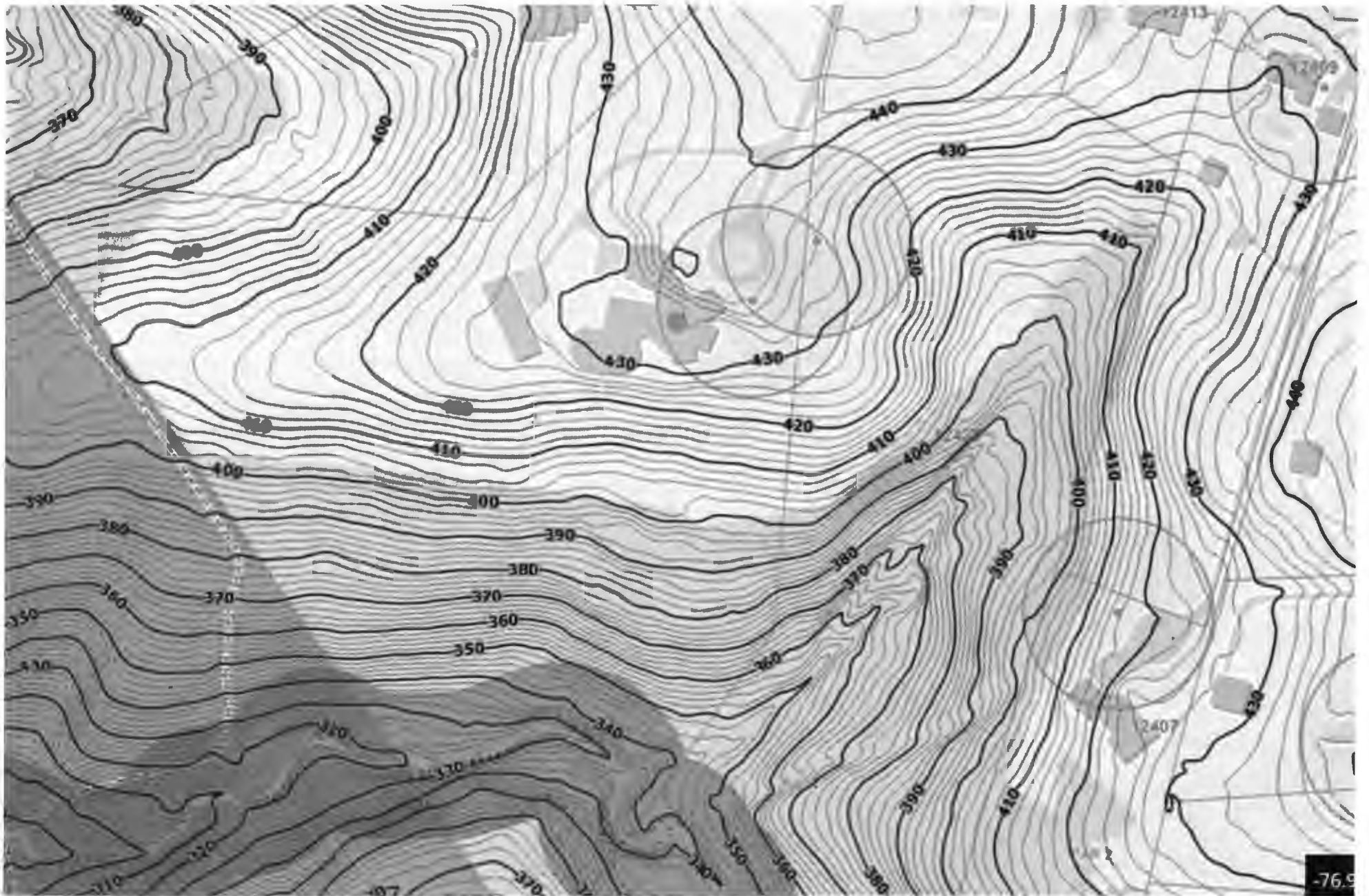


12435 Hill Crest



Who is Abraham?

Thanks, Ryan

From: Personal Assistant <assistant@janukemlaw.com>
Sent: Wednesday, July 24, 2024 8:44 AM
To: Rappaport, Ryan <RRappaport@howardcountymd.gov>
Subject: Re: 12435 Hill Crest - detached garage

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

Please redirect this question to Mr. Adalakun as he hired Abraham, the contractor who installed the septic system.

On Wed, Jul 24, 2024 at 8:40 AM Rappaport, Ryan <RRappaport@howardcountymd.gov> wrote:

Good morning Ms. Anukem, the Health Dept has been asked to investigate the septic work associated with the build out of the detached garage at 12435 Hill Crest. A septic system for the detached garage was installed without a permit or the proper Health Dept plan review. The Department of Inspections Licenses and Permits has provided a name of a possible contractor who worked with you on this project. I have Eli at 240-461-9129 and when I spoke to him, he stated that he was only hired to do the demolition work. At this time, to proceed with this investigation, the Health Dept will need the name of the contractor that installed the septic system for the detached garage. Please provide the name of this person and the name of the company. MDE has a list of registered individuals that provide onsite wastewater services, and the Health Dept will need to verify that your contractor is registered.

I'm happy to meet you and/or your contractor onsite at your property to discuss the details of the required septic abandonment. On the original building permit we have JB Engineering, did you stick with this company or hire a different contractor to install the septic system?

