

Approved 12 6-3  
-H.O.

Record Detail \* (This section is required.)

<b>Permit Type</b>	<b>Permit Number</b>	<b>Opened Date</b>
Building/Residential/New/SFD	B23004609	11/21/2023

**Description of Work**  
 SFD/CUSTOM (1\_) STORY HOME, 2 CAR ATTACHED, 3 CAR DETACHED GARAGE, REAR PORCH, 1 STORY, Full Basement, Basement = Partially Finished, 12R, 3FB, 1HB, 1FP, 2 Car Attached, 4BR, Front Porch, ENERGY METHOD = Prescriptive Method, null.

[check spelling](#)

Online BP assigned to HO.  
g/s 11/29/23

Address \* (This section is required.)

Search Reset Clear Get Parcel & Owner

<b>Street #</b>	<b>Street Name</b>	<b>Street Type</b>
14850	OLD FREDERICK	RD
<b>Unit Type</b>	<b>Unit #</b>	<b>X Coordinate</b>
-Select-		-77.02921
		<b>Y Coordinate</b>
		39.33507
<b>City</b>	<b>State</b>	<b>Zip Code</b>
WOODBINE	MD	21797
	<b>Primary</b>	
	Yes	

Parcel \* (This section is required.)

Search Reset Clear Get Address & Owner

<b>GIS ID *</b>	<b>Parcel</b>	<b>Parcel Area</b>	<b>Land Value</b>	<b>Improved Value</b>	<b>Exemption Value</b>	<b>Plan Area</b>
829808	26	3.18	181300	181300	0	RURAL

**Legal Description**  
 LOT 4 3.18 A[ ]14850 OLD FREDERICK RD[ ]MINGLEWOOD RS LTS 1 & 2

[check spelling](#)

<b>Block</b>	<b>Lot</b>	<b>Census Tract</b>	<b>Council Dist</b>	<b>Inspection Dist</b>	<b>Supervisor Dist</b>	<b>Map #</b>	<b>DAP Zone</b>
	4	604001	5				
<b>Plan Area</b>	<b>State Tax Id</b>	<b>Subdivision Name</b>					
	1404369971	MINGLEWOOD					
<b>Section</b>	<b>Area</b>	<b>Tax Map</b>					
		8					
<b>Grid</b>	<b>Zoning District</b>	<b>ADC Map</b>					
8-10	RC-DEO	4692-F7					
<b>SDP No.</b>	<b>Final Plan No.</b>	<b>WP File No.</b>					
	F-01-176						
<b>Record Plat No.</b>	<b>WS Contract No.</b>	<b>FDP No.</b>	<b>Primary</b>				
17897			Yes				
<b>Owner Occupied</b>	<b>Year Built</b>	<b>Historic District</b>					
<input type="radio"/> Yes <input checked="" type="radio"/> No		<input type="radio"/> Yes <input checked="" type="radio"/> No					
<b>Historic District Registry No.</b>	<b>Stat Area</b>	<b>Flood Plain</b>					
	4-02	<input type="radio"/> Yes <input checked="" type="radio"/> No					
<b>Building No</b>							

Owner (This section is not required.)

Search Reset Clear

**Name \***  
 MELTON DAVID B

**Address Line 1**  
 4131 PEMBERTON CT

**Address Line 2**

**Address Line 3**

**Mail City**  
 ELLICOTT CITY

**Mail State**  
 MD

**Mail Zip Code**  
 21043

**Phone**  
 443-545-4468

**E-mail**

**Cell Number**

**Fax Number**

**Professionals** (This section is not required.)

**License # \***  
 378  
**Business Name**  
 ROBIN FORD BUILDING & REMODELING, INC.  
**License Type \***  
 Home Bldr  
**Primary**  
 Yes  
**First Name**  
 ROBIN  
**Middle Name**  
  
**Last Name**  
 FORD  
**Address Line 1**  
 2900 Shiloh Road  
**Address Line 2**  
  
**City**  
 Hampstead  
**State**  
 MD  
**ZIP Code**  
 21074  
**Phone 1**  
 4102398850  
**Phone 2**  
 4436902050  
**Fax**  
  
**E-mail**  
 rford@robinfordbuilding.com

**Applicant** (This section is not required.)

Search   
  As Owner   
  As Lic. Prof   
  As Contact

**Type \***  
 Applicant  
**Relationship**  
 Agent for Applicant  
**Primary**  
 No  
**First Name**  
 VICKY  
**MI**  
  
**Last Name**  
 MEYER  
**Full Name**  
 VICKY MEYER  
**Organization Name**  
 MARYLAND BUILDING PERMITS INC  
**Street Address**  
 1602 PINNACLE ROAD  
**Address Line 2**  
  
**City**  
 TOWSON  
**State**  
 MD  
**Zip Code**  
 21286  
**Phone**  
 410-296-6900  
**Cell**  
 443-250-3690  
**Fax**  
 410-296-7992  
**E-mail \***  
 mdbldgpermits@comcast.net

**Contact** (This section is not required.)

Search   
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**Addl Info**

**Est Construction Cost \***  
 700000  
**Housing Units \***  
 1  
**Number of Buildings \***  
 1  
**Public Owned**  
 No  
**Construction Type**  
 101 - Single Family Houses Detached

**BUILDING INFORMATION**

**BUILDING INFORMATION**

**Capital Project-No Fee \***   
  Yes  No  
**Capital Project #**  
  
**Fee Exempt \***   
  Yes  No  
**Roadside Tree Project Permit**   
  Yes  No  
**Roadside Tree Project Permit #**  
  
**Entrance Permit Req**   
  Yes  No  
**Guaranty Fund \***   
  Yes  No  
**Condominium**   
  Yes  No  
**Existing Use**  
 Vacant Lot  
**Model \***  
 SFD/CUSTOM (1\_) STORY HOME, 2 CAR ATTACHED, 3 CAR DETACHED GARAGE, F  
**No of Stories \***   
 **Foundation \***   
 **Basement**   
 **No of Rooms \***   
 **Full Baths \***   
 **Half Baths \***   
 **Other Structure**

1 Full Basement  Partially Finished  12  3 1 2 Car Attached  Subject to CB-76-2018   
**Bedrooms** \* **Porch Deck** **No of Fireplaces** \* **Type of Fireplace** **Energy Code**  
 4 Front Porch  1 Prefab  Prescriptive Method   
**W&S Fees Paid** **Water Supply** \* **Sewage Disposal** \* **Utilities** \* **Heating System** \* **Sprinkler System** \* **Affordable Housing Funding** \*  
 Yes  No Private  Private  Electric  Electric  NFPA #13D  N/A   
**1st Floor Width** **1st Floor Depth** **2nd Floor Width** **2nd Floor Depth** **Basement Width** **Basement Depth** **Height** **Total Sq Ft** \* **Occ Sq Ft** \* **Roof**  
 112 FT 52 FT FT FT 112 FT 52 FT FT 6716 SQFT 0 SQFT  
**Building Construction Type** **Footings** **Foundation Measurement** **Walls** **Plan Submittal**  
 Other - See Description of Work  -Select-  
**Location Survey Approval Date** **Road Frontage** **Expiration Date** **Additional Description Info**  
 County  5/27/2024   
**U&O Issued On** **U & O Comments**  
  
[check spelling](#) [check spelling](#)

**GRADING INFORMATION**

**Grading Permit No** \* **Grading Certification Required** **Grading Certification Received in DILP On** **Grading Certification Received in CID On**  
 G23000129  Yes  No    
**Grading Certification Comments** **Seasonal Surety Comments**  
[check spelling](#) [check spelling](#)

**Seasonal Grading Surety Depositor** **Driveway Apron Surety Depositor** **Stormwater Surety Depositor**

**GREEN NEIGHBORHOOD INFORMATION**

**Check List Points Goal** **Check List Points Achieved** **Date of Certification**

**PRIVATE ON LOT SWM FACILITIES**

**Green Roofs A1** **Permeable Pavements A2** **Reinforced Turf A3**  
 Yes  No  Yes  No  Yes  No  
**Disconnection of Rooftop Runoff N1** **Disconnection of Non Rooftop Runoff N2** **Sheetflow to Conservation Areas N3**  
 Yes  No  Yes  No  Yes  No  
**Rainwater Harvesting M1** **Submerged Gravel Wetlands M2** **Landscape Infiltration M3** **Infiltration Berms M4**  
**Dry Wells M5** **Micro Bioretention M6** **Rain Gardens M7** **Swailes M8** **Enhanced Filters M9** **PSWM Certification Received in CID on**

Submit Cancel

## Oswald Jr, Woodin

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**From:** Oswald Jr, Woodin  
**Sent:** Wednesday, December 6, 2023 1:59 PM  
**To:** 'Robin'  
**Cc:** Robin Ford  
**Subject:** RE: 14850 Old Fredrick Rd  
**Attachments:** bedroom defintion.pdf

Hi Robin,

Good afternoon. Thanks for getting back to me with these details. The definition of a bedroom (see attached) doesn't specify type of window, so it can be any size window. With that said, the Hobby room would count as a bedroom under this definition. Since the floor plan shows 5 bedrooms, and the septic system was designed for 5 bedrooms, the building permit can be approved. Thanks again for your time.

Should you have any questions, please don't hesitate to ask.

Regards,

Hank

Hank Oswald  
Licensed Environmental Health Specialist Bureau of Environmental Health Howard County Health Department  
8930 Stanford Blvd. Columbia, MD 21045  
(410) 313 - 1786  
[www.hchealth.org](http://www.hchealth.org)

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-----Original Message-----

From: Robin <[rford2424@hotmail.com](mailto:rford2424@hotmail.com)>  
Sent: Tuesday, December 5, 2023 1:06 PM  
To: Oswald Jr, Woodin <[hoswald@howardcountymd.gov](mailto:hoswald@howardcountymd.gov)>  
Cc: Robin Ford <[rford@robinfordbuilding.com](mailto:rford@robinfordbuilding.com)>  
Subject: 14850 Old Fredrick Rd

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

Hi

Sorry took me a bit to answer your questions 1. Area over garage is for storage it is not finished in any way . No insulation , no drywall , no plumbing . Will just have one light . No future finish 2. Hobby room in basement has a 32"

wide by 20" high hopper window . Doesn't meet egress . Wasn't intended to be bedroom , it's intent is hobby craft room  
3. We have it as three bed up and one in basement . But not sure how you all recognize the hobby room .

