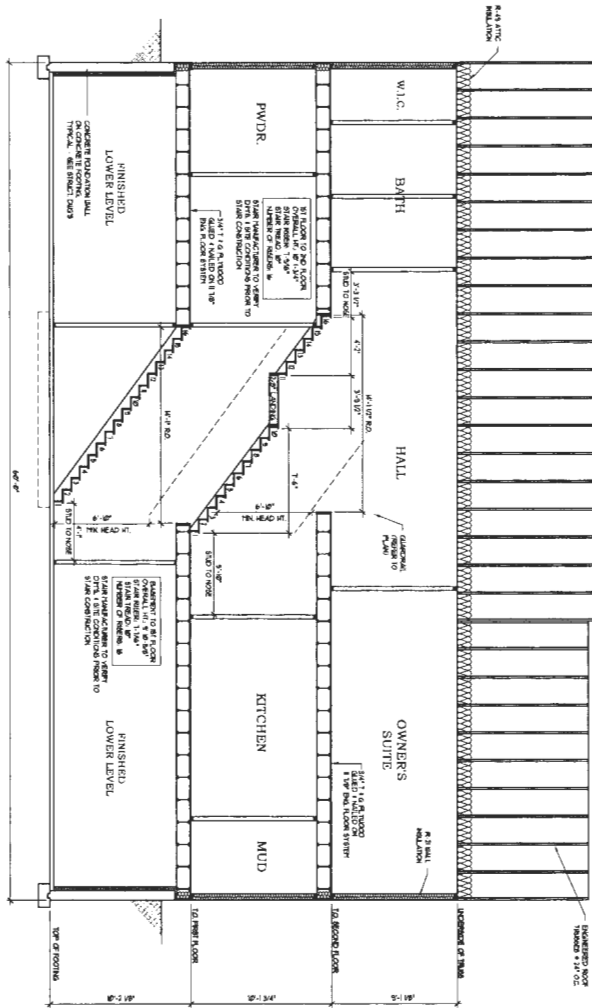
content: **ROOF PLAN**  
 scale: 1/4" = 1'-0" (ASAP) title: **CARUSO HOMES**  
 V.N.O. 1/4" = 1'-0" (1/4" = 1'-0") A602 drawn: RC date: 10-13-22  
 title: **KINGSPORT - MD1.075**

**Architecture Collaborative, Inc.**  
 8334 Wasm Street Ellicott City, MD 21043  
 www.archcol.com  
 Tel: (410) 465-7500 Fax: (410) 465-0903





BUILDING SECTION C-C  
SCALE: 1/4" = 1'-0"