Ryan Rappaport, LEHS

Bureau of Environmental Health

Howard County Health Department

Rappaport, Ryan

From: Jennifer Anukem <jen.anukem@gmail.com>
Sent: Wednesday, July 24, 2024 1:41 PM
To: Ade Adalakun
Cc: Rappaport, Ryan; Jennifer Anukem; Jung, Richard; Personal Assistant; Wolf, Kevin
Subject: Re: 12435 Hill Crest - detached garage

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

For the record I did not hire these contractors. Mr. Adalakun hired them upon recommendation from his sister Kemi because they completed her bathroom renovation in New Jersey. I only knew him as Abraham, Ade and his sister hired him and coordinated with him to complete the detached garage renovation. That is why he has their contact information. I'm glad he finally provided it to you.

On Wed, Jul 24, 2024, 1:35 PM Ade Adalakun <aadalakun@gennextgroup.co> wrote:
Good afternoon Mr. Rappaport,

The contractors used by Ms Jennifer Anukem to install the septic tank at 12435 Lime Kiln road were Mr. Abraham and Mr. Abraham's father. Please contact them at 301-732-0993.

Ade Adalakun

On Wed, Jul 24, 2024 at 8:49 AM Rappaport, Ryan <RRappaport@howardcountymd.gov> wrote:

Hello, The Health Dept and DILP met with Mr. Adalakun on the property yesterday and claimed that you hired all the contractors associated with the build out of the garage.

Only you and Mr. Adalakun know the details associated with this project, someone please provide the Health Dept with the name of the contractor that installed the septic system.

Who is Abraham?

Thanks, Ryan

From: Personal Assistant <assistant@janukemlaw.com>
Sent: Wednesday, July 24, 2024 8:44 AM

Rappaport, Ryan

From: Jennifer Anukem <jen.anukem@gmail.com>
Sent: Wednesday, July 24, 2024 2:05 PM
To: Rappaport, Ryan
Cc: Jennifer Anukem; Jung, Richard; Personal Assistant; Wolf, Kevin
Subject: Re: 12435 Hill Crest - detached garage

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

Dear Mr. Rappaport,

I do not have their contact information so I do not know what Mr. Adalakun has asked them to say or not to say. They are his contractors so he can tell them to say anything. Mr. Adalakun hired them and instructed them to complete the detached garage project. The nanny told me that they were recently at Hill Crest completing work on the deck so Mr. Adalakun is still working with them and paying them so I am confident they will say whatever he tells them to say. I have done everything I can to abate this issue and it is now up to Mr. Adalakun to resolve the septic tank issue. Elias (who had absolutely nothing to do with building this detached garage) can no longer work on this because I cannot afford to pay him anymore. Mr. Adalakun will need to complete this work with Abraham and his father since he is in communication with them and they are presently doing work on the deck at the property.

Jennifer Anukem

On Wed, Jul 24, 2024 at 1:46 PM Ade Adalakun <aadalakun@gennextgroup.co> wrote:

Good afternoon Rappaport,

The contractors will verify they were hired by Ms. Jennifer Anukem and her personal assistant. I had no communication with Mr. Abraham and/or his father regarding contractual work at 12435 Lime Kiln road Fulton MD.

Ade Adalakun

On Wed, Jul 24, 2024 at 8:49 AM Rappaport, Ryan <RRappaport@howardcountymd.gov> wrote:

Hello, The Health Dept and DILP met with Mr. Adalakun on the property yesterday and claimed that you hired all the contractors associated with the build out of the garage.

Only you and Mr. Adalakun know the details associated with this project, someone please provide the Health Dept with the name of the contractor that installed the septic system.

Septic tank & pump tank for the main house



Site Photos taken 7/11/24 - R. Reppert

12435 Hill Crest

Fulton, MD. 20759



inside of detached garage



green risers = tanks for main house

→ " "



" "



inside detached garage



detatched garage



risers for septic tank installed w/out permit



illegal septic tank for detached garage



inside detached garage



Riser for illegal tank



Main house



septic tanks for main houses

illegal septic tank installed prior to permit

FILE INQUIRY NOTES

DATE	RESULTS OF REVIEW FOR FILE
7/23/24	met HO, Mr. Adelakun's DLP inspector onsite to review the details of the septic system that was illegally installed for the detached garage. Mr. Adelakun claimed to have nothing to do with this project. (10)
7/24/24	email to other HO, MS. Anukem and requested the contractor information but she claimed that Mr. Adelkun had that info. (11)
7/24/24	Spoke to other HO, Mr. Adelakun and he said he had nothing to do w/ the construction of the in law suite in the garage. He said he'd contact the demo contractor to find out who installed the septic system. (12)
7/24/24	I called the demo contractor, Eli, who stated that he had nothing to do w/ the construction. (13)
7/26/24	Info regarding the contractor who installed the septic system was given to the HO. Called him and he said he did not do the work and did not install the illegal septic system. (14)
7/29/24	rec'd msg from Jennifer Anukem (301) 310-8626 stating that she didn't coordinate any of the construction activities and said it was her husband, Ade Adelakun who scheduled the contractor but when I called him @ 202-277-4548 he said he did not work w/ any contractor and that it was all his wife. (15)
7/29/24	plc to Abraham's his father @ 301-732-0993 (the supposed contractors) and they stated they were never on the property and didn't do any of the construction. (16)