Thank You

Robin Ford,

Robin Ford Building & Remodeling, Inc.

SOUTHERN LIVING Custom Builder Program

## Oswald Jr, Woodin

---

**From:** Oswald Jr, Woodin  
**Sent:** Friday, December 1, 2023 11:04 AM  
**To:** rford@robinfordbuilding.com  
**Subject:** B23004609\_14850 Old Frederick Road\_Floor Plan Question  
**Attachments:** bedroom defintion.pdf

Hello Mr. Ford,

I have a couple of questions regarding the floor plans for 14850 Old Frederick Road. Will the area above the garage be finished living space? Does the garage have plumbing? Does the hobby room in the basement have any kind of window? If it does, it meets the definition of a bedroom under local code.

As it stands, I am seeing 5 bedrooms; 3 on the first floor and 2 bedrooms in the basement. I just want to make sure the # of bedrooms don't exceed the design of the septic system which is for 5 bedrooms.

Thank for your time.

Regards,

Hank

Hank Oswald  
Licensed Environmental Health Specialist  
Bureau of Environmental Health  
Howard County Health Department  
8930 Stanford Blvd. Columbia, MD 21045  
(410) 313 - 1786  
[www.hchealth.org](http://www.hchealth.org)

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## Oswald Jr, Woodin

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**Sent:** Tuesday, December 5, 2023 1:06 PM  
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**Cc:** Robin Ford  
**Subject:** 14850 Old Fredrick Rd

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Thank You

Robin Ford,  
Robin Ford Building & Remodeling, Inc.  
SOUTHERN LIVING Custom Builder Program

# THE MELTON RESIDENCE

## LOT 4 MINGLEWOOD

### OLD FREDERICK RD.

### WOODBINE MD, 21797

ALL CONSTRUCTION SHALL CONFORM WITH THE PROVISIONS OF THE 2021 INTERNATIONAL RESIDENTIAL CODE FOR ONE AND TWO FAMILY DWELLINGS.

GENERAL NOTES:	
ALL EXTERIOR WALLS TO BE 2x6 @ 16' O/C W/ DBL TOP PLATE AND 1/2" EXTERIOR SHEATHING U.N.O. EXTERIOR WALLS DIMENSIONED TO FACE OF SHEATHING & DO NOT INCLUDE BRICK VENEER & MAY DIFFER FROM FOUNDATION DIMENSIONS	
ALL INTERIOR BEARING PARTITIONS TO BE 2x4 @ 16' O/C W/ DOUBLE TOP PLATE U.N.O.	
ALL INTERIOR NON-BEARING PARTITIONS TO BE 2x4 @ 16' O/C W/ SINGLE TOP PLATE U.N.O.	
ALL WINDOW ROUGH OPENING HEIGHTS TO BE SET AT 6'-8" ABOVE SLAB	
ALL STRUCTURAL OPENINGS TO RECEIVE MINIMUM (2) 2X10 HEADERS W/ 1/2" OSB FLITCH W/ (1) JACK STUD AT EACH END UNLESS NOTED OTHERWISE.	
REFER TO FRAMING SUPPLIERS LAYOUT FOR BRACING DETAILS AND FRAMING INSTALLATION REQUIREMENTS.	
FRAMING SUPPLIER'S SHOP DRAWINGS SUPERSEDE FRAMING LAYOUT HEREIN SUGGESTED.	
PROVIDE SOLID BLOCKING AT ALL POINT LOADS CONTINUED TO FOUNDATION.	
PROVIDE ADEQUATE CLEARANCE AT PLUMBING STACKS AS REQUIRED.	

DESCRIPTION OF WORK:	
PROPOSED 1 STORY SINGLE FAMILY DWELLING WITH FINISHED BASEMENT. 15 TOTAL ROOMS; 4 BEDROOMS, 3 FULL BATHS, 1 HALF BATH, 2 CAR ATTACHED GARAGE, 1 GAS FIREPLACE, COVERED FRONT PORCH, COVERED REAR DECK AND 3 CAR DETACHED GARAGE. ALL TOTALING 6716 SQUARE FEET, ALL OF WHICH 4696 SQ.FT. IS OCCUPIABLE/ CONDITIONED	
ENERGY METHOD: PRESCRIPTIVE	
FOUNDATION DIMENSIONS: 86'-1.5"x68'-9" (86'-1.5"x79'-9" W/ DECK)	
FIRST FLOOR DIMENSIONS: 86'-1.5"x68'-9" (86'-1.5"x79'-9" W/ DECK)	

DRAWING INDEX	
PAGE #	PAGE DESCRIPTION
COVER	COVER SHEET
1	ELEVATIONS
2	ELEVATIONS
3	FOUNDATION PLAN
4	FINISHED BASEMENT PLAN
5	FIRST FLOOR PLAN
6	WALL BRACING LAYOUT
7	ROOF PLAN
8	DETACHED GARAGE ELEVATIONS
9	DETACHED GARAGE FLOOR PLAN, FND. & SECTION SECTIONS
10	SECTIONS
11	SECTIONS
12	NOTES & DETAILS
13	WALL BRACING DETAIL#

HATCH LEGEND:	
	NEW FOUNDATION WALL
	NEW FRAME WALL
	VINYL SIDING
	STONE VENEER
	30 YR ARCHITECTURAL SHINGLES

SQUARE FOOTAGE	
A GARAGE=	669 SQ. FT.
D GARAGE=	1080 SQ. FT.
PORCH=	163 SQ. FT.
DECK=	108 SQ. FT.
BASEMENT=	1718 SQ. FT.
FIRST FLOOR=	2690 SQ. FT.
SUNROOM=	288 SQ. FT.
TOTAL OCCUPIABLE/ CONDITIONED=	4696 SQ. FT.
TOTAL INCLUDING DECK, GARAGES, & PORCHES=	6716 SQ. FT.

## Prescriptive - ENERGY METHOD

ALL CONSTRUCTION SHALL CONFORM WITH THE PROVISIONS OF THE 2021 INTERNATIONAL RESIDENTIAL CODE FOR ONE AND TWO FAMILY DWELLINGS.

DESIGN LIVE LOADS:  
 FLOOR: 40 PSF  
 ROOFS: 40 PSF  
 SLEEPING AREAS: 30 PSF

FOUNDATIONS  
 FOOTINGS ARE DESIGNED FOR AN ALLOWABLE SOIL BEARING CAPACITY OF 2000 PSF. FOOTINGS SHALL BEAR ON NATURAL UNDISTURBED SOIL, 1'-0" BELOW ORIGINAL GRADE. THE BOTTOM OF EXTERIOR FOOTINGS SHALL BE A MINIMUM OF 2'-4" BELOW FINISHED GRADE. CONTRACTOR TO VERIFY THE ALLOWABLE SOIL PRESSURE IN THE FIELD. IF FOUND TO BE LESS THAN 2000 PSF, THE FOOTINGS WILL HAVE TO BE REDESIGNED.

CONCRETE  
 ALL CONCRETE WORK SHALL CONFORM TO THE LATEST APPROVED (BY LOCAL GOVERNMENT) EDITIONS OF THE FOLLOWING A.C.I. AND A.S.T.M. DOCUMENTS:  
 318-301 SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS  
 318-310 BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE  
 ALL CONCRETE, EXCEPT AS NOTED, SHALL BE (FC=3,000 PSI) STONE AGGREGATE CONCRETE AT 28 DAYS. ALL CONCRETE EXPOSED TO THE WEATHER SHALL BE AIR ENCLOSED.  
 SLABS ON GROUND SHALL BE 4" THICK CONCRETE REINFORCED WITH 6"x6" #14X@11.4" ON CENTER OVER 6 MIL POLYETHYLENE VAPOR BARRIER AND 4" WASHED GRAVEL UNLESS OTHERWISE NOTED.

MASONRY  
 ALL MASONRY CONSTRUCTION AND MATERIALS USED THEREIN (CONCRETE MASONRY, BRICK, BLOCK, MORTAR, GROUT AND STEEL REINFORCEMENT) SHALL CONFORM TO THE LATEST APPROVED (BY LOCAL GOVERNMENT) EDITIONS OF THE FOLLOWING A.C.I. AND A.S.T.M. DOCUMENTS:  
 530-301 SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS  
 530-310 BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE  
 ALL CONCRETE, EXCEPT AS NOTED, SHALL BE (FC=3,000 PSI) STONE AGGREGATE CONCRETE AT 28 DAYS. ALL CONCRETE EXPOSED TO THE WEATHER SHALL BE AIR ENCLOSED.  
 SLABS ON GROUND SHALL BE 4" THICK CONCRETE REINFORCED WITH 6"x6" #14X@11.4" ON CENTER OVER 6 MIL POLYETHYLENE VAPOR BARRIER AND 4" WASHED GRAVEL UNLESS OTHERWISE NOTED.

MASONRY BEARING WALLS SHALL CONSIST OF STANDARD HOLLOW UNITS CONFORMING TO ASTM C 90 UNLESS OTHERWISE NOTED. WHERE SOLID UNITS ARE REQUIRED, PROVIDE UNITS CONFORMING TO ASTM C 145.

MORTAR SHALL CONFORM TO THE REQUIREMENTS FOR PROPORTIONS, MIXING, STRENGTH AND APPLICATION FOR PORTLAND CEMENT/LIME TYPE "S" MORTAR AS DESCRIBED IN ACI 530-42.

GROUT FILL IN MASONRY WALLS SHALL CONFORM TO ASTM C 476. SLUMP RANGE SHALL BE 3"-5". PLACE GROUT IN 5'-0" MAXIMUM POUR HEIGHTS AND CONSOLIDATE BY MECHANICAL VIBRATION.

ROOFING  
 PROVIDE 2" DEPTH OF 100% SOLID MASONRY BELOW ALL JOIST OR SLAB BEARING LINES. PROVIDE 16" HIGH X 16" LONG 100% SOLID MASONRY BELOW ALL LINTELS AND BEAMS UNLESS NOTED OTHERWISE.

