

Approved 4/30/24

-HO.

Record Detail * (This section is required.)

Permit Type	Permit Number	Opened Date
Building/Residential/Misc/Deck	B24001417	04/19/2024

Description of Work

SFD/Build a three level composite deck. Ground level 30x20 open deck, second level 24x10 open deck, third level 18x14 open deck with a 12x12 Octagon.

Online BP assigned to HO.

gjs 4/22/24

[check spelling](#)

Address * (This section is required.)

Search Reset Clear Get Parcel & Owner

Street #	Street Name	Street Type	
16024	PHEASANT RIDGE	CT	
Unit Type	Unit #	X Coordinate	Y Coordinate
-Select-		-77.07179	39.29066
City	State	Zip Code	Primary
WOODBINE	MD	21797	Yes

Parcel * (This section is required.)

Search Reset Clear Get Address & Owner

GIS ID *	Parcel	Parcel Area	Land Value	Improved Value	Exemption Value	Plan Area
901563	334	3.46	107450	805500	0	RURAL
Legal Description						
LOT 9 3.469 A []16024 PHEASANT RIDGE CT []WARFIELDS GRANT SEC 1 A1						

[check spelling](#)

Block	Lot	Census Tract	Council Dist	Inspection Dist	Supervisor Dist	Map #	DAP Zone
	9	605601	5				
Plan Area	State Tax Id	Subdivision Name					
	1404352327	WARFIELD'S GRANT					
Section	Area	Tax Map					
		13					
Grid	Zoning District	ADC Map					
13-24	RC-DEO	4811-J4					
SDP No.	Final Plan No.	WP File No.					
	F-90-056						
Record Plat No.	WS Contract No.	FDP No.	Primary				
9802			Yes				
Owner Occupied	Year Built	Historic District					
<input type="radio"/> Yes <input type="radio"/> No	2000	<input type="radio"/> Yes <input checked="" type="radio"/> No					
Historic District Registry No.	Stat Area	Flood Plain					
	4-08	<input type="radio"/> Yes <input checked="" type="radio"/> No					
Building No							

Owner * (This section is required.)

Search Reset Clear

Name *
STICKI

Address Line 1
16024 PHEASANT RIDGE CT

Address Line 2

Address Line 3

Mail City

WOODBINE

Mail State
MD

Mail Zip Code
21797

Phone
301-306-1028

Primary
Yes

E-mail
info@longcreekconstruction.com

Cell Number Fax Number

Professionals (This section is not required.)

License #	Business Name		
08050129026	LONG CREEK CONSTRUCTION LTD		
License Type	First Name	Middle Name	Last Name
MHIC Co	WYRON		MORALES
Primary	Address Line 1		
Yes	9333 4TH STREET		
	Address Line 2		
	City	State	ZIP Code
	LANHAM	MD	20706-0000
	Phone 1	Phone 2	Fax
	3018528237		
	E-mail		
	WYMORALES@MSN.COM		

Applicant (This section is not required.)

Search As Owner As Lic. Prof As Contact

Type	First Name	MI	Last Name
Applicant	Wyron		Morales
Relationship	Full Name		
Applicant	WYRON MORALES		
Primary	Organization Name		
Yes	Long Creek Construction		
	Street Address		
	9333 4th ST		
	Address Line 2		
	City	State	Zip Code
	Lanham	MD	20706
	Phone	Cell	Fax
	301-306-1028		
	E-mail		
	info@longcreekconstruction.com		

Addtl Info

Est Construction Cost	Housing Units	Number of Buildings	Public Owned
70000	0	0	No
Construction Type			
434 - Additions, Alterations and Conversions - Residential			

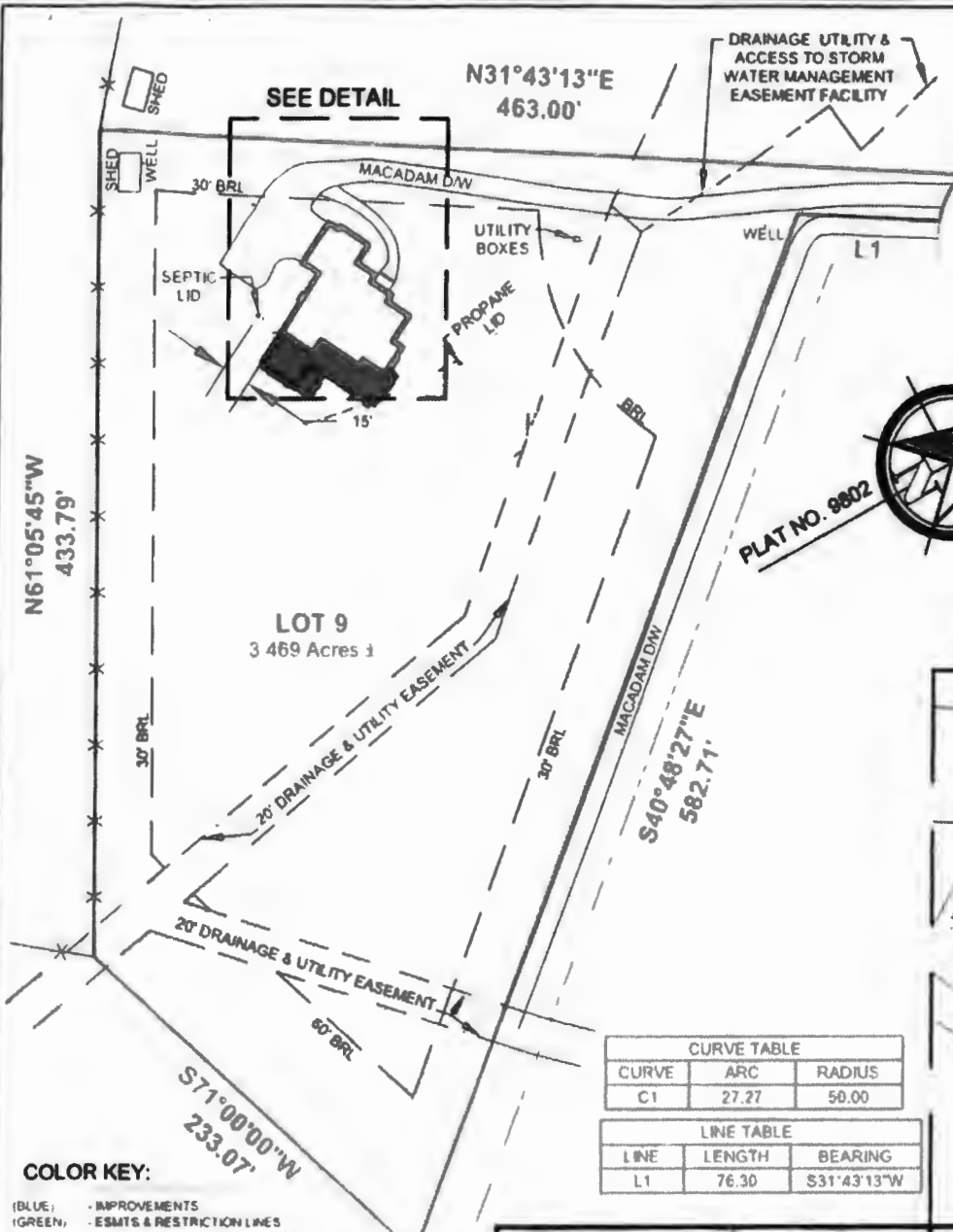
MISC PERMIT INFO

MISCELLANEOUS PERMIT INFORMATION

Capital Project-No Fee	Capital Project Number	Fee Exempt	Roadside Tree Project Permit	Roadside Tree Project Permit #
<input type="radio"/> Yes <input checked="" type="radio"/> No		(Text) <input type="radio"/> Yes <input checked="" type="radio"/> No	<input type="radio"/> Yes <input checked="" type="radio"/> No	(Text)
Existing Use	Water	Sewage	Expiration Date	
SFD	Private	Private	10/19/2024	