LAYOUT 8/2/07 INSP 4 8/8/07
 INSP 2 8/6/07 INSP 5 8/9/07
 INSP 3 8/7/07 INSP 6 8/10/07
 ISSUE DATE: 7/2/07 8/13/07

PERMIT

P 527238
 A 518016

APPROVAL DATE: 3/25/08

TAX ID # 05-373506

ON-SITE SEWAGE DISPOSAL SYSTEM HOWARD COUNTY HEALTH DEPARTMENT BUREAU OF ENVIRONMENTAL HEALTH

Fogles Septic Clean, Inc IS PERMITTED TO INSTALL ALTER

ADDRESS: 580 Obrecht Rd PHONE NUMBER: 410-795-5670

SUBDIVISION: Zimmerman LOT NUMBER: 5

ADDRESS: 12435 Lime Kiln Rd PROPERTY OWNER: George Hill

SEPTIC TANK CAPACITY (GALLONS): 2000 OUTLET BAFFLE FILTER REQUIRED

PUMP CHAMBER CAPACITY (GALLONS): 1500 COMPARTMENTED TANK REQUIRED

NUMBER OF BEDROOMS: 4

SQUARE FEET PER BEDROOM: 125

LINEAR FEET OF TRENCH REQUIRED: ~~60~~ 150
4.5'

TRENCHES:	Trench to be 3.0 feet wide. Inlet 60 feet below original grade. Bottom maximum depth 50 feet below original grade. Effective area begins at 3.0 feet below original grade. 2.0 feet of stone below distribution pipe.
LOCATION:	Locate Distribution Box at highest elevation in easement (North corner)
NOTES:	Outlet Baffle Filter Required. Call for Layout Inspection.

PLANS APPROVED: Robert Bricker DATE: 7/25/07

- NOTE: PERMIT VOID AFTER 2 YEARS
- NOTE: CONTRACTOR RESPONSIBLE FOR SCHEDULING A PRE-CONSTRUCTION INSPECTION FOR ALL INSTALLATIONS
- NOTE: WATERTIGHT SEPTIC TANKS REQUIRED
- NOTE: ALL PARTS OF SEPTIC SYSTEM SHALL BE 100 FEET FROM ANY WATER WELL
- NOTE: MANHOLE RISERS REQUIRED ON ALL SEPTIC TANKS AND PUMP CHAMBERS UNLESS SPECIFICALLY AUTHORIZED

NEITHER THE HOWARD COUNTY COUNCIL NOR THE HEALTH DEPARTMENT IS RESPONSIBLE FOR THE SUCCESSFUL OPERATION OF ANY SYSTEM PERMITTEE RESPONSIBLE FOR OBTAINING FINAL APPROVAL ON THIS PERMIT CALL 410-313-1771 FOR INSPECTION OF SEPTIC SYSTEM

NOT TO SCALE

See As Built Drawing
on Seperate Inspection
Sheet

ROAD

TRENCH/DRAINFIELD DATA

WIDTH	INLET	BOTTOM
3'	4.5'	6.5'
NUMBER OF TRENCHES		2
TOTAL LENGTH		151'
ABSORPTION AREA		453+ Siderwal
DISTRIBUTION BOX LEVEL		Yes
DISTRIBUTION BOX BAFFLE		Yes
DISTRIBUTION BOX PORT		Yes

SEPTIC TANK DATA

SEPTIC TANK 1 LEVEL	Yes
CAPACITY	2000 GAL
SEAM LOC	Top
TANK LID DEPTH	1.5-2'
BAFFLES	Yes
BAFFLE FILTER	Yes
MANHOLE LOC	Front+Rear
6" PORT LOC	None
WATERTIGHT TEST	No
SEPTIC TANK 2 LEVEL	Yes
CAPACITY	1500 GAL
SEAM LOC	Top
TANK LID DEPTH	1.5'
BAFFLES	Front
BAFFLE FILTER	No
MANHOLE LOC	Rear
6" PORT LOC	None
WATERTIGHT TEST	No

PRE-CONSTRUCTION 8/2/07 Install 2-75' trenches on contour across the highest part of the septic easement. (BB)

INSTALLATION 8/6/07 Started digging tank holes and making house connection. (BB) 8/7/07 Tanks set. Started on top trench. (BB) 8/8/07 Trenches finished except for observation ports. (BB) 8/9/07 Tanks finished except for pump and pump line. O.K. to backfill. (BB) 8/10/07 No additional work done. (BB) 8/13/07 Pump line installed. Observation ports at end of trenches. Need pump and alarm test. (BB)

3/25/08 Pump and alarm working. (BB)

FINAL INSPECTOR B. Baber

DATE OF APPROVAL 3/25/08

NOT TO SCALE

See As Built Drawing
on Seperate Inspection
Sheet

ROAD

TRENCH/DRAINFIELD DATA

WIDTH	INLET	BOTTOM
<u>3'</u>	<u>4.5'</u>	<u>6.5'</u>
NUMBER OF TRENCHES <u>2</u>		
TOTAL LENGTH <u>151'</u>		
ABSORPTION AREA <u>453+ Sides</u>		
DISTRIBUTION BOX LEVEL <u>Yes</u>		
DISTRIBUTION BOX BAFFLE <u>Yes</u>		
DISTRIBUTION BOX PORT <u>Yes</u>		