MASONRY WALLS SHALL BE REINFORCED WITH NO. 4 SAGE TRUSS TYPE ANCHORS. PROVIDE DUR-O-WALL SPACED VERTICALLY AT 16' O.C. UNO. LAP ALL DUR-O-WALL ANCHORS AT LEAST 6 BAR LENGTHS. PROVIDE CORNER AND TEE PIECES AT ALL INTERSECTIONS.

DOOR LINTELS FOR MASONRY WALLS SHALL BE FOR EACH 4' WIDTH OF MASONRY ONE LINTEL ANGLE AS FOLLOWS:  
 0'-0" TO 3'-0" 3-1/2" X 3-1/2" X 5/16"  
 3'-1" TO 3'-0" 4" X 3-1/2" X 5/16"  
 3'-1" TO 3'-6" 5" X 3-1/2" X 3/8"  
 3'-7" TO 3'-0" 6" X 3-1/2" X 3/8"

L ANGLE SHALL HAVE THEIR SHORT LEGS OUTSTANDING AND 6" MINIMUM BEARING.

STRUCTURAL STEEL  
 ALL STRUCTURAL STEEL SHALL CONFORM TO ASTM SPECIFICATION A-36 (LATEST LOCAL APPROVED). ALL STEEL SHALL BE DETAILED, FABRICATED, AND ERECTED IN ACCORDANCE WITH THE AISC MANUAL, AISC SPECIFICATION AND AISC CODE OF STANDARD PRACTICE.

WELDED CONNECTIONS SHALL BE DONE WITH E70XX ELECTRODES. SHOP AND FIELD WELDS SHALL BE MADE BY APPROVED CERTIFIED WELDERS AND SHALL CONFORM TO THE AMERICAN WELDING SOCIETY CODE FOR BUILDINGS AND D1.1. WELDS SHALL BE MADE TO DEVELOPE THE FULL STRENGTH OF MATERIALS BEING WELDED UNLESS OTHERWISE NOTED.

WOOD  
 ALL STRUCTURAL SOLID WOOD RAFTERS, JOISTS, BEAMS AND STUDS SHALL BE HEM FIR #2 OR SPRUCE PINE FIR #2 SURFACED DRY AT A MAXIMUM OF 14% MOISTURE CONTENT. ALL LUMBER EXPOSED TO WEATHER SHALL BE DESIGN TREATED SOUTHERN PINE #2. ALL FABRICATION, ERECTION, OTHER PROCEDURES, AND MINIMUM UNIT STRESSES SHALL CONFORM TO THE CURRENT NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION.

WOOD TRUSSES SHALL BE DESIGNED, FABRICATED AND ERECTED IN ACCORDANCE WITH THE NATIONAL DESIGN STANDARD FOR METAL PLATE CONNECTED WOOD TRUSS CONSTRUCTION (ANSI/TPI 1) AND COMMENTARY AND RECOMMENDATIONS FOR BRACING, INSTALLING AND BRACING METAL PLATE CONNECTED WOOD TRUSSES (HIB-1) AS PUBLISHED BY THE TRUSS PLATE INSTITUTE AND IN ACCORDANCE WITH THE 1991 EDITION OF THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION.

WOOD TRUSSES AND ENGINEERED FLOOR JOISTS ARE TO BE DESIGNED BY THE ENGINEER. SHOP DRAWINGS SHALL BE SUBMITTED TO THE ENGINEER/ARCHITECT FOR REVIEW. ALL TRUSSES AND JOISTS SHALL BE DESIGNED TO LIMIT THE BEARING STRESS TO 4250 PSI WHEN MEMBERS BEAR ON STUD WALLS. PROVIDE MEMBERS OF ADEQUATE STRENGTH OR METAL CONNECTIONS TO LIMIT STRESSES TO THE SPECIFIED VALUE.

LAMINATED VENEER LUMBER (LVL) OR PARALLEL STRAND LUMBER (PSL) SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES: F=2600psi, Fv=285psi, E=1,900,000psi, I=2810psi(PARALLEL), Fc=150psi(PERPENDICULAR).

DOUBLE MEMBERS SHALL BE NAILED TOGETHER WITH 2 ROWS OF 16d NAILS SPACED AT 12" O.C. ALL TRIPLE MEMBERS SHALL BE NAILED TOGETHER WITH 3 ROWS OF 16d NAILS SPACED AT 12" O.C. NAILED FROM EACH SIDE.

PROVIDE DOUBLE JOISTS AT PARALLEL PARTITIONS WHERE PARTITION LENGTH EXCEEDS 1/3 JOIST SPAN.

NAILS ARE TO BE COMMON WIRE NAILS. NAILING OF ALL FRAMING SHALL BE AS SPECIFIED IN THE CONTRACT DOCUMENTS BUT IN NO CASE SHALL BE LESS THAN THE RECOMMENDED NAILING SCHEDULE CONTAINED IN THE 2000 INTERNATIONAL RESIDENTIAL CODE. ALL MULTIPLE STUD POSTS ARE TO BE NAILED TOGETHER WITH 12d NAILS @ 6" O.C. STAGGERED.

BRIDGING  
 PROVIDE BRIDGING SPACED AT 48" O.C. IN FIRST TWO JOIST, RAFTER OR TRUSS SPACES WHEN FRAMING IS PARALLEL TO EXTERIOR WALL. NAIL SHEATHING (FLOOR, CEILING OR ROOF) TO BRIDGING AND NAIL BRIDGING TO EXTERIOR WALL PLATE. PROVIDE ONE ROW OF BRIDGING BETWEEN ALL FLOOR AND ROOF JOISTS FOR EACH 8'-0" OF SPAN. PROVIDE SOLID BLOCKING OR A CONTINUOUS RIM JOIST AT THE BEARING OF JOISTS, RAFTERS OR TRUSSES ON WOOD PLATES.

PROVIDE THE FOLLOWING JAMB STUDS AT ALL BEARING WALL OPENINGS UNLESS NOTED OTHERWISE:  
 3'-0" OPENING 1 JACK STUD, 1 KING STUD  
 4'-0" OPENING 2 JACK STUDS, 1 KING STUD  
 5'-0" OPENING 2 JACK STUDS, 2 KING STUDS

PROVIDE DOUBLE STUDS AT ALL CORNERS AND BENEATH ALL GIRDER TRUSSES AND ROOF BEAMS UNLESS NOTED OTHERWISE ON PLANS. WOOD BEAMS, GIRDER TRUSSES AND HEADERS SHALL BEAR THE FULL DEPTH OF POSTS AND JACK STUDS.

POSTS (MULTIPLE STUDS OR SOLID POST) SUPPORTING BEAMS, WALL HEADERS OR GIRDER TRUSSES, SHALL BE BLOCKED SOLID FOR THE FULL LENGTH AND WIDTH OF STUDS AT ALL INTERSECTIONS WITH FLOORS AS REQUIRED TO PROVIDE CONTINUOUS SUPPORT TO TOP OF FOUNDATION WALLS OR BEAMS. POSTS SHOWN ON UPPER LEVELS FLOORS SHALL ALSO BE INSTALLED ON THE LOWER LEVELS IN LINE WITH THE POST ABOVE DOWN TO FOUNDATION WALLS OR BEAMS.

ALL FLUSH JOIST TO BEAM OR BEAM TO BEAM CONNECTIONS SHALL BE MADE WITH JOIST OR BEAM HANGERS TO SUPPORT THE LOAD CAPACITY INDICATED ON THE PLANS OR THE FULL CAPACITY OF THE JOIST OR BEAM. HANGERS SHALL BE PROVIDED BY SIMPSON STRONG-TIE OR USE LUMBER CONNECTORS. THE SUPPLIER SHALL DESIGN ALL HANGERS FOR THE CAPACITY STATED. INSTALL ALL HANGERS IN STRICT CONFORMANCE TO THE MANUFACTURER'S INSTRUCTIONS. FILL ALL NAIL OR BOLT HOLES USING THE SPECIFIED NAILS AND BOLTS ONLY.

2021 IECC CODE COMPLIANCE

R301.1 CLIMATE ZONE 4

R401.2 COMPLIANCE METHOD: MANDATORY AND PRESCRIPTIVE PROVISIONS

R402.1.1 VAPOR RETARDER: WALL ASSEMBLIES IN THE THERMAL BUILDING ENVELOPE SHALL COMPLY WITH THE VAPOR RETARDER REQUIREMENTS OF SECTION R102.1 OF THE IRC CODE, 2021 EDITION

R402.1.2 ATTIC INSULATION: RAISED HEEL TRUSSES: R-49

R402.1.2 WOOD FRAME WALL: R-20 OR R13-R5 CONTINUOUS INSULATION

R402.1.2 BASEMENT WALL INSULATION: R-15/R-10 FOL FACED CONTINUOUS UNINTERRUPTED BATTS FULL HEIGHT

R402.1.2 CRAWL SPACE WALL INSULATION: R-15/R-10 FOL FACED CONTINUOUS BATTS FULL HEIGHT EXTENDING FROM FLOOR ABOVE TO FINISH GRADE LEVEL AND THEN VERTICALLY OR HORIZONTALLY AN ADDITIONAL 2'-0"

R402.1.2 FLOOR INSULATION OVER UNCONDITIONED SPACE: R-19 BATT INSULATION

R402.1.2 WINDOW U-VALUE / SHGC: 30 (U-VALUE) .40 (SHGC)

R402.2.10 SLAB ON GRADE FLOORS LESS THAN 12" BELOW GRADE: R-10 RIGID FOAM BOARD UNDER SLAB EXTENDING EITHER 4'-0" HORIZONTALLY OR 4'-0" VERTICALLY.

R402.2.4 ATTIC ACCESS: ATTIC ACCESS SCUTTLE SHALL BE WEATHERSTRIPPED AND INSULATED R-49.