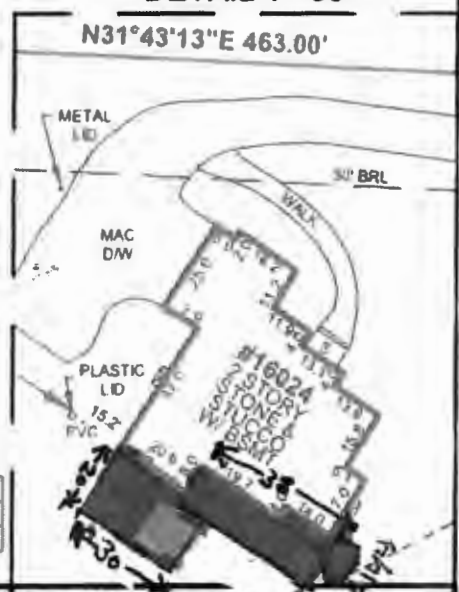
B24001417
 Approved
 site plan.
 -40

**PHEASANT
 RIDGE COURT**



- LEGEND:**
- FENCE
 - BE - BASEMENT ENTRANCE
 - BW - BAY WINDOW
 - BR - BRICK
 - BRL - BLDG. RESTRICTION LINE
 - BMT - BASEMENT
 - CS - CONCRETE STOOP
 - CONC - CONCRETE
 - DW - DRIVEWAY
 - UP - UTILITY POLE
 - FR - FRAME
 - MAC - MACADAM

DETAIL 1"=50'



CURVE TABLE		
CURVE	ARC	RADIUS
C1	27.27	50.00

LINE TABLE		
LINE	LENGTH	BEARING
L1	76.30	S31°43'13"W

COLOR KEY:
 (BLUE) - IMPROVEMENTS
 (GREEN) - ESMTS & RESTRICTION LINES

LOCATION DRAWING OF:
**#16024 PHEASANT
 RIDGE COURT**
LOT 9
SECTION 1
WARFIELD'S GRANT
PLAT NO. 9802
HOWARD COUNTY, MARYLAND



THIS DOCUMENT IS CERTIFIED TO:



SCALE: 1"=100' DATE: 04-12-2024
 DRAWN BY: B.G. FILE #: 242774-736

CASE #:



SURVEYOR'S CERTIFICATE

I HEREBY STATE THAT I WAS IN RESPONSIBLE CHARGE OVER THE PREPARATION OF THIS DRAWING AND THE SURVEY WORK REFLECTED HEREIN AND IT IS IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN REGULATION 12 CHAPTER 08 13.06 OF THE CODE OF MARYLAND ANNOTATED REGULATIONS. THIS SURVEY IS NOT TO BE USED OR RELIED UPON FOR THE ESTABLISHMENT OF FENCES, BUILDING, OR OTHER IMPROVEMENTS. THIS PLAT DOES NOT PROVIDE FOR THE ACCURATE IDENTIFICATION OF PROPERTY BOUNDARY LINES, BUT SUCH IDENTIFICATION MAY NOT BE REQUIRED FOR THE TRANSFER OF TITLE OR SECURING FINANCING OR REFINANCING. THIS PLAT IS OF BENEFIT TO A CONSUMER ONLY INsofar AS IT IS REQUIRED BY A LENDER OR A TITLE INSURANCE COMPANY OR ITS AGENTS IN CONNECTION WITH THE CONTEMPLATED TRANSFER, FINANCING OR REFINANCING. THE LEVEL OF ACCURACY FOR THIS DRAWING IS 1/2". NO TITLE REPORT WAS FURNISHED TO NOR DONE BY THIS COMPANY. SAID PROPERTY SUBJECT TO ALL NOTES, RESTRICTIONS AND EASEMENTS OF RECORD. BUILDING RESTRICTION LINES AND EASEMENTS MAY NOT BE SHOWN ON THIS SURVEY. IMPROVEMENTS WHICH IN THE SURVEYOR'S OPINION APPEAR TO BE IN A STATE OF DISREPAIR OR MAY BE CONSIDERED "TEMPORARY" MAY NOT BE SHOWN. IF IT APPEARS ENCROACHMENTS MAY EXIST, A BOUNDARY SURVEY IS RECOMMENDED.

A Land Surveying Company

DULEY
and
Associates, Inc.

Serving D.C. and MD.

14604 Elm Street, Upper Marlboro, MD 20772
 Phone 301-888-1111 Fax: 301-888-1114
 Email: orders@duley.biz On the web: www.duley.biz



Long Creek Construction, Ltd.

9333 4th Street, Lanham, MD 20706

Office: 301.306.1028 or 301.860.1027

EIN #27-3542875 MHIC #129026 VA #2705189765 WDC #420214000157

4/30/2024

Permit# B240001417

16024 Pheasant Ridge Court

Woodbine, MD 21797

Addressing Comments:

- As mentioned in previous emails, the sewage easement was moved to the upper left-hand corner of the lot. Please delete the platted easement shown on this plan. The office will not approve a deck edge inside an easement
- Once the site plan has been revised, please submit it along with a description of the change to the deck dimension from 30 x 20.6' to 20' x 20.6'. You will also need to update the construction drawing. Once I see the revisions in the system, I will approve the building permit.

Response:

- The platted sewage easement has been removed from the site plan as instructed.
- The site plan has been revised to show the scope of the deck to be 30x20.6. The construction drawings do not need to be revised as they are consistent with the revised site plan shown to scale 1:50.

Kind Regards,

Wyron Morales

Wyron Morales, Project Manager

Oswald Jr, Woodin

From: Oswald Jr, Woodin
Sent: Tuesday, April 23, 2024 7:50 AM
To: WYMORALES@MSN.COM
Cc: info@longcreekconstruction.com
Subject: B240001417_16024 Pheasant Ridge Court_Proposed Decks
Attachments: sda.pdf; as built drawing.pdf; Well and On-site Sewage Disposal System Setbacks 10-2402018 (1).pdf

Hi Mr. Morales,

The site plan provided with the building permit (B24000147) application for 16024 Pheasant Ridge Court shows the sewage disposal area (SDA) in the wrong location. In June of 2000, during the installation of the septic tank, ground water was encountered. At that time, additional testing was done, and seasonally high water tables were encountered within the area. This led the inspector to move the SDA to the corner of the lot (see attachment labeled "sda" for location). Also attached, is a copy of the as-built drawing showing the location of the well and septic system components.

Please revise the site plan to **1:50 scale** and show the well, septic system components, and SDA locations meeting the required setback distances. Please see attachment for a list of required well and septic system setbacks. Once the plan has been revised, please forward a copy to me before uploading the revision to the permit system.