SEPTIC TANK DATA

SEPTIC TANK 1 LEVEL	<u>Yes</u>
CAPACITY	<u>2000</u> GAL
SEAM LOC	<u>Top</u>
TANK LID DEPTH	<u>1.5'-2'</u>
BAFFLES	<u>Yes</u>
BAFFLE FILTER	<u>Yes</u>
MANHOLE LOC	<u>Front+Rear</u>
6" PORT LOC	<u>None</u>
WATERTIGHT TEST	<u>No</u>
SEPTIC TANK 2 LEVEL	<u>Yes</u>
CAPACITY	<u>1500</u> GAL
SEAM LOC	<u>Top</u>
TANK LID DEPTH	<u>1.5'</u>
BAFFLES	<u>Front</u>
BAFFLE FILTER	<u>No</u>
MANHOLE LOC	<u>Rear</u>
6" PORT LOC	<u>None</u>
WATERTIGHT TEST	<u>No</u>

PRE-CONSTRUCTION 8/2/07 Install 2-75' trenches on contour across the highest part of the septic easement. (BB)

INSTALLATION 8/6/07 Started digging tank holes and making house connection. (BB) 8/7/07 Tanks set. Started on top trench. (BB) 8/8/07 Trenches finished except for observation ports. (BB) 8/9/07 Tanks finished except for pump and pump line. O.K. to backfill. (BB) 8/10/07 No additional work done. (BB) 8/13/07 Pump line installed. Observation ports at end of trenches. Need pump and alarm test. (BB)

3/25/08 Pump and alarm working. (BB)

FINAL INSPECTOR B. Baber DATE OF APPROVAL 3/25/08

Pit well to be abandoned.

12435
Lime Kiln Road

New Prop.
lots

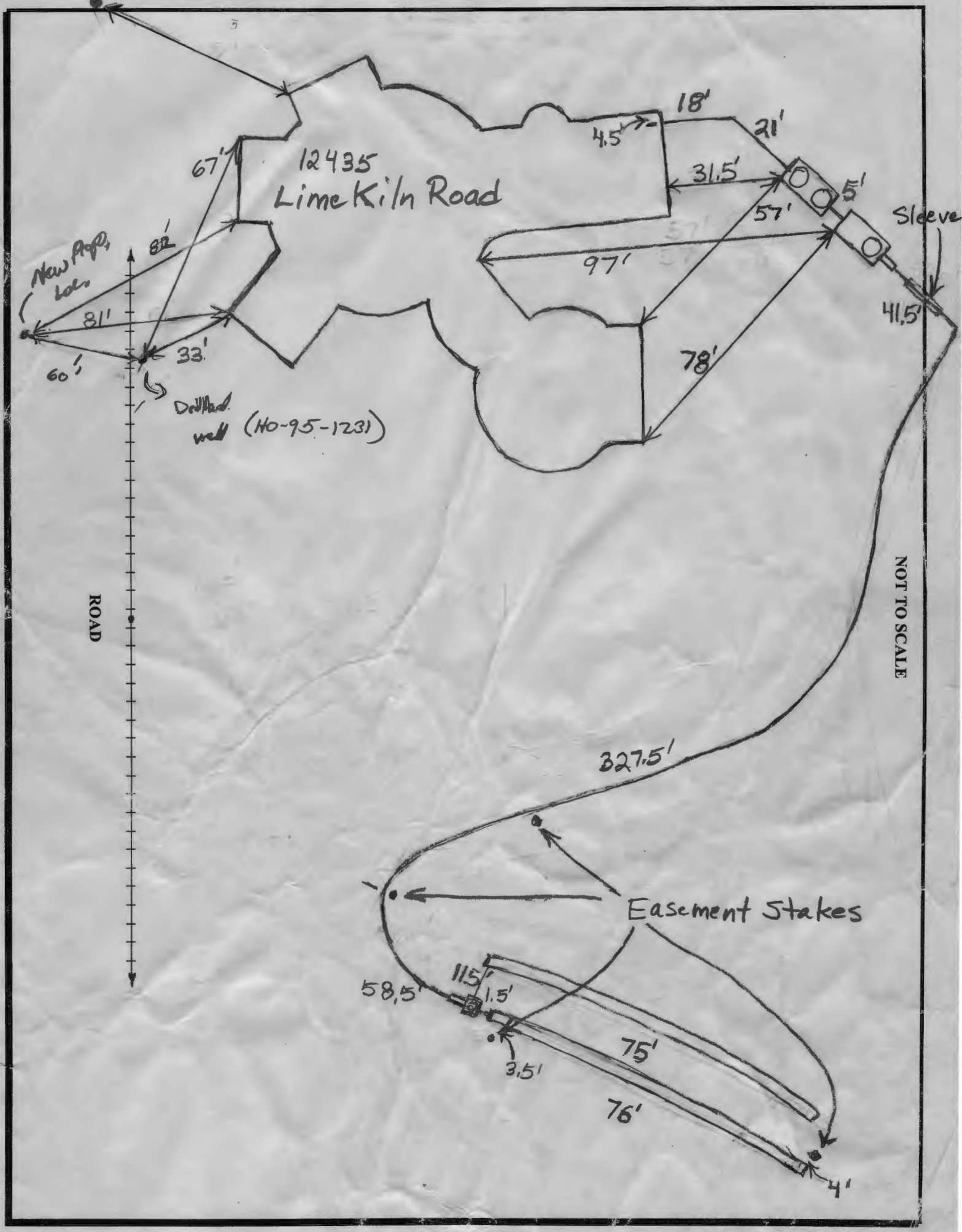
Drilled
well (HO-95-1231)