R402.4 BUILDING THERMAL ENVELOPE (AIR LEAKAGE): EXTERIOR WALLS AND PENETRATIONS SHALL BE SEALED PER THIS SECTION OF THE 2021 IECC WITH CALK, GASKETS, WEATHERSTRIPPING OR AN AIR BARRIER OF SUITABLE MATERIAL.

R402.4.2 BUILDING THERMAL ENVELOPE TIGHTNESS TEST: BUILDING ENVELOPE SHALL BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE OF NOT EXCEEDING 3 AIR CHANGES PER HOUR. TESTING SHALL BE CONDUCTED IN ACCORDANCE WITH ASTM E 779 OR ASTM E 1821 WITH (BLOWER DOOR) AS A PRESSURE OF 0.2 INCHES P.L.S. (50 PASCALS). TESTING SHALL BE SIGNED BY THE PARTY CONDUCTING THE TEST AND PROVIDED TO THE BUILDING INSPECTOR.

R402.4.2 FIREPLACES: NEW WOOD BURNING MASONRY FIREPLACES SHALL HAVE TIGHT-FITTING FLUE DAMPERS AND OUTDOOR COMBUSTION AIR FIREPLACE DOORS SHALL BE LISTED AND LABELED IN ACCORDANCE WITH UL 121 (FACTORY BUILT FIREPLACE) AND UL 901 (MASONRY FIREPLACE)

R402.4.4 ROOMS CONTAINING FUEL BURNING APPLIANCES WHERE OPEN COMBUSTION AIR DUCTS PROVIDE COMBUSTION AIR TO OPEN COMBUSTION FUEL BURNING APPLIANCES, THE APPLIANCES AND COMBUSTION AIR SHALL BE LOCATED OUTSIDE THE BUILDING THERMAL ENVELOPE TO ENCLOSED IN A ROOM ISOLATED FROM THE THERMAL ENVELOPE. EXCEPTION: DIRECT VENT APPLIANCES WITH BOTH INTAKE AND EXHAUST PIPES INSTALLED CONTINUOUS THE OUTSIDE. FIREPLACES AND STOVES COMPLYING WITH SECTION R402.4.2 AND SECTION R1006 OF THE IRC.

R402.4.5 EXCESSIVE LIGHTING: RECESSED LUMINAIRES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO LIMIT AIR LEAKAGE.

R403.1.1 THERMOSTAT: ALL DWELLING UNITS SHALL HAVE AT LEAST (1) PROGRAMMABLE THERMOSTAT FOR EACH SEPARATE HEATING AND COOLING SYSTEM PER 2021 IECC SECTION 403.1.1

R403.1.2 WHERE A HEAT PUMP SYSTEM HAVING SUPPLEMENTARY ELECTRIC RESISTANCE HEAT IS USED THE THERMOSTAT SHALL PREVENT THE SUPPLEMENTARY HEAT FROM COMING ON WHEN HEAT PUMP CAN MEET HEATING LOAD.

R403.3.1 MECHANICAL DUCT INSULATION: SUPPLY AND RETURN DUCTS IN ATTIC R-8 MINIMUM, R-6 WHEN LESS THAN 3" SUPPLY AND RETURN DUCTS OUTSIDE OF CONDITIONED SPACE R-8 MINIMUM ALL OTHER DUCTS EXCEPT THOSE LOCATED COMPLETELY INSIDE THE BUILDING THERMAL ENVELOPE R-6 MINIMUM. DUCTS LOCATED UNDER CONCRETE SLABS MUST BE R-6 MINIMUM.

R403.3.2 DUCT SEALING: ALL DUCTS, AIR HANDLERS, FILTER BOXES WILL BE SEALED. JOINTS AND SEAMS WILL COMPLY WITH SECTION M1601.4.1 OF THE IRC.

A DUCT TIGHTNESS TEST ("DUCT BLOWER" DUCT TOTAL LEAKAGE TEST) WILL BE PERFORMED ON ALL HOMES AND SHALL BE VERIFIED BY EITHER A POST CONSTRUCTION TEST OR A ROUGH-IN TEST. DUCT TIGHTNESS IS NOT REQUIRED IF THE AIR HANDLER AND ALL DUCTS ARE LOCATED WITHIN THE CONDITIONED SPACE.

R403.6 MECHANICAL VENTILATION: OUTDOOR (MAKE UP AND EXHAUST) AIR DUCTS TO BE PROVIDED WITH AUTOMATIC OR GRAVITY DAMPER THAT CLOSE WHEN THE VENTILATION SYSTEM IS NOT OPERATING.

R403.6.1 WHOLE HOUSE MECHANICAL VENTILATION SYSTEM FAN EFFICIENCY TO COMPLY WITH TABLE R403.6.1

R403.7 EQUIPMENT SIZING SHALL COMPLY WITH R403.7.

R404.1 LIGHTING EQUIPMENT: A MINIMUM OF 75% OF ALL LAMPS (LIGHTS) MUST BE HIGH-EFFICACY LAMPS.

THE CONTRACTOR ALSO RESPONSIBLE FOR GENERATING CERTIFICATE OF COMPLIANCE AND AFFIXING TO ELECTRICAL PANEL OR WITHIN 6' OF THE PANEL AND BE READILY VISIBLE.

TABLE R301.5 MINIMUM UNIFORMLY DISTRIBUTED LIVE LOADS (in pounds per square foot)

USE	LIVE LOAD
UNINHABITABLE ATTICS W/O STORAGE, d	10
UNINHABITABLE ATTICS W/ LIMITED STORAGE, d, g	20
HABITABLE ATTICS & ATTICS SERVED W/ FIXED STAIRS, b	30
BALCONIES (EXTERIOR) & DECKS, e	40
FIRE ESCAPES, c	40
GUARDRAILS & HANDRAILS, d	200h
GUARDRAIL INFILL COMPONENTS, f	50h
PASSENGER VEHICLE GARAGES, a	50a
ROOMS OTHER THAN SLEEPING ROOMS, c	40
SLEEPING ROOMS, c	30
STAIRS, c	40c

For S1: 1 pound per square foot = 0.0479 kPa, 1 square inch = 645 mm<sup>2</sup>, 1 pound = 4.45 N.

a. Elevated garage floors shall be capable of supporting a 2,000-pound load applied over a 20-square-inch area.

b. Uninhabitable attics without storage are those where the maximum clear height between joists and rafters is less than 42 inches, or where there are not two or more adjacent trusses with web configurations capable of accommodating an assumed rectangle 42 inches high by 24 inches in width, or greater, within the plane of the trusses. This live load need not be assumed to act concurrently with any other live load requirements.

c. Individual stair treads shall be designed for the uniformly distributed live load or a 300-pound concentrated load acting over an area of 4 square inches, whichever produces the greater stresses.

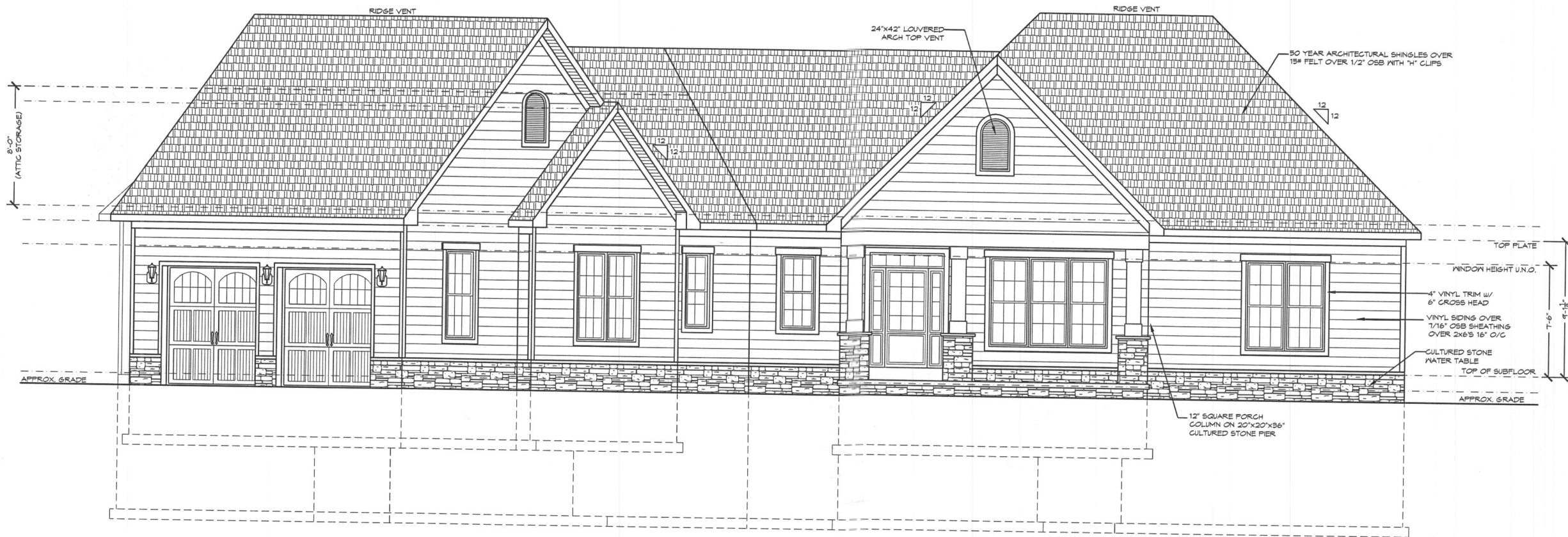
d. A single concentrated load applied in any direction at any point along the top.

e. See Section R502.2.2 for decks attached to exterior walls.

f. Guard in-fill components (all those except the handrail), balusters and panel fillers shall be designed to withstand a horizontally applied normal load of 50 pounds on an area equal to 1 square foot. This load need not be assumed to act concurrently with any other live load requirement.

g. Uninhabitable attics with limited storage are those where the maximum clear height between joists and rafters is 42 inches or greater, or where there are two or more adjacent trusses with web configurations capable of accommodating an assumed rectangle 42 inches in height by 24 inches in width, or greater, within the plane of the trusses. The live load need only be applied to those portions of the joists or truss bottom chords where all of the following conditions are met:

- The attic area is accessible from an opening not less than 20 inches in width by 30 inches in length that is located where the clear height in the attic is a minimum of 30 inches.
- The slopes of the joists or truss bottom chords are no greater than 2 inches vertical to 12 units horizontal.
- Required insulation depth is less than the joist or truss bottom chord member depth. The remaining portions of the joists or truss bottom chords shall be designed for a uniformly distributed concurrent live load of not less than 10 lb./ft.<sup>2</sup>.
- Glazing used in handrail assemblies and guards shall be designed with a safety factor of 1.6.
- The safety factor shall be applied to each of the concentrated loads applied to the top of the rail, and to the load on the in-fill components. These loads shall be determined independent of one another, and loads are assumed not to occur with any other live load.



**FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"



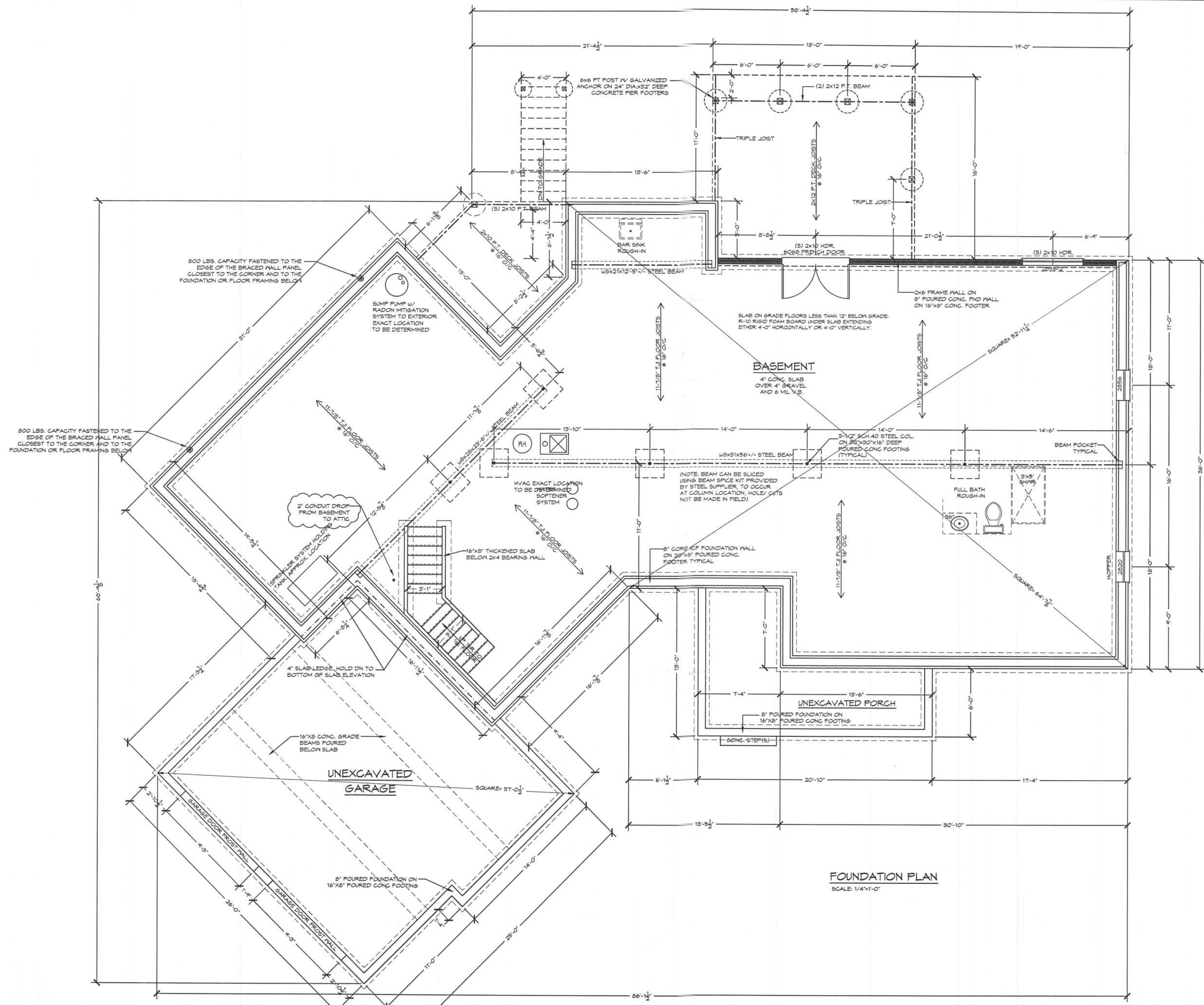
**LEFT SIDE ELEVATION**  
SCALE: 1/4" = 1'-0"

**THE MELTON RESIDENCE**

REVISED: 8/24/2023  
 REVISED: 1/21/2021  
 REVISED: 1/20/2021  
 REVISED: 10/12/2020  
 REVISED: 10/07/2020  
 REVISED: 09/29/2020  
 REVISED: 09/17/2020

SCALE NOTED  
 DATE: 09/2020  
 SHEET NO.: 1 of 13  
 GBL CUSTOM HOME  
 DESIGN INC.  
 PO BOX 237 FINKSBURG, MD 21046  
 PHONE 410-833-8920

# THE MELTON RESIDENCE



REVISED: 8/24/2023  
 REVISED: 1/21/2021  
 REVISED: 1/20/2021  
 REVISED: 10/12/2020  
 REVISED: 10/07/2020  
 REVISED: 09/29/2020  
 REVISED: 09/17/2020

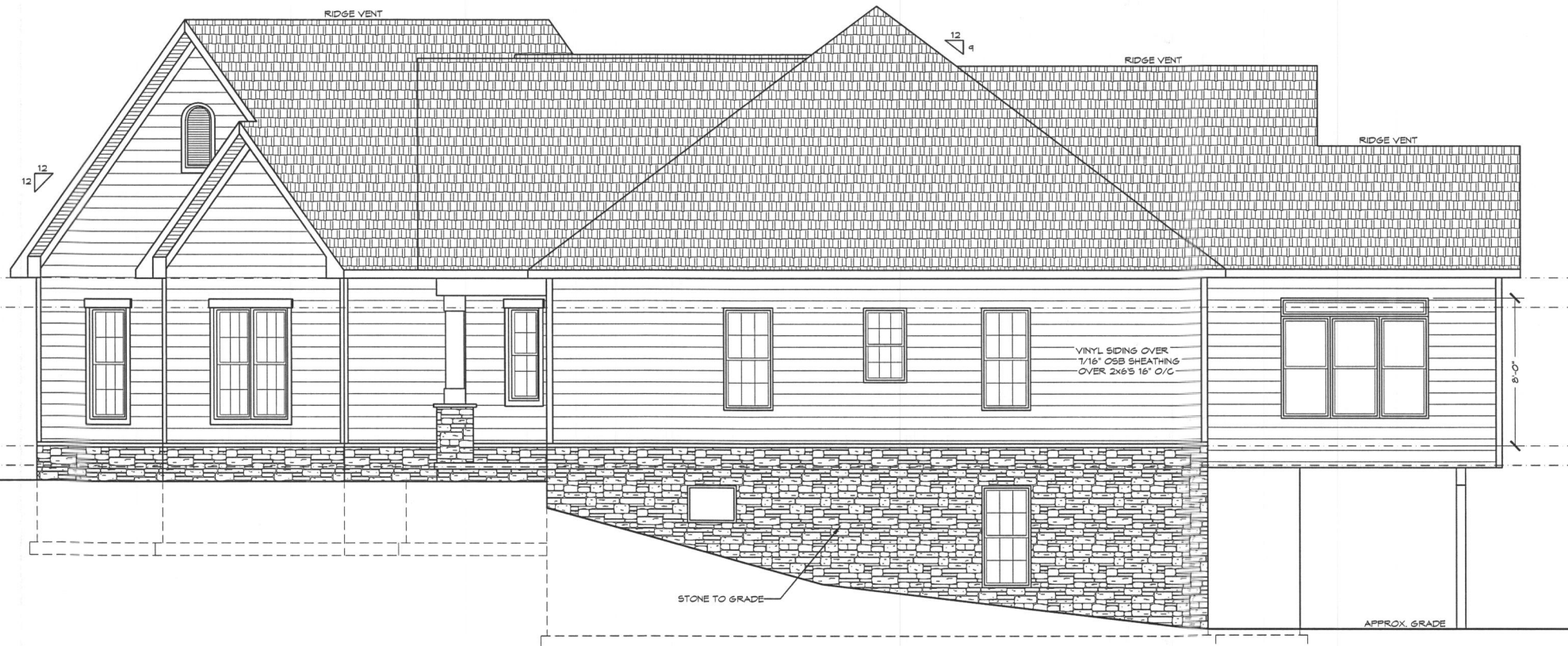
SCALE NOTED  
 DATE: 09/2020  
 SHEET NO.: 3 of 13

GBL CUSTOM HOME  
 DESIGN INC.  
 PO BOX 237 FINKEBURG, MD 21046  
 PHONE 410-593-9320



**REAR ELEVATION**

SCALE: 1/4" = 1'-0"