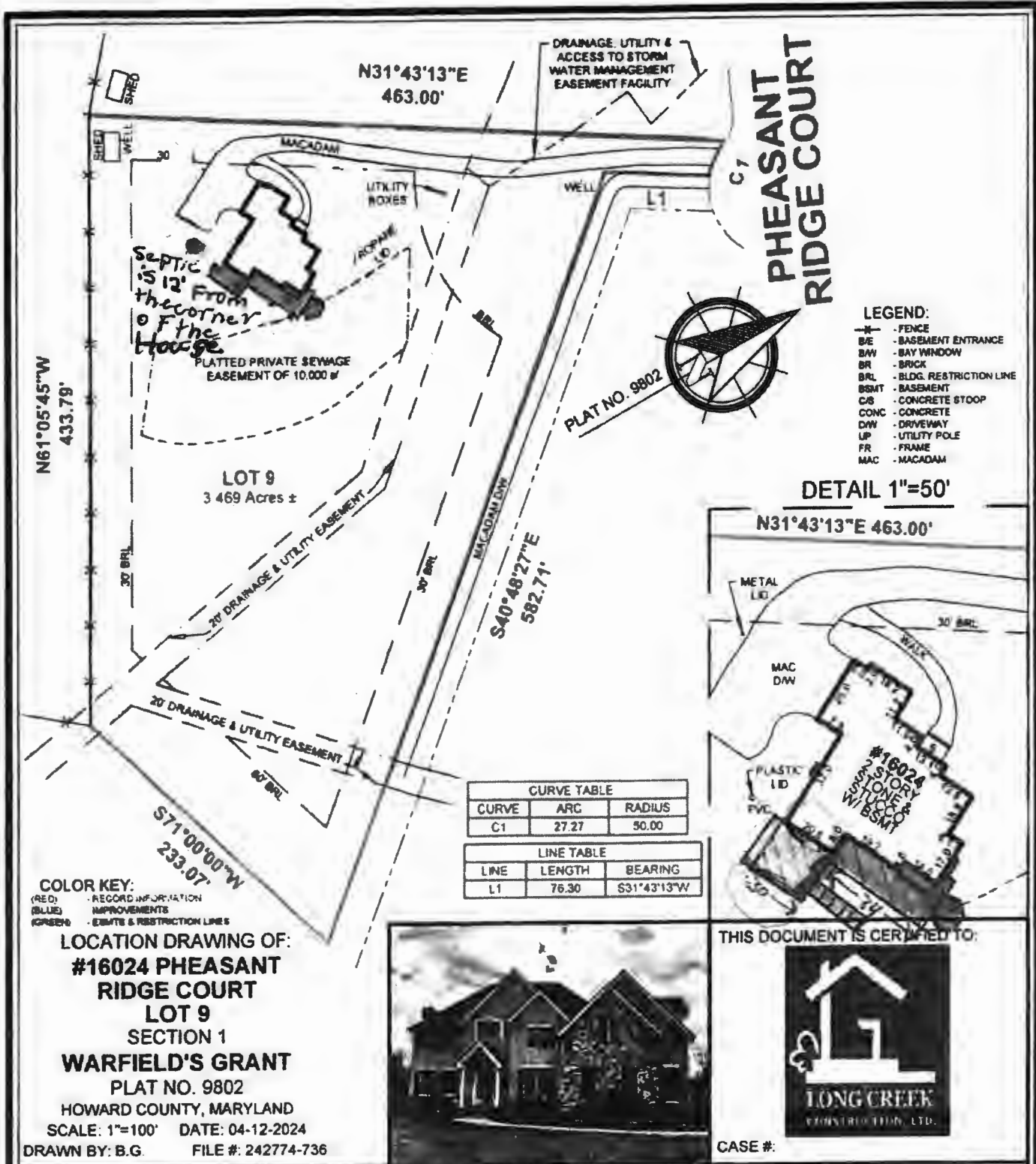
Should you have any questions, please don't hesitate to ask.

Regards,

Hank

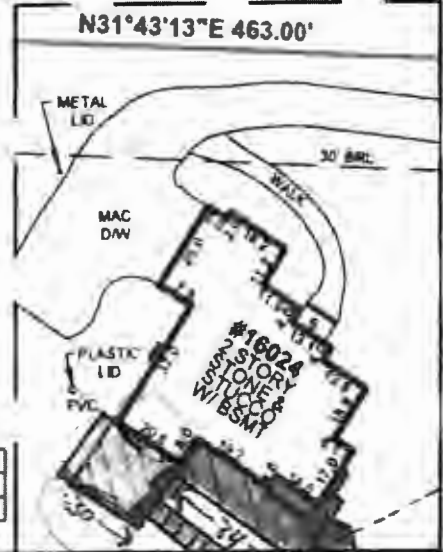
Hank Oswald
Licensed Environmental Health Specialist
Bureau of Environmental Health
Howard County Health Department
8930 Stanford Blvd. Columbia, MD 21045
(410) 313 - 1786
www.hchealth.org

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DETAIL 1"=50'



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LOCATION DRAWING OF:
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A Land Surveying Company

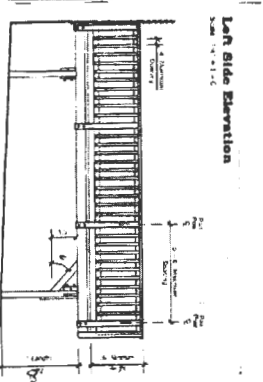
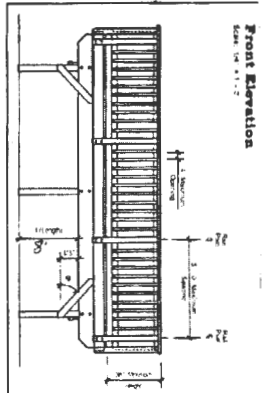
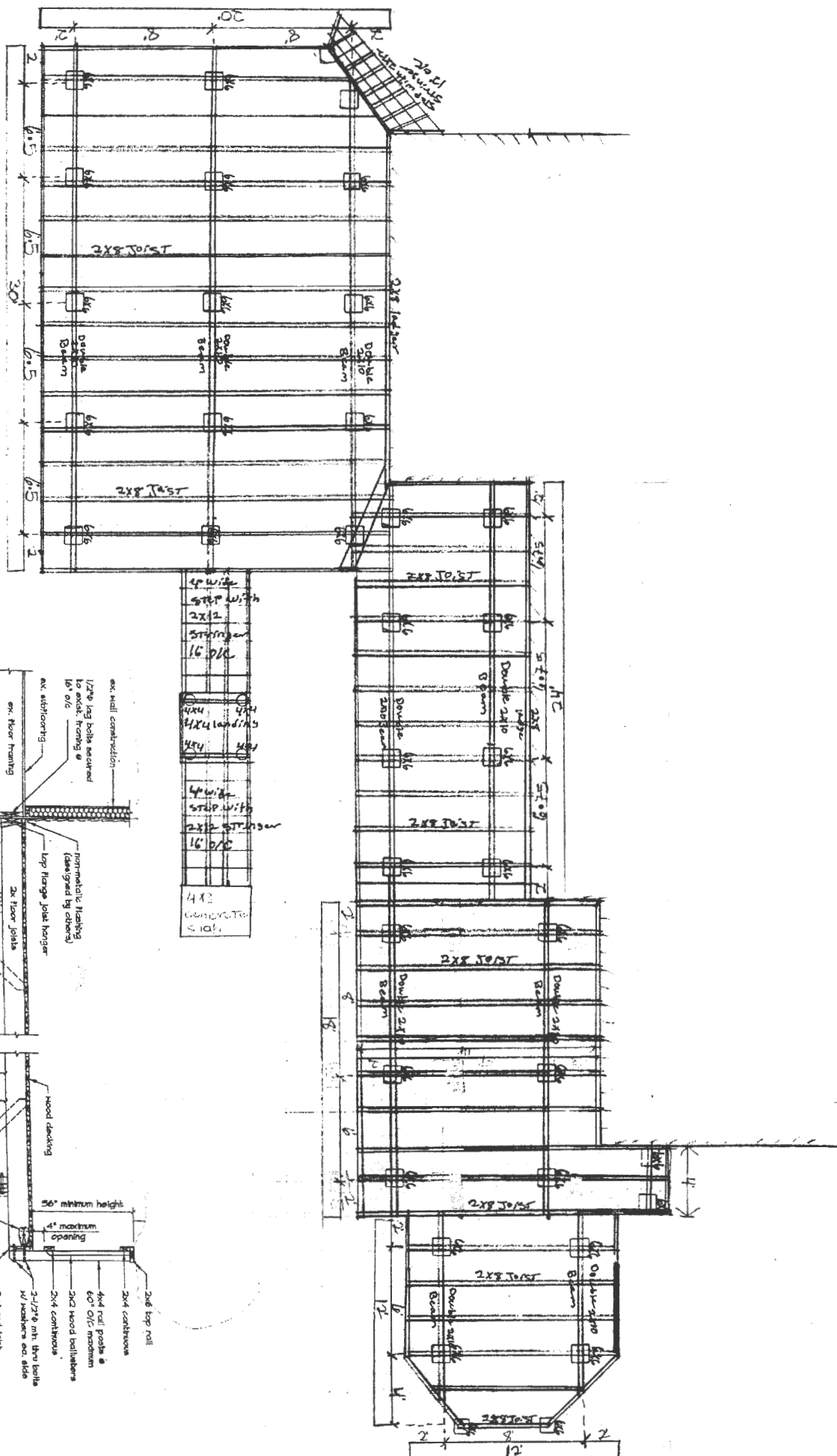
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Serving D.C. and MD.