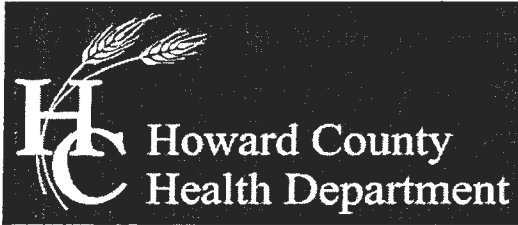
Sleeve

ROAD

NOT TO SCALE

Easement Stakes





Bureau of Environmental Health

8930 Stanford Boulevard, Columbia, MD 21045

Main: 410-313-2640 | Fax: 410-313-2648

TDD 410-313-2323 | Toll Free 1-866-313-6300

www.hchealth.org

Facebook: www.facebook.com/hocohealth

Twitter: HowardCoHealthDep

Maura J. Rossman, M.D., Health Officer

SEWAGE DISPOSAL SYSTEM SPECIFICATIONS WORKSHEET

Address: 12435 Lime Kiln Road

Subdivision: Hill Property Lot: 3

installed 2007

Initial system: Application rate: Application rate: Effective area beginning depth: Bottom maximum depth:
1st Replacement: Application rate: 0.8 Effective area beginning depth: 4 Bottom maximum depth: 8
2nd Replacement: Application rate: 0.8 Effective area beginning depth: 5 Bottom maximum depth: 8

Design Flow = 150 gallons per day per bedroom

Design flow ÷ application rate = square footage of drainfield required

Linear length of trench required = drainfield square footage x sidewall reduction percentage ÷ trench width

Sidewall reduction credit formula:

(W + 2) / (W + 1 + 2D) x 100 = Percent of length of standard trench where W=trench width and D= depth between effective area beginning depth and trench bottom.

Standard design requirements:

- All trenches must be equal length unless low pressure dosed
All trenches must be on contour
Minimum trench spacing: 10' for all trenches utilizing sidewall reduction credit. Additional spacing may be necessary for any trench using over 3.5' of effective sidewall. In those cases, the spacing formula is 2D +W up to a maximum spacing of 18'.
Minimum trench spacing for trenches with no sidewall credit (bottom area only) is 6' for a 2' wide trench and 9' for a 3' wide trench (spacing is measured edge to edge)
Maximum trench length is 100'
Maximum pipe depth is 4'

Additional requirements:

Approved: RBuckley Date: 3/29/2016

LOT 7

2/13/1978 Perc Test - Pass
~~12/12/1978~~
5/19/2003 Perc Test - Pass

LOT 4

Wall
check OK
reb 7/25/2007

#12435
Lime
Kib

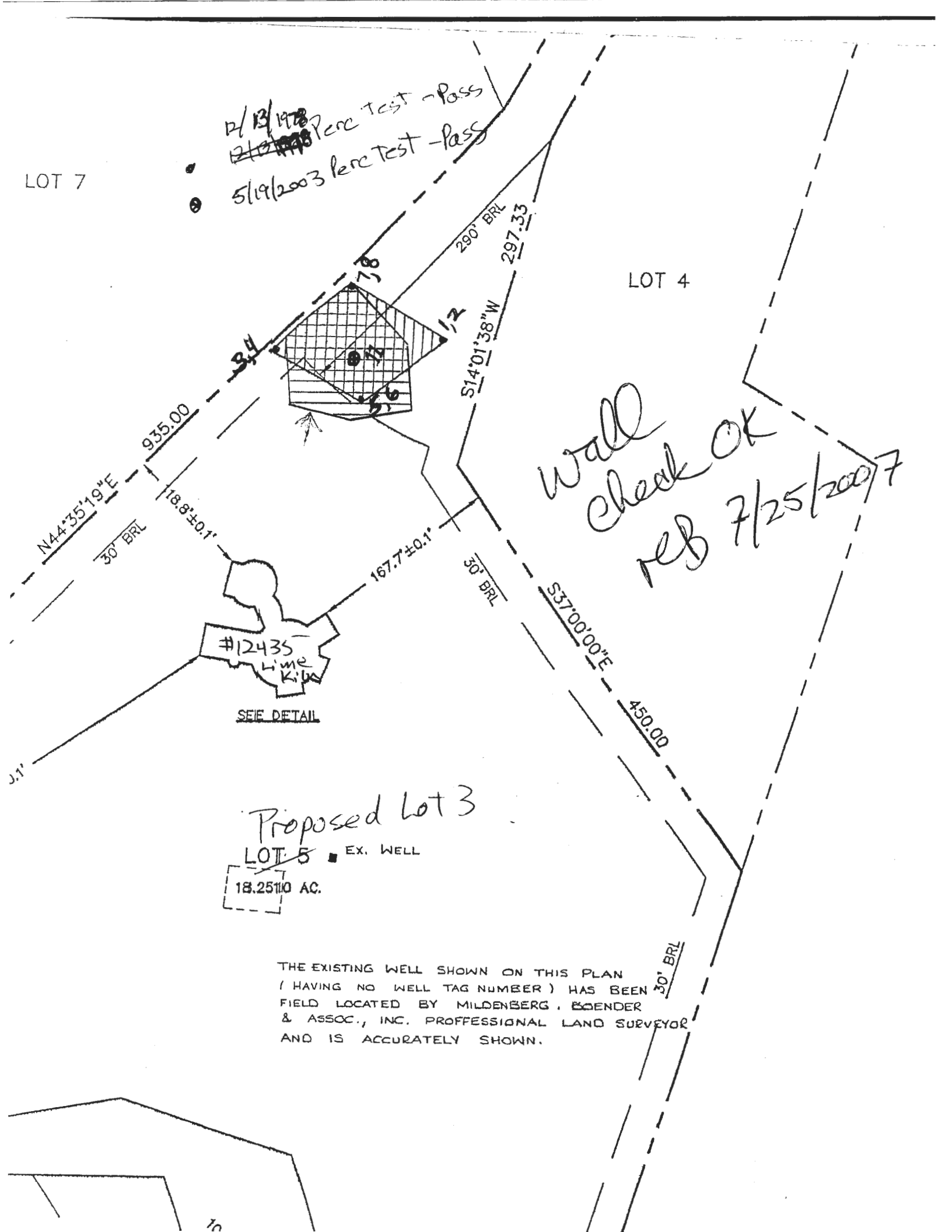
SEE DETAIL

Proposed Lot 3

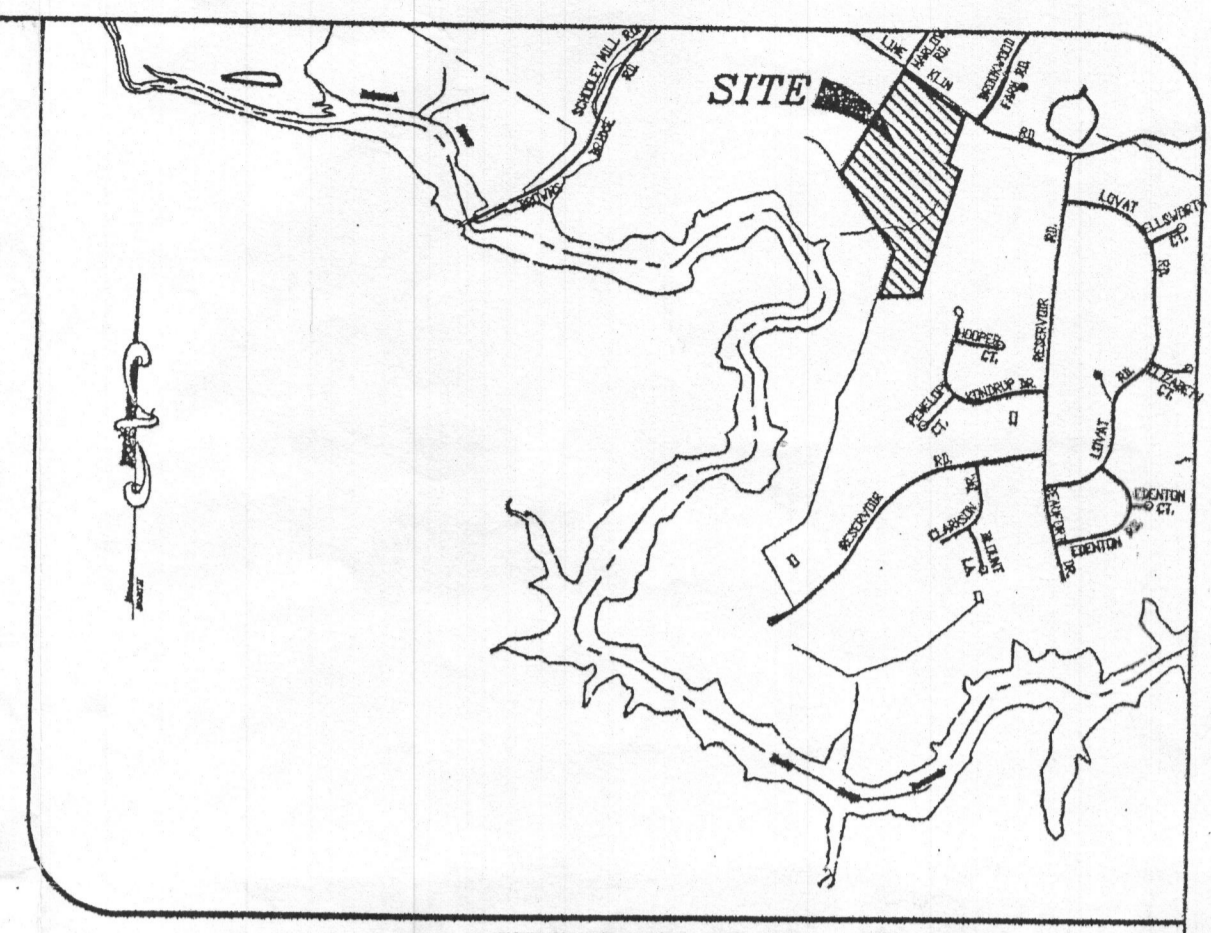
LOT 5 ■ EX. WELL

18.25110 AC.

THE EXISTING WELL SHOWN ON THIS PLAN
(HAVING NO WELL TAG NUMBER) HAS BEEN
FIELD LOCATED BY MILDENBERG, BOENDER
& ASSOC., INC. PROFESSIONAL LAND SURVEYOR
AND IS ACCURATELY SHOWN.