**RIGHT SIDE ELEVATION**

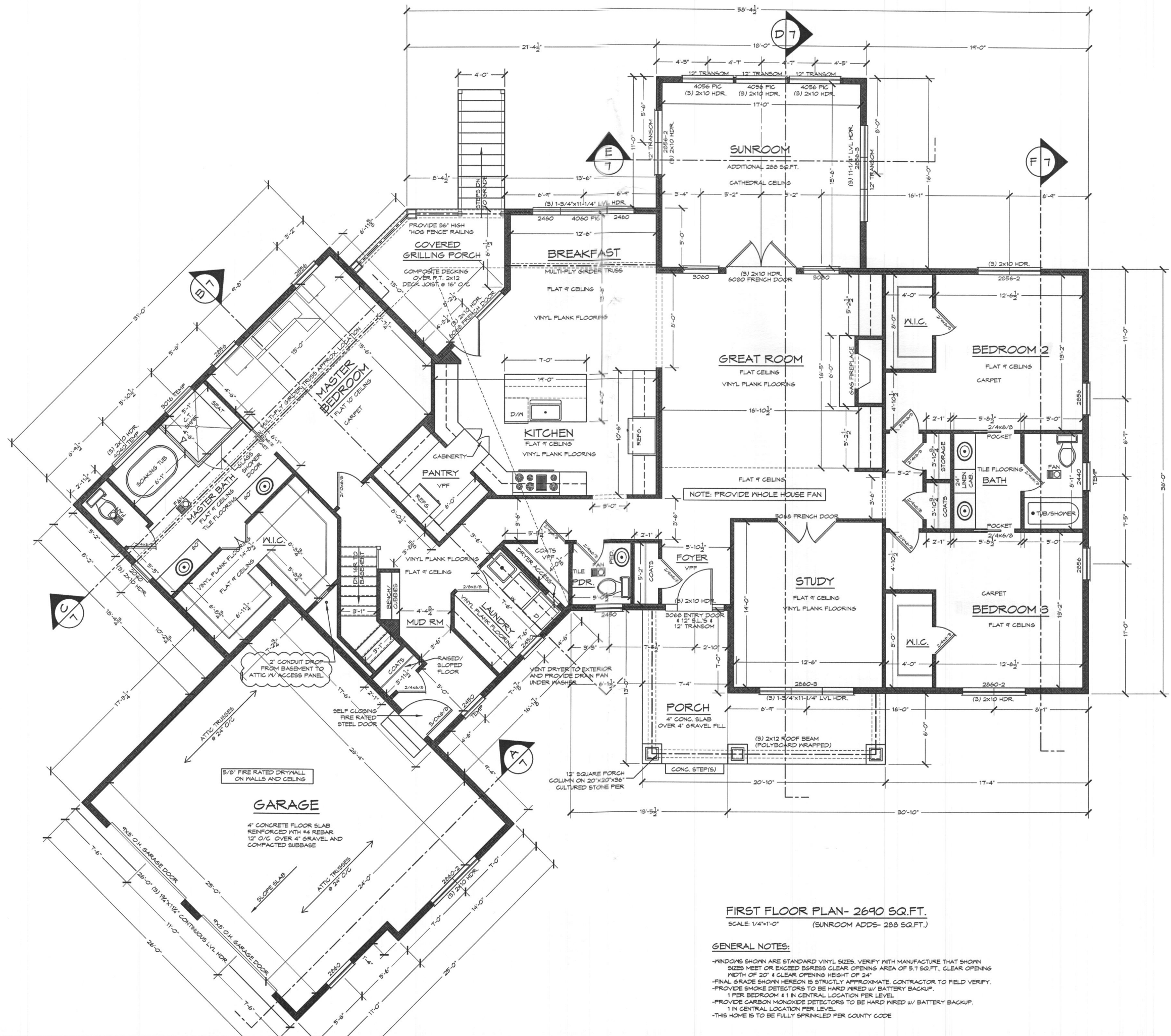
SCALE: 1/4" = 1'-0"

**THE MELTON RESIDENCE**

REVISED: 8/24/2023  
 REVISED: 1/21/2021  
 REVISED: 1/20/2021  
 REVISED: 10/12/2020  
 REVISED: 10/07/2020  
 REVISED: 09/29/2020  
 REVISED: 09/17/2020

SCALE NOTED  
 DATE: 09/2020  
 SHEET NO.: 2 of 13

GBL CUSTOM HOME  
 DESIGN INC.  
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 PHONE 410-833-8320



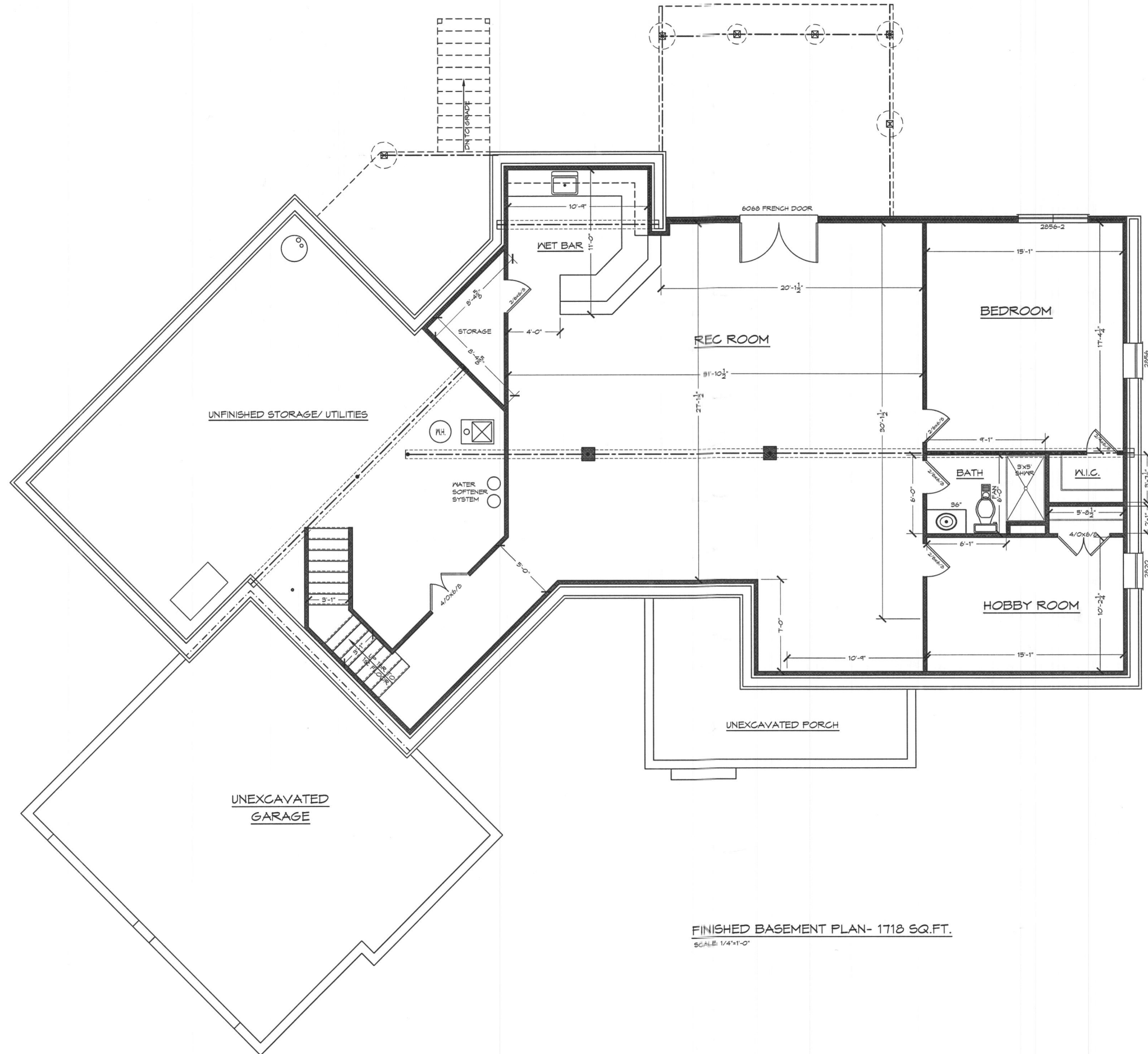
**FIRST FLOOR PLAN- 2690 SQ.FT.**  
 SCALE: 1/4"=1'-0" (SUNROOM ADDS- 288 SQ.FT.)

- GENERAL NOTES:**
- WINDOWS SHOWN ARE STANDARD VINYL SIZES. VERIFY WITH MANUFACTURE THAT SHOWN SIZES MEET OR EXCEED EGRESS CLEAR OPENING AREA OF 5.7 SQ.FT., CLEAR OPENING WIDTH OF 20" & CLEAR OPENING HEIGHT OF 24"
  - FINAL GRADE SHOWN HEREON IS STRICTLY APPROXIMATE. CONTRACTOR TO FIELD VERIFY.
  - PROVIDE SMOKE DETECTORS TO BE HARD WIRED w/ BATTERY BACKUP.  
1 PER BEDROOM & 1 IN CENTRAL LOCATION PER LEVEL.
  - PROVIDE CARBON MONOXIDE DETECTORS TO BE HARD WIRED w/ BATTERY BACKUP.  
1 IN CENTRAL LOCATION PER LEVEL.
  - THIS HOME IS TO BE FULLY SPRINKLED PER COUNTY CODE

REVISED: 8/24/2023  
 REVISED: 1/21/2021  
 REVISED: 1/20/2021  
 REVISED: 10/12/2020  
 REVISED: 09/29/2020  
 REVISED: 09/17/2020

SCALE NOTED	DATE: 04/2020	SHEET NO.: 5 OF 13
<b>GBL CUSTOM HOME DESIGN INC.</b> PO BOX 231 FINESBURG, MD 21045 PHONE 410-935-9320		