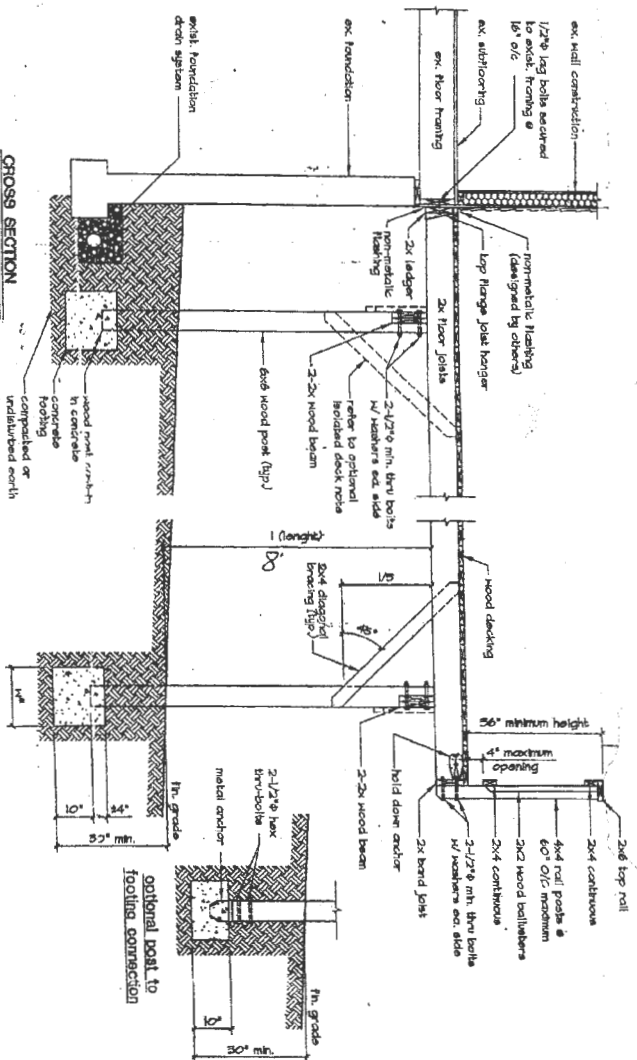
14604 Elm Street, Upper Marlboro, MD 20772
 Phone 301-888-1111 Fax: 301-888-1114
 Email orders@duley.biz On the web: www.duley.biz







CROSS SECTION
SCALE: 1/2" = 1'-0"



9/22/00
ASAP -
water @ tank
hole

A 352327

PERMIT

SEWAGE DISPOSAL SYSTEM
HOWARD COUNTY HEALTH DEPARTMENT
BUREAU OF ENVIRONMENTAL HEALTH
410-313-2640

P 513642
A 42613
ISSUE DATE 6/20/2000
APPROVAL DATE 8/8/00

INDEXED

C & C Utility Services, Inc. IS PERMITTED TO INSTALL ALTER

ADDRESS 7398 Gaither Road, Sykesville, MD 21784 PHONE 410-549-4987

SUBDIVISION Warfields Grant I LOT NUMBER 9 ADDRESS 16024 Pheasant Ridge Court

PROPERTY OWNER Stephen & Nicole Stickey PROPERTY OWNER'S ADDRESS 3208 St Augustine Court

SEPTIC TANK CAPACITY 1250 GALLONS

PUMP CHAMBER CAPACITY N/A GALLONS

NUMBER OF BEDROOMS 4

SQUARE FEET PER BEDROOM 180

LINEAR FEET OF TRENCH REQUIRED 240 | 180

TRENCHES: Trenches to be 3.0 feet wide. Inlet 3.5 feet below original grade. Bottom maximum depth 5.0 feet below original grade. 3 feet of stone below distribution box.

LOCATION: Starting from the intersection of the 463.00' and the 433.79' lot lines, place the distribution box 140 feet down the 433.79' lot line and 145 feet off that same lot line. Run trenches on contour in both directions.

6/27/00 INSTALL 3,600' trenches AU

4/21/00 8:15 a.m. spoke to Mr. Lepp - he reports water in septic tank hole. He will dig perc hole and wait for inspector. DS

PLANS APPROVED Amy Mc Millen OF 4/24/00 OIS DATE 3/6/00

PERMIT VOID AFTER 2 YEARS

NOTE: CONTRACTOR RESPONSIBLE FOR SCHEDULING A PRE-CONSTRUCTION INSPECTION FOR ALL INSTALLATIONS

NOTE: TOP OF SEPTIC TANKS ARE TO BE NO DEEPER THAN 3.0 FEET BELOW FINISH GRADE

NOTE: WATERTIGHT SEPTIC TANKS REQUIRED

NOTE: CLEANOUT REQUIRED EVERY 70 FEET OF SEWER LINE AND/OR AT 90° SWEEPS IN LINES FROM HOUSE TO DRAIN FIELDS, 90° ELBOWS ARE NOT ACCEPTABLE

NOTE: ALL PARTS OF SEPTIC SYSTEMS (I.E. TANK, DISTRIBUTION BOX, DRAINFIELDS) TO BE 100 FEET FROM ANY WATER WELL UNLESS OTHERWISE SPECIFICALLY AUTHORIZED