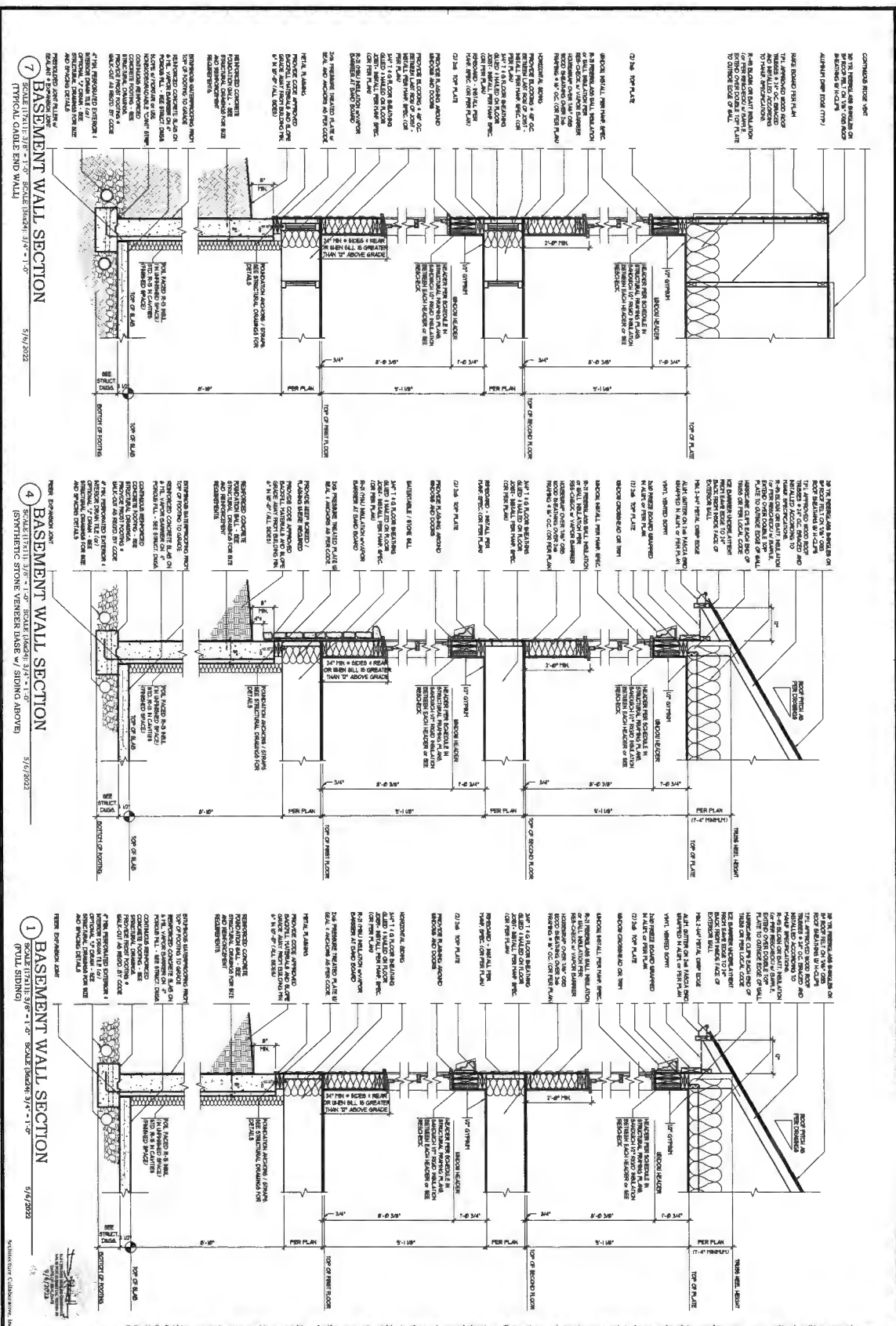


Architecture Collaborative, Inc. 10/20/20  
 David R. Robbins  
 Licensed Professional Engineer  
 No. 17000  
 State of Maryland

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Professional Certification	date	revision	by	content
I hereby certify that these documents were prepared or prepared by me, and I am a duly licensed professional engineer under the laws of the State of Maryland. license number: 17000 expiration date: 04-28-2024				SECTION C
	SHEET # A703			scale 1/4" = 1'-0" (94x22) file: 17211 U.S.D. 1/4" = 8" (17x11) A703 drawn: RC date: 10-13-22
<b>CARUSO HOMES</b> KINGSPOINT - MD1.075 title				

**Architecture Collaborative, Inc.**  
 8334 Main Street Ellicott City MD 21043  
 www.archcoll.com  
 Tel. (410) 465-7500 Fax (410) 465-0903



**7 BASEMENT WALL SECTION**  
 SCALE: 3/8" = 1'-0"  
 5/17/2022

**4 BASEMENT WALL SECTION**  
 SCALE: 3/8" = 1'-0"  
 5/17/2022

**1 BASEMENT WALL SECTION**  
 SCALE: 3/8" = 1'-0"  
 5/17/2022

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Professional Certification	DATE	REVISION	BY	CONTENT
I hereby certify that these drawings were prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer in the State of Maryland. License Number: <b>ME 17402</b> Expiration Date: <b>12/31/2023</b>				<b>WALL SECTIONS</b> Scale: 3/8" = 1'-0" Date: 10-13-22 Drawn: RC Checked: ABO1
				<b>CARUSO HOMES</b> Title: <b>KINGSPORT - MD1.075</b>

Architecture Collaborative, Inc.  
 8334 Main Street, Ellicott City, MD 21043  
 www.archcol.com  
 Tel: (410) 465-7500 Fax: (410) 465-0903