**THE MELTON RESIDENCE**



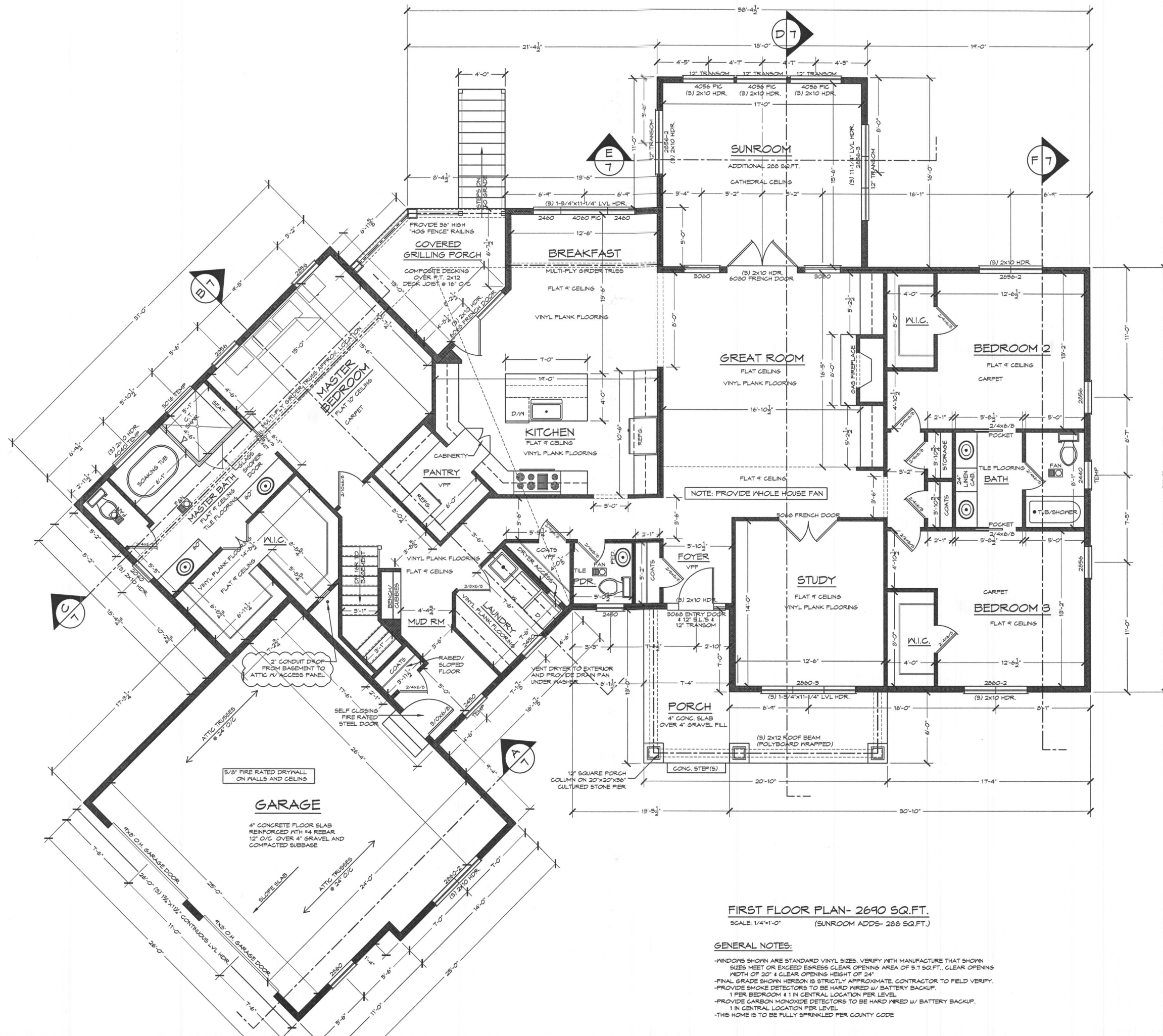
FINISHED BASEMENT PLAN- 1718 SQ.FT.  
SCALE: 1/4"=1'-0"

THE MELTON RESIDENCE

REVISED: 8/24/2023  
 REVISED: 1/21/2021  
 REVISED: 1/20/2021  
 REVISED: 10/12/2020  
 REVISED: 10/07/2020  
 REVISED: 04/29/2020  
 REVISED: 09/17/2020

SCALE: NOTED	GBL CUSTOM HOME DESIGN INC. PO BOX 237 FINKSBURG, MD 21048 PHONE 410-833-8320
DATE: 09/2020	
SHEET No.: 4 of 13	

PLS. SEE PLAN



**FIRST FLOOR PLAN- 2690 SQ.FT.**  
 SCALE: 1/4"=1'-0" (SUNROOM ADDS- 288 SQ.FT.)

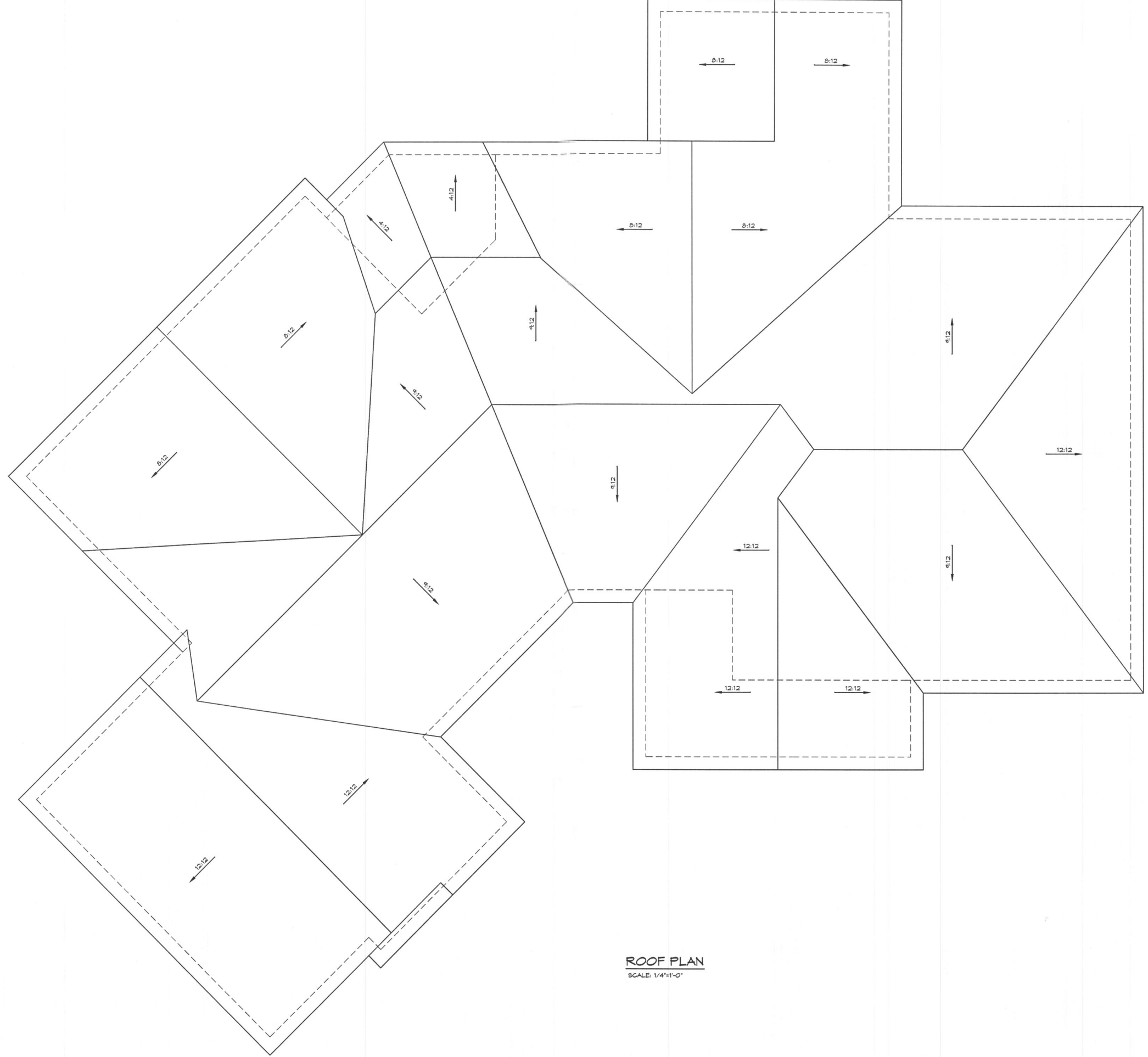
**GENERAL NOTES:**

- WINDOWS SHOWN ARE STANDARD VINYL SIZES. VERIFY WITH MANUFACTURE THAT SHOWN SIZES MEET OR EXCEED EGRESS CLEAR OPENING AREA OF 5.7 SQ.FT., CLEAR OPENING WIDTH OF 20" & CLEAR OPENING HEIGHT OF 24"
- FINAL GRADE SHOWN HEREON IS STRICTLY APPROXIMATE. CONTRACTOR TO FIELD VERIFY.
- PROVIDE SMOKE DETECTORS TO BE HARD WIRED W/ BATTERY BACKUP.  
1 PER BEDROOM & 1 IN CENTRAL LOCATION PER LEVEL.
- PROVIDE CARBON MONOXIDE DETECTORS TO BE HARD WIRED W/ BATTERY BACKUP.  
1 IN CENTRAL LOCATION PER LEVEL.
- THIS HOME IS TO BE FULLY SPRINKLED PER COUNTY CODE

REVISED: 8/24/2023  
 REVISED: 1/21/2021  
 REVISED: 1/20/2021  
 REVISED: 10/12/2020  
 REVISED: 10/01/2020  
 REVISED: 09/24/2020  
 REVISED: 09/11/2020

SCALE NOTED	DATE: 09/2020	SHEET NO: 5 of 13
<b>GBL CUSTOM HOME          DESIGN INC.</b> PO BOX 251 FRINGSBURG, MD 21046 PHONE 410-838-9320		

**THE MELTON RESIDENCE**



**ROOF PLAN**  
SCALE: 1/4"=1'-0"

REVISED: 8/24/2023  
 REVISED: 1/21/2021  
 REVISED: 1/20/2021  
 REVISED: 10/12/2020  
 REVISED: 10/01/2020  
 REVISED: 09/29/2020  
 REVISED: 09/17/2020

SCALE NOTED	
DATE: 09/2020	
SHEET NO.: 7 of 13	
GBL CUSTOM HOME DESIGN INC. PO BOX 251 FINNSBURG, MD 21046 PHONE 410-833-9320	

**THE MELTON RESIDENCE**

**LEGEND:**  
 CS-PSF CONTINUOUS SHEATHING-POOD  
 STRUCTURAL PANEL (LENGTH)  
 CS-FF 6:1 NARROW WALL (LENGTH)  
 NARROW WALL  
 CS-FF CONTINUOUS SHEATHED PORTAL FRAME  
 ASB ALTERNATE BRACED WALL  
 SB-1 6"PSUM 45° (1 SIDE)  
 SB-2 6"PSUM 45° (2 SIDES)  
 TD DOWN DEVICE (-LBS)