NOTE: NO ABSORPTION TRENCH TO EXCEED 100 FEET IN LENGTH UNLESS SPECIFICALLY AUTHORIZED

NOTE: ALL PIPE FROM HOUSE TO SEPTIC TANK MUST BE CAST IRON OR SCHEDULE 35/40 PVC OR ABS

NOTE: MANHOLE RISERS REQUIRED ON ALL SEPTIC TANKS AND PUMP CHAMBERS

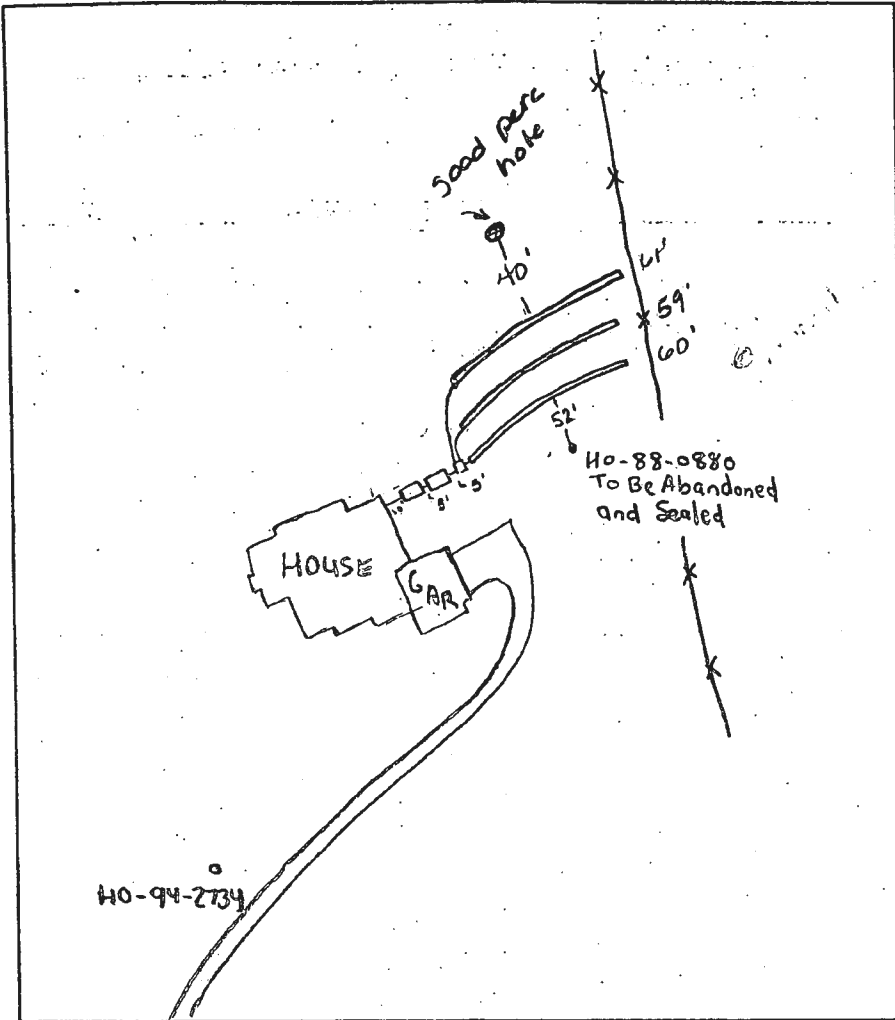
NOTE: DISTRIBUTION BOXES MUST HAVE BAFFLES

NOTE: IF PUMPED SEPTIC SYSTEM REQUIRED, (1) SEPTIC PUMP DETAIL TO BE PROVIDED BY INSTALLER PRIOR TO ISSUANCE OF SEPTIC PERMIT (2) PUMP PERFORMANCE TEST IS NECESSARY PRIOR TO HEALTH DEPARTMENT APPROVAL OF SEPTIC PERMIT

NEITHER THE HOWARD COUNTY COUNCIL NOR THE HEALTH DEPARTMENT IS RESPONSIBLE FOR THE SUCCESSFUL OPERATION OF ANY SYSTEM
PERMITTEE RESPONSIBLE FOR OBTAINING FINAL APPROVAL ON THIS PERMIT
CALL 410-313-2640 FOR INSPECTION OF SEPTIC SYSTEM

42613

NOT TO SCALE



TRENCH DATA

TRENCH WIDTH 3.0
TRENCH INLET DEPTH 3.5
TRENCH BOTTOM DEPTH 6.5
DEPTH OF STONE 3.0
NUMBER OF TRENCHES 3
TOTAL TRENCH LENGTH 180
ABSORBENT AREA 720
DISTRIBUTION BOX LEVEL OK
BAFFLE IN DISTRIBUTION BOX

SEPTIC TANK DATA

SEPTIC TANK 1250 GALLONS
MANHOLE RISER
6 INCH INSPECTION PORT

PUMP CHAMBER DATA

PUMP CHAMBER GALLONS 1250
MANHOLE RISER
ALARM N/A
PUMP PERFORMANCE TEST N/A

PRE-CONSTRUCTION INSPECTION: _____

INSPECTION COMMENTS: 6/27/00 Recorded SAA has H₂O at high end @ 60' Percs higher on lot OK but well needs to be moved. Install septic trenches at high end of new SAA or 2nd highest area if a future pump chamber is installed maintain 25' off abandoned well ok 8/8/00 Trenches OK - Repair area is below ex. system & future pump above all

INSPECTOR A. McMill

DATE SYSTEM APPROVED 8/8/00

10/10/00
It looks like the
parking pad can come
35' out from the edge of the
garage & not encroach
on the septic area.
4/21/00
DECK ADDED BY
AMENDMENT
OK