02-076.dwg/aurv_canna.dwg



Project	02-076	date	09/26/05
Illustration	TMH	engineering	
Scale	AS-BUILT	approval	
Sheet	SEP PLAN		

No.	1.	AS-BUILT	WELL	LOCATION	7/11/07
				DESCRIPTION	DATE
				REVISIONS	

ZIMMERMAN PROPERTY
 LOT 5
 TAX MAP 45, PARCEL 59
 FIFTH ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND
WALL CHECK / AS-BUILT SURVEY

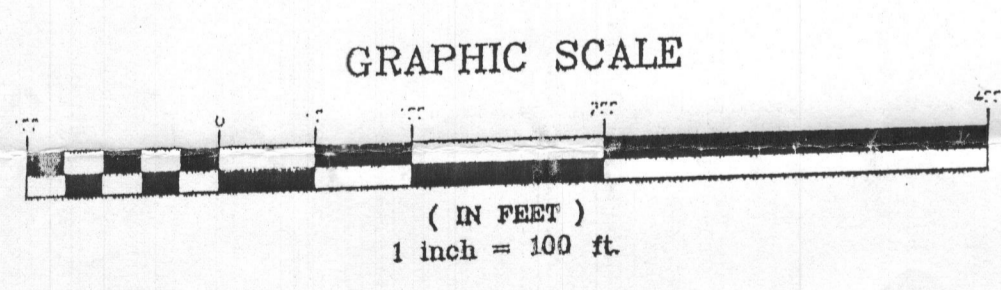
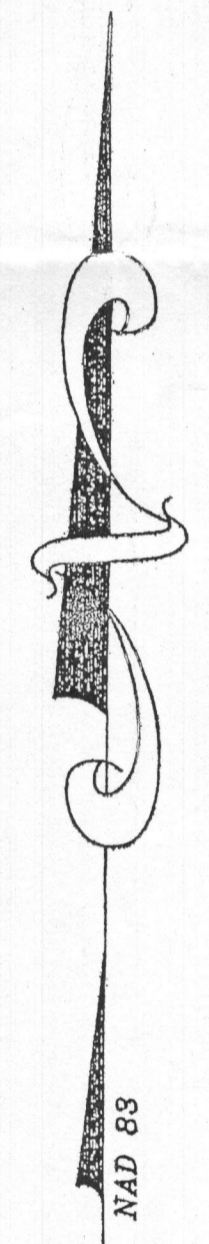
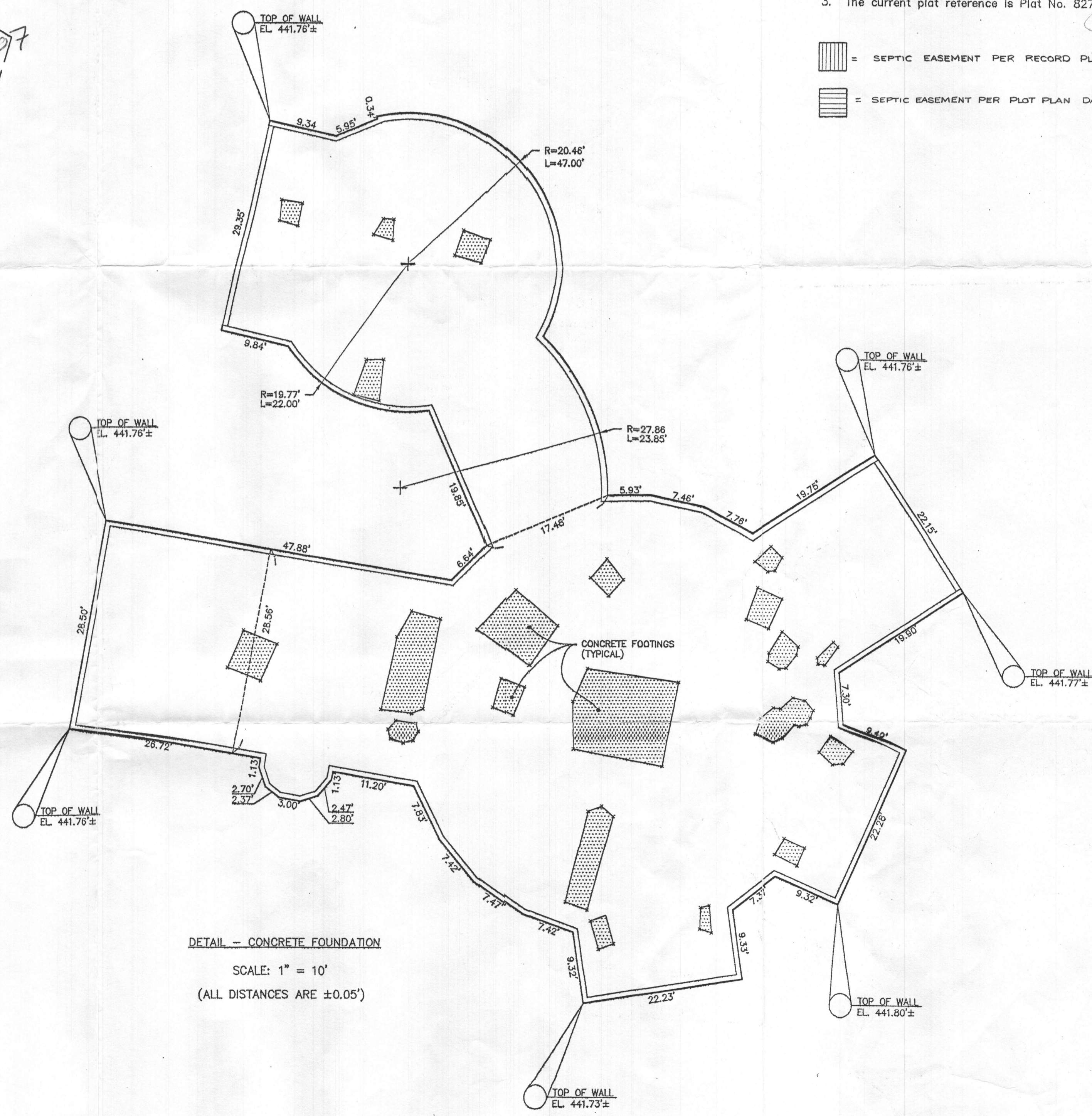
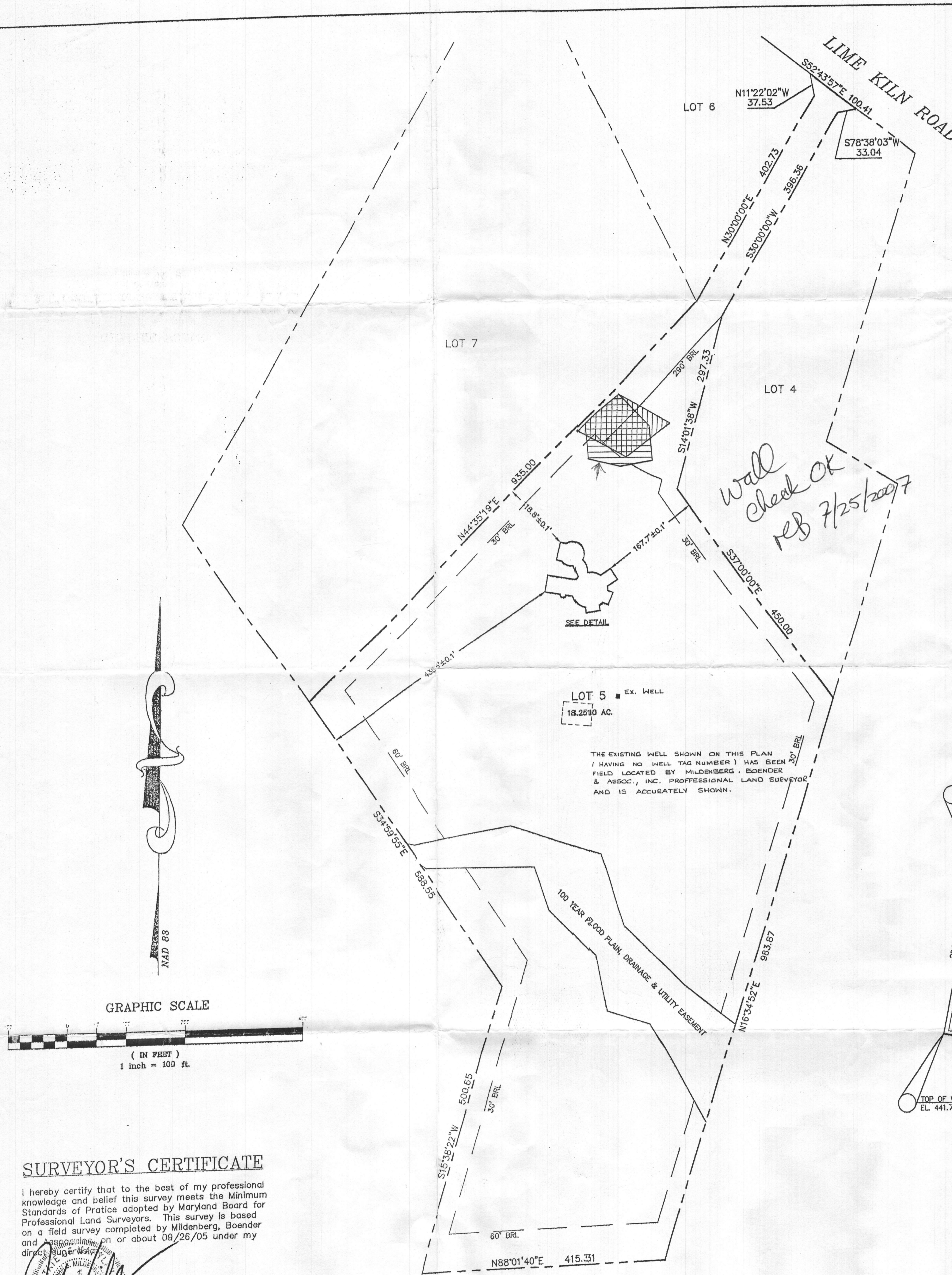
MILDENBERG, BOENDER & ASSOC., INC.
 Engineers Surveyors
 Planners
 5072 Dorsey Hall Drive, Suite 202, Ellicott City, Maryland 21042
 (410) 997-0286 Dcd. (301) 621-6621 Wash. (410) 862-0286 Fax

SURVEYOR'S NOTES

- This survey was completed in NAD83 datum.
- This survey was completed without the benefit of a recent title report and does not indicate easements and/or other conveyances which may have been discovered.
- The current plat reference is Plat No. 8278. *F8932*

- = SEPTIC EASEMENT PER RECORD PLAT # 4260
- = SEPTIC EASEMENT PER PLOT PLAN DATED AUG 2004 *F79131*

Wall Check



SURVEYOR'S CERTIFICATE

I hereby certify that to the best of my professional knowledge and belief this survey meets the Minimum Standards of Practice adopted by Maryland Board for Professional Land Surveyors. This survey is based on a field survey completed by Mildenberg, Boender and Associates, on or about 09/26/05 under my direct supervision.

John Mildenberg
 JOHN MILDENBERG
 Professional Land Surveyor
 Maryland, No. 41018