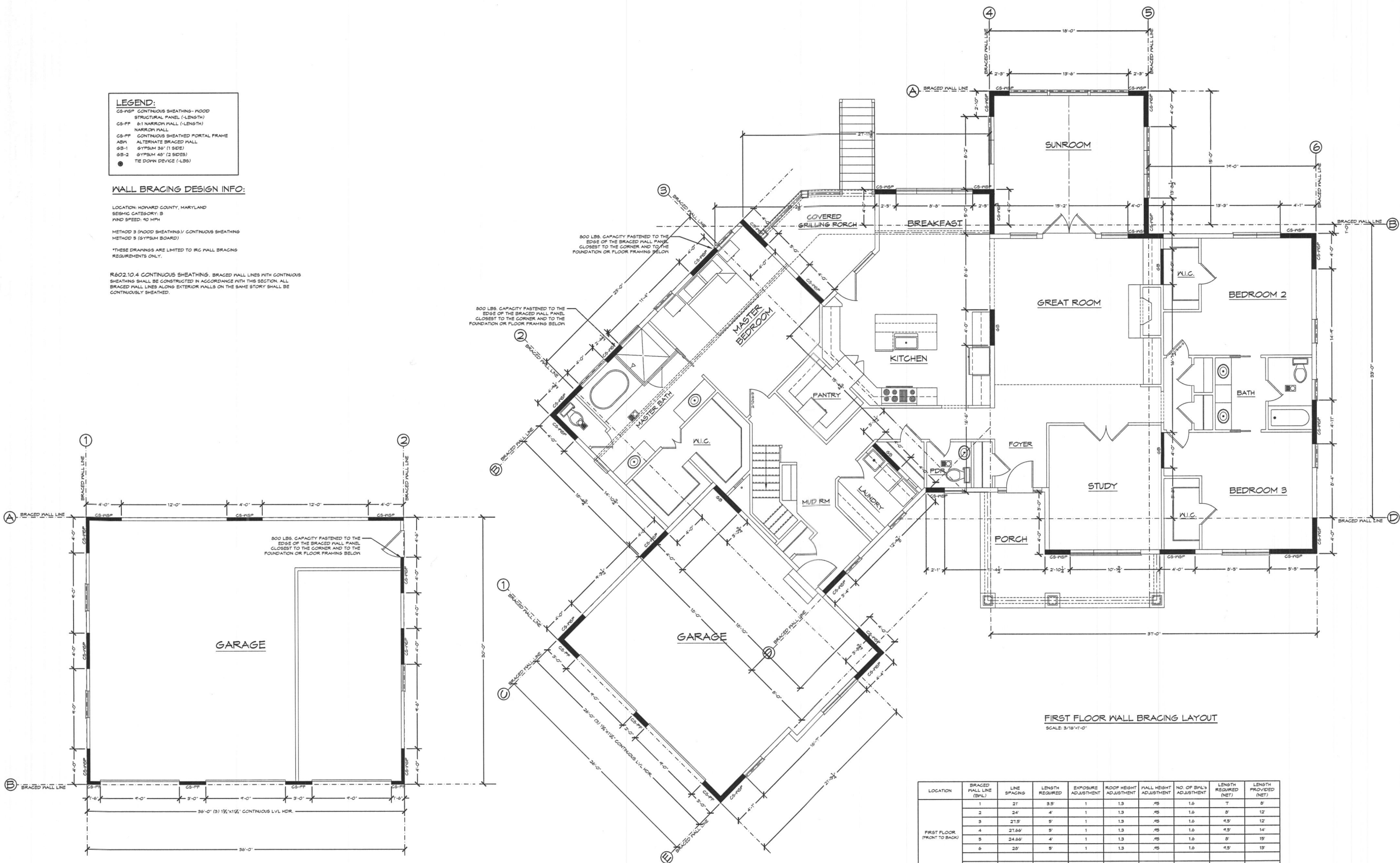
**WALL BRACING DESIGN INFO:**

LOCATION: HOWARD COUNTY, MARYLAND  
 SEISMIC CATEGORY: B  
 WIND SPEED: 90 MPH

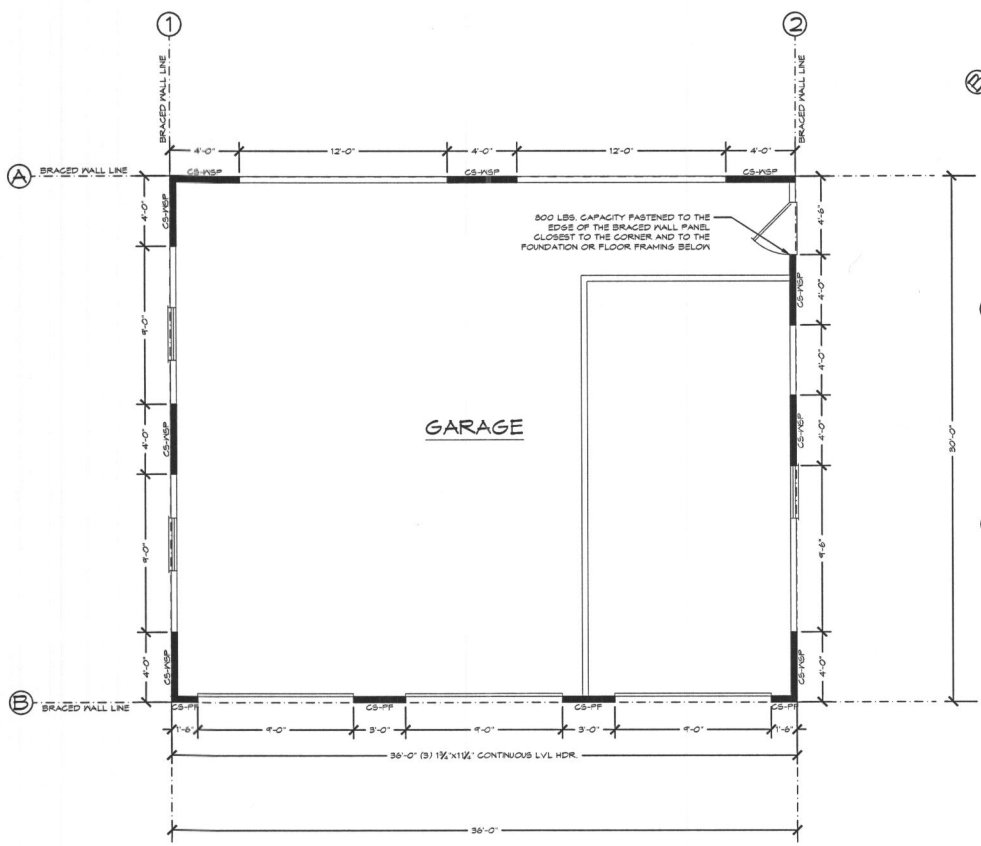
METHOD 3 (POOD SHEATHING) / CONTINUOUS SHEATHING  
 METHOD 5 (6"PSUM BOARD)

\*THESE DRAWINGS ARE LIMITED TO IRC WALL BRACING  
 REQUIREMENTS ONLY.

R602.10.4 CONTINUOUS SHEATHING. BRACED WALL LINES WITH CONTINUOUS  
 SHEATHING SHALL BE CONSTRUCTED IN ACCORDANCE WITH THIS SECTION. ALL  
 BRACED WALL LINES ALONG EXTERIOR WALLS ON THE SAME STORY SHALL BE  
 CONTINUOUSLY SHEATHED.



**FIRST FLOOR WALL BRACING LAYOUT**  
 SCALE: 3/16"=1'-0"



**DETACHED GARAGE WALL BRACING LAYOUT**  
 SCALE: 3/16"=1'-0"

LOCATION	BRACED WALL LINE (DWG.)	LINE SPACING	LENGTH REQUIRED	EXPOSURE ADJUSTMENT	ROOF HEIGHT ADJUSTMENT	WALL HEIGHT ADJUSTMENT	NO. OF BR/L'S ADJUSTMENT	LENGTH REQUIRED (NET)	LENGTH PROVIDED (NET)
FIRST FLOOR (FRONT TO BACK)	1	36"	8'	1	1.3	.75	1.0	1.3'	12'
	2	36"	8'	1	1.3	.75	1.0	1.3'	12'
FIRST FLOOR (SIDE TO SIDE)	A	30"	5'	1	1.3	.75	1.0	6.2'	12'
	B	30"	5'	1	1.3	.75	1.0	6.2'	4'

LOCATION	BRACED WALL LINE (DWG.)	LINE SPACING	LENGTH REQUIRED	EXPOSURE ADJUSTMENT	ROOF HEIGHT ADJUSTMENT	WALL HEIGHT ADJUSTMENT	NO. OF BR/L'S ADJUSTMENT	LENGTH REQUIRED (NET)	LENGTH PROVIDED (NET)
FIRST FLOOR (FRONT TO BACK)	1	21"	3.5'	1	1.3	.75	1.0	4.5'	8'
	2	24"	4'	1	1.3	.75	1.0	5'	12'
	3	27.5"	5'	1	1.3	.75	1.0	6.5'	12'
	4	27.6"	5'	1	1.3	.75	1.0	6.5'	14'
	5	24.6"	4'	1	1.3	.75	1.0	5'	15'
	6	28"	5'	1	1.3	.75	1.0	6.5'	15'
FIRST FLOOR (SIDE TO SIDE)	A	15"	3'	1	1.3	.75	1.0	4.5'	5.56'
	B	16.33"	3'	1	1.3	.75	1.0	4.5'	20.33'
	C	20.66"	3.5'	1	1.3	.75	1.0	7'	8'
	D	20"	3.5'	1	1.3	.75	1.0	7'	18'
	E	17"	3.5'	1	1.3	.75	1.0	7'	8.5'

REVISED: 8/24/2023  
 REVISED: 1/21/2021  
 REVISED: 1/20/2021  
 REVISED: 10/12/2020  
 REVISED: 10/01/2020  
 REVISED: 04/24/2020  
 REVISED: 04/17/2020

SCALE NOTED  
 DATE: 04/20/20  
 SHEET NO.: 6 of 13

**GBL CUSTOM HOME DESIGN INC.**  
 PO BOX 237 FINKSBURG, MD 21046  
 PHONE 410-933-9320

**THE MELTON RESIDENCE**