Total linear feet of trench
required 240 feet

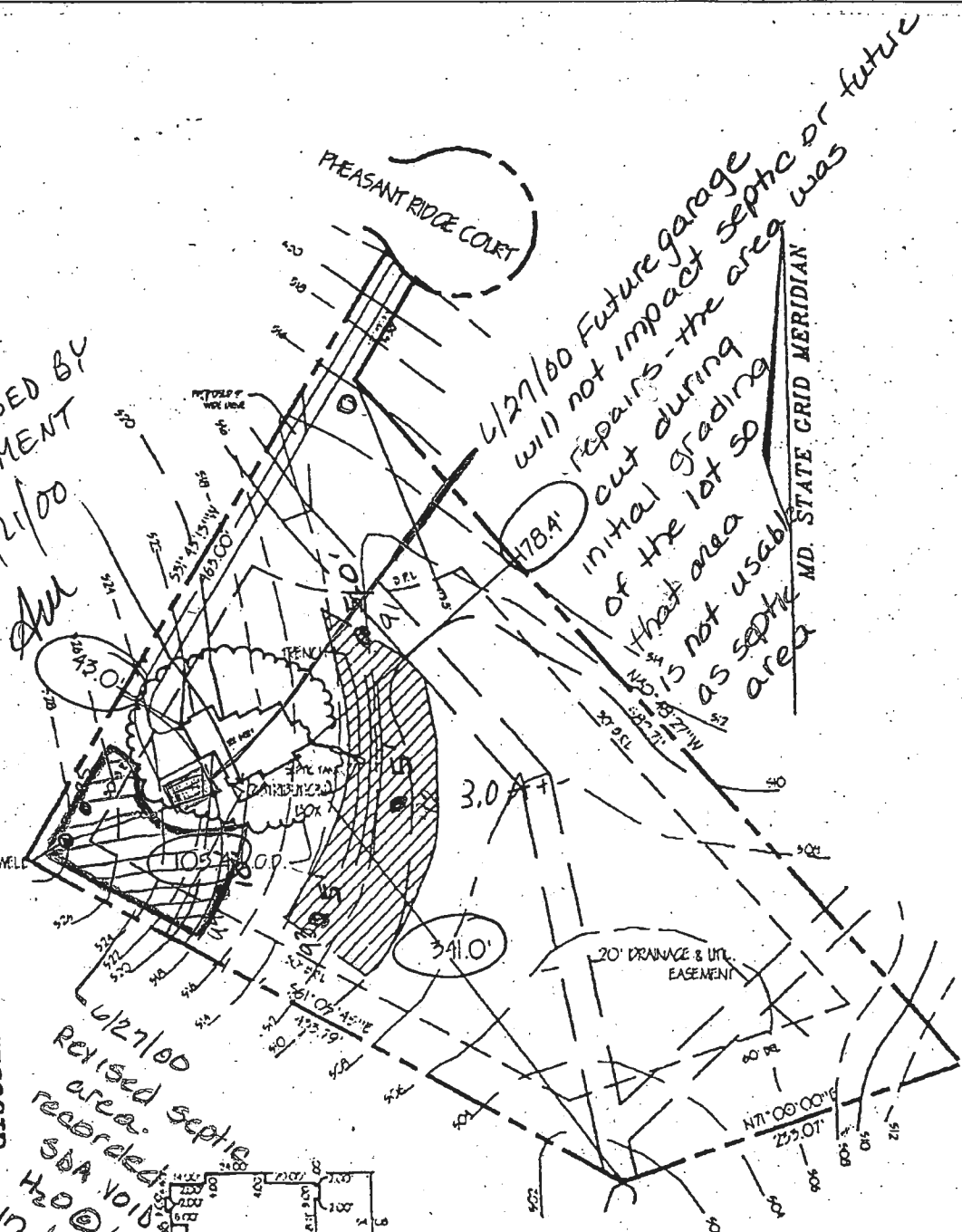
Width of trench(es) 3.0 feet

Depth of trench(es) 5.0 feet

Depth of stone required below
distribution pipe 1.5 feet

6/27/00
Revised septic
area
rebraded
SBA void
H₂O @ 6.0'
in high edge
This is sufficient
area for an
initial system
& repair

- GENERAL NOTES**
- ELEVATIONS
 - BASEMENT: 615.0
 - FIRST FLOOR 523.0
 - INVERT OUT OF HOUSE: 510.7
 - INVERT INTO SEPTIC TANK 510.5



6/27/00 Future garage
will not impact septic or future
repairs - the area was
cut during initial grading
of the lot so
that area is not usable
as septic area

**PLOT PLAN FOR PROPOSED
SINGLE FAMILY DWELLING**
DATE: 2/16/00
SCALE: AS SHOWN

BUILDER: TRADITION HOME BUILDERS INC.
4640 TEN OAKS ROAD
DAYTON, MARYLAND, 21038
(410) 631-9203

PREPARED BY:
MARKS & ASSOCIATES L.L.C.
4531 COLLEGE AVENUE
SILVER SPRING, MARYLAND 21018

Oswald Jr, Woodin

From: Oswald Jr, Woodin
Sent: Tuesday, April 30, 2024 7:57 AM
To: 'info longcreekconstruction.com'
Subject: RE: B240001417_16024 Pheasant Ridge Court_Proposed Decks

Hi Kathleen,

The drawing on the right under Detail 1"=50' shows a house width of 20.6 feet and a proposed deck width of 30'. Shouldn't the deck width be 20.6 feet? Also, as mentioned in previous emails, the sewage easement was moved to the upper left hand corner of the lot. Please delete the platted easement shown on this plan. The office will not approve a deck edge inside an easement.

Once the site plan has been revised, please submit it along with a description of the change to the deck dimension from 30 x 20.6' to 20' x 20.6'. You will also need to update the construction drawing. Once I see the revisions in the system, I will approve the building permit.

Please let me know if you have any questions.

Thanks,

Hank

Hank Oswald
Licensed Environmental Health Specialist
Bureau of Environmental Health
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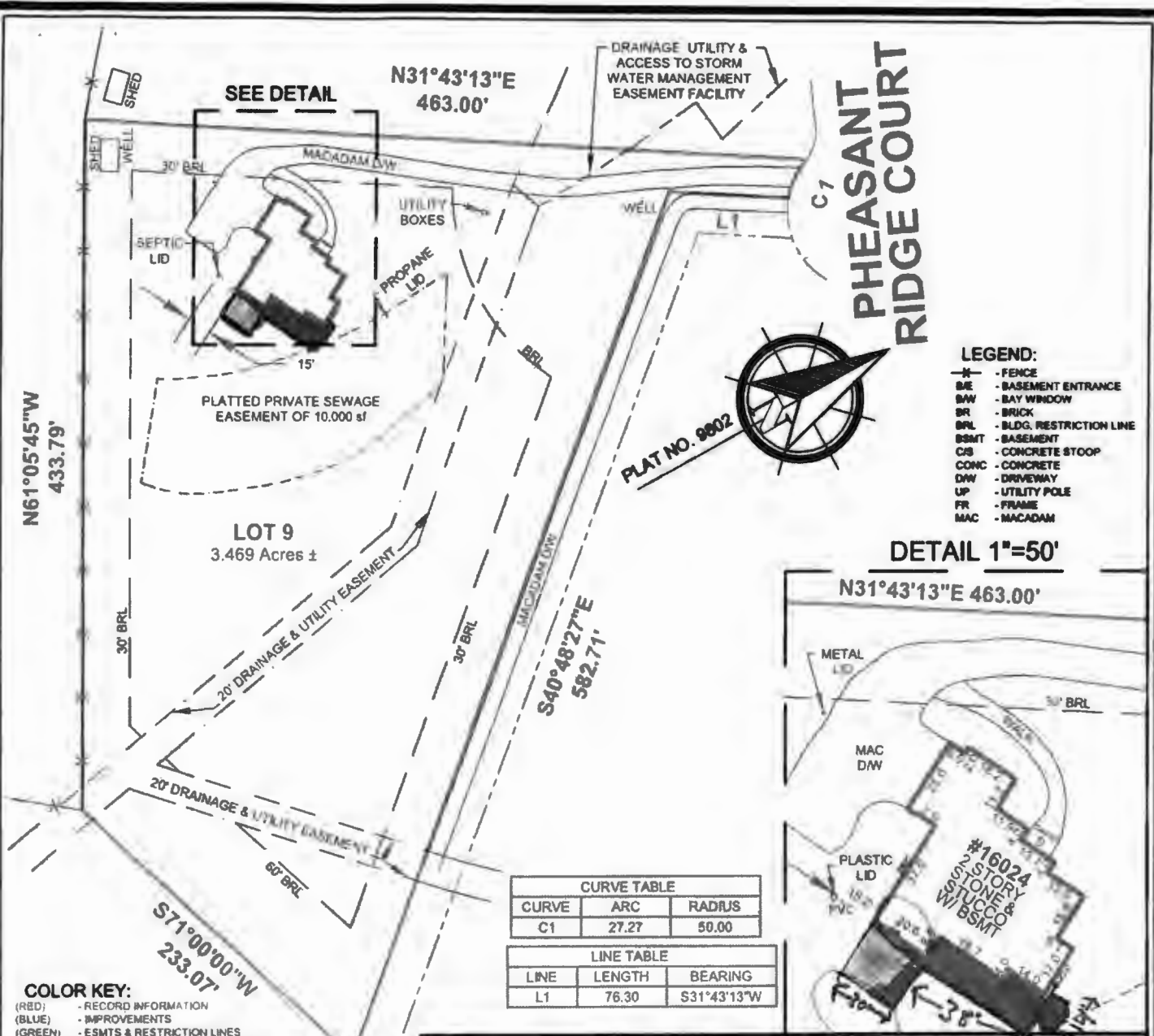
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From: info longcreekconstruction.com <info@longcreekconstruction.com>
Sent: Monday, April 29, 2024 2:38 PM
To: Oswald Jr, Woodin <hoswald@howardcountymd.gov>
Subject: Re: B240001417_16024 Pheasant Ridge Court_Proposed Decks

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

Hank,

See the attached revised site plan.

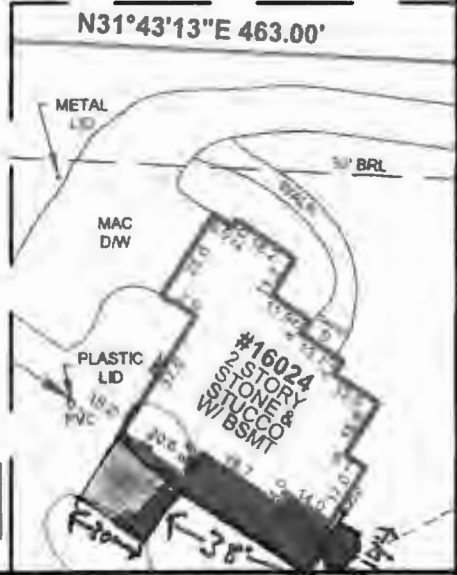


PHEASANT RIDGE COURT

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14604 Elm Street, Upper Marlboro, MD 20772

Phone: 301-888-1111 Fax: 301-888-1114

Email: orders@duley.biz On the web: www.duley.biz

Kind regards,

Kathleen
Office Manager
301-306-1028



From: Oswald Jr, Woodin <hoswald@howardcountymd.gov>
Sent: Thursday, April 25, 2024 2:42 PM
To: info longcreekconstruction.com <info@longcreekconstruction.com>
Cc: Silvast, Zackary <zsilvast@howardcountymd.gov>
Subject: RE: B240001417_16024 Pheasant Ridge Court_Proposed Decks

Hi Kathleen,

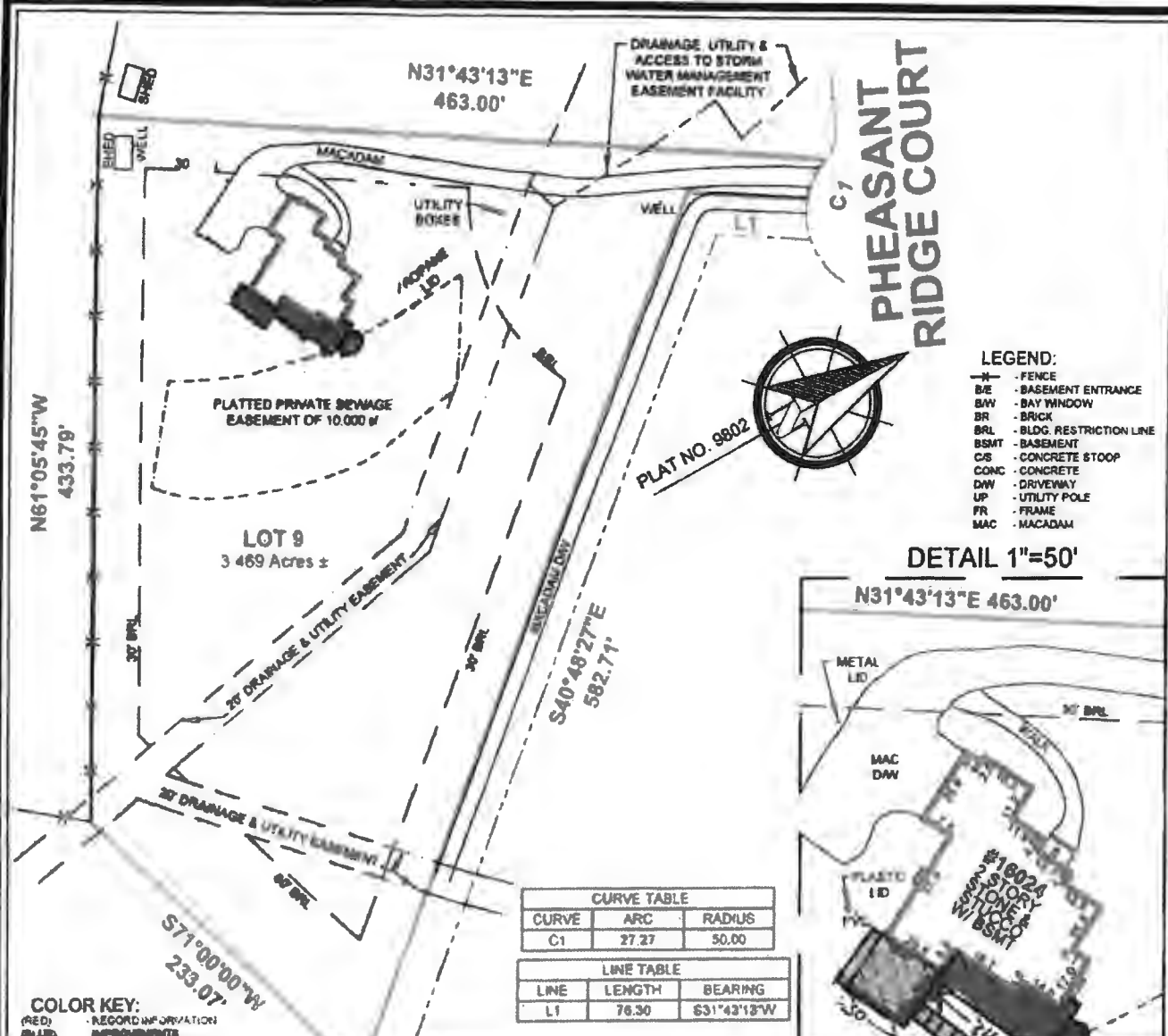
I am not sure if you saw my email response to Mr. Morales on Tuesday. Please see correspondence highlighted in blue. I am looping my supervisor in on this discussion. The original site plan plus the two site plans submitted today were all 1:100 scale and showed the SDA in the wrong location. As mentioned, SDA was moved to the corner of the lot for reasons outlined in my email. In addition, 1:100 scale is too small for me to confirm setback distances. I need a more zoomed in site plan that shows the lot, house site, proposed decks, the well and septic system components. A site plan with a 1:50 scale should be fine. Perhaps you can request a more zoomed in version from the original surveyor. Please let me know if you have any questions.

The site plan provided with the building permit (B24000147) application for 16024 Pheasant Ridge Court shows the sewage disposal area (SDA) in the wrong location. In June of 2000, during the installation of the septic tank, ground water was encountered. At that time, **additional testing was done, and seasonally high water tables were encountered within the area. This lead the inspector to move the SDA to the corner of the lot (see attachment labeled "sda" for location).** Also attached, is a copy of the as-built drawing showing the location of the well and septic system components.

Please revise the site plan to 1:50 scale and show the well, septic system components, and SDA locations meeting the required setback distances. Please see attachment for a list of required well and septic system setbacks. Once the plan has been revised, please forward a copy to me before uploading the revision to the permit system.

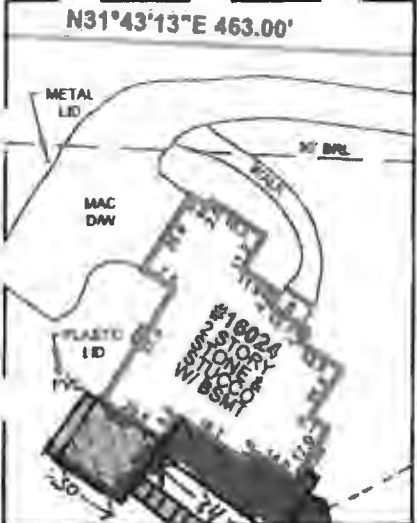
Hank Oswald
Licensed Environmental Health Specialist
Bureau of Environmental Health
Howard County Health Department
8930 Stanford Blvd. Columbia, MD 21045
(410) 313 - 1786
www.hchealth.org

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- LEGEND:**
- #- FENCE
 - BAE- BASEMENT ENTRANCE
 - BAW- BAY WINDOW
 - BR- BRICK
 - BRL- BLDG. RESTRICTION LINE
 - BSMT- BASEMENT
 - CS- CONCRETE STOOP
 - CONC- CONCRETE
 - D/W- DRIVEWAY
 - UP- UTILITY POLE
 - FR- FRAME
 - MAC- MACADAM

DETAIL 1"=50'



CURVE TABLE		
CURVE	ARC	RADIUS
C1	27.27	50.00

LINE TABLE		
LINE	LENGTH	BEARING
LT	76.30	S31°43'13"W

COLOR KEY:
 (RED) - RECORD INFORMATION
 (BLACK) - IMPROVEMENTS
 (DASHED) - EASEMENTS & RESTRICTION LINES

LOCATION DRAWING OF:
#16024 PHEASANT RIDGE COURT
LOT 9
SECTION 1
WARFIELD'S GRANT
PLAT NO. 9802
HOWARD COUNTY, MARYLAND



THIS DOCUMENT IS CERTIFIED TO:



CASE #:

SCALE: 1"=100' DATE: 04-12-2024
 DRAWN BY: B.G. FILE #: 242774-736



SURVEYOR'S CERTIFICATE

I HEREBY STATE THAT I WAS IN RESPONSIBLE CHARGE OVER THE PREPARATION OF THIS DRAWING AND THE SURVEY WORK REFLECTED HEREIN AND IT IS IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN REGULATION 12 CHAPTER 08 13.08 OF THE CODE OF MARYLAND ANNOTATED REGULATIONS. THIS SURVEY IS NOT TO BE USED OR RELIED UPON FOR THE ESTABLISHMENT OF FENCES, BUILDING, OR OTHER IMPROVEMENTS. THIS PLAT DOES NOT PROVIDE FOR THE ACCURATE IDENTIFICATION OF PROPERTY BOUNDARY LINES, BUT SUCH IDENTIFICATION MAY NOT BE REQUIRED FOR THE TRANSFER OF TITLE OR SECURING FINANCING OR REFINANCING. THIS PLAT IS OF BENEFIT TO A CONSUMER ONLY INsofar AS IT IS REQUIRED BY A LENDER OR A TITLE INSURANCE COMPANY OR ITS AGENTS IN CONNECTION WITH THE CONTEMPLATED TRANSFER, FINANCING OR REFINANCING. THE LEVEL OF ACCURACY FOR THIS DRAWING IS 1"; NO TITLE REPORT WAS FURNISHED TO NOR DONE BY THIS COMPANY. SAID PROPERTY SUBJECT TO ALL NOTES, RESTRICTIONS AND EASEMENTS OF RECORD. BUILDING RESTRICTION LINES AND EASEMENTS MAY NOT BE SHOWN ON THIS SURVEY. IMPROVEMENTS WHICH IN THE SURVEYOR'S OPINION APPEAR TO BE IN A STATE OF DISREPAIR OR MAY BE CONSIDERED "TEMPORARY" MAY NOT BE SHOWN IF IT APPEARS ENCROACHMENTS MAY EXIST, A BOUNDARY SURVEY IS RECOMMENDED.

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 Email: orders@duley.biz On the web: www.duley.biz

From: info longcreekconstruction.com <info@longcreekconstruction.com>

Sent: Thursday, April 25, 2024 12:47 PM

To: Oswald Jr, Woodin <hoswald@howardcountymd.gov>

Subject: Re: B240001417_16024 Pheasant Ridge Court_Proposed Decks

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

Hank,

We were not able to mark the site plan that small ourselves.

The surveyor made the revisions to the attached site plan.

Let me know if this is acceptable or if any other changes are needed.

Kind regards,

Kathleen
Office Manager
301-306-1028



From: Oswald Jr, Woodin <hoswald@howardcountymd.gov>

Sent: Thursday, April 25, 2024 11:28 AM

To: info longcreekconstruction.com <info@longcreekconstruction.com>; Wyron Morales <wymorales@msn.com>

Subject: RE: B240001417_16024 Pheasant Ridge Court_Proposed Decks

Hi Kathleen,

This information is helpful. However, please reread my last email correspondence, and provide a site plan to those specifications.

Please let me know if you have any questions.

Thanks,

Hank

Hank Oswald
Licensed Environmental Health Specialist
Bureau of Environmental Health
Howard County Health Department
8930 Stanford Blvd. Columbia, MD 21045
(410) 313 - 1786
www.hchealth.org

Please revise the site plan to 1:50 scale and show the well, septic system components, and SDA locations meeting the required setback distances. Please see attachment for a list of required well and septic system setbacks. Once the plan has been revised, please forward a copy to me before uploading the revision to the permit system.

Should you have any questions, please don't hesitate to ask.

Regards,

Hank

Hank Oswald
Licensed Environmental Health Specialist
Bureau of Environmental Health
Howard County Health Department
8930 Stanford Blvd. Columbia, MD 21045
(410) 313 - 1786
www.hchealth.org

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From: info longcreekconstruction.com <info@longcreekconstruction.com>
Sent: Thursday, April 25, 2024 11:17 AM
To: Oswald Jr, Woodin <hoswald@howardcountymd.gov>; Wyron Morales <wymorales@msn.com>
Subject: Re: B240001417_16024 Pheasant Ridge Court_Proposed Decks

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Hank,

Attached are the photos and site plan addressing the setbacks requested in the previous email.

Let us know if anything else is needed. I am including the project manager, Wyron, in this email for convenience.

Kind regards,

Kathleen
Office Manager
301-306-1028



From: Oswald Jr, Woodin <hoswald@howardcountymd.gov>
Sent: Tuesday, April 23, 2024 7:49 AM
To: WYMORALES@MSN.COM <WYMORALES@MSN.COM>
Cc: info longcreekconstruction.com <info@longcreekconstruction.com>
Subject: B240001417_16024 Pheasant Ridge Court_Proposed Decks

Hi Mr. Morales,

The site plan provided with the building permit (B24000147) application for 16024 Pheasant Ridge Court shows the sewage disposal area (SDA) in the wrong location. In June of 2000, during the installation of the septic tank, ground water was encountered. At that time, **additional testing was done, and seasonally high water tables were encountered within the area. This lead the inspector to move the SDA to the corner of the lot (see attachment labeled "sda" for location).** Also attached, is a copy of the as-built drawing showing the location of the well and septic system components.