

Approved
HMC 4/25/24

Record Detail * (This section is required.)

Permit Type Building/Residential/Misc/Deck Permit Number B24000521 Opened Date 02/19/2024

Description of Work
SFD/ construction of a new deck. The project encompasses the construction of a two-tier low-level deck at the rear of the house, with the right side measuring approximately 22'x24' and the left side approximately 16.5'x37'. Additionally, there is a smaller structure in the left side of the house, measuring around 8'x22', with access provided through a staircase comprising approximately 17 steps, each 48" wide.

Online BP.
gB 2/26/24

[check spelling](#)

Address * (This section is required.)

Search Reset Clear Get Parcel & Owner

Street # 7350 Street Name SANNER Street Type RD

Unit Type --Select-- Unit # X Coordinate -76.90041 Y Coordinate 39.16941

City CLARKSVILLE State MD Zip Code 21029 Primary Yes

Parcel * (This section is required.)

Search Reset Clear Get Address & Owner

GIS ID *	Parcel	Parcel Area	Land Value	Improved Value	Exemption Value	Plan Area
847943	368	5	297300	676400	379100	RURAL

Legal Description
IMPV5.000 ACRES[]7350 SANNER RD[]CLARKSVILLE

[check spelling](#)

Block	Lot	Census Tract	Council Dist	Inspection Dist	Supervisor Dist	Map #	DAP Zone
		605102	4				

Plan Area State Tax Id 1405368936 Subdivision Name

Section Area Tax Map 41

Grid 41-10 Zoning District RR-DEO ADC Map 5052-F3

SDP No. Final Plan No. WP File No.

Record Plat No. WS Contract No. FDP No. Primary Yes

Owner Occupied Year Built 1976 Historic District Yes No

Historic District Registry No. Stat Area 5-16C Flood Plain Yes No

Building No

Owner * (This section is required.)

Search Reset Clear

Name * LARSON PHILLIP

Address Line 1 7350 SANNER ROAD

Address Line 2

Address Line 3

Mail City CLARKSVILLE Mail State MD Mail Zip Code 21029

Phone 202-550-7798 Primary Yes

E-mail

Cell Number Fax Number

Professionals (This section is not required.)

License # *
 148673
License Type *
 MHIC Co
Primary
 Yes
Business Name
 NICHOLS SERVICES LLC
First Name **Middle Name** **Last Name**
 GISLAINE RIGO MARCON TABALIPA
Address Line 1
 13925 WAYSIDE DRIVE
Address Line 2

City **State** **ZIP Code**
 CLARKSVILLE MD 21029
Phone 1 **Phone 2** **Fax**
 240-310-6440
E-mail
 ADMIN@NICHOLSDMV.COM

Applicant (This section is not required.)

Search As Owner As Lic. Prof As Contact

Type *
 Applicant
Relationship
 Applicant
Primary
 Yes
First Name **MI** **Last Name**
 Gislaire Tabalipa
Full Name
 Gislaire Tabalipa
Organization Name
 Nichols Services LLC
Street Address
 21821 Glendalough Rd
Address Line 2

City **State** **Zip Code**
 Gaithersburg MD 20882
Phone **Cell** **Fax**
 240-310-6440 240-310-6440
E-mail *
 admin@nicholsdmv.com

Addtl Info

Est Construction Cost * **Housing Units *** **Number of Buildings *** **Public Owned**
 68000 0 0 No
Construction Type
 434 - Additions, Alterations and Conversions - Residential

MISC PERMIT INFO

MISCELLANEOUS PERMIT INFORMATION

Capital Project-No Fee * **Capital Project Number** **Fee Exempt *** **Roadside Tree Project Permit *** **Roadside Tree Project Permit #**
 Yes No Yes No Yes No
Existing Use * **Water** **Sewage** **Expiration Date**
 SFD Private Private 8/20/2024

Submit Cancel

Phillip Larson
7350 Sanner Road,
Clarksville, MD 21029
philliplarson@gmail.com
(202)550-7798

approved
SA
4/25/24

April 25, 2024.

Mike Davis
Howard County Health Dept.
8930 Stanford Blvd,
Columbia, MD 21045

Dear Mr. Davis,

I hope this letter finds you well. I am writing to request a waiver for the percolation test requirement for 7350 Sanner Rd, Clarksville, MD 21029. I fully understand and respect the importance of environmental considerations and compliance with local regulations. However, I believe that in the case of this property, there are mitigating factors that warrant an exemption from this requirement.

The primary reason for my waiver request is the size of the lot in question. As you may be aware, the dimensions of the lot totals 5 acres, which significantly exceeds the average lot size in our area. Given the ample space available, any potential environmental impact from the proposed project would be negligible. Additionally, there are no plans to increase the existing living space or make any significant alterations that would affect drainage or groundwater systems.

I understand that percolation tests are typically conducted to assess the suitability of the soil for on-site wastewater disposal systems. However, in this case, the existing system has been functioning efficiently for many years without any issues or need for repair or replacement. Therefore, it is my belief that requiring a percolation test for this property would be redundant and unnecessary, especially considering the lack of any planned expansion or modifications to the property.

If there are any alternative measures or documentation requirements that would satisfy the concerns regarding on-site wastewater disposal without necessitating a percolation test, I am more than willing to fulfill them.

Thank you for your attention to this matter, and I look forward to your response.

Sincerely,



Gislaine Tabalipa
Nichols Services LLC
21821 Glendalough Rd,
Gaithersburg, MD 20882
admin@nicholsdmv.com
(240)310-6440

Approved
G
4/24/24

April 16, 2024.

Mike Davis
Howard County Health Dept.
8930 Stanford Blvd,
Columbia, MD 21045

Dear Mr. Davis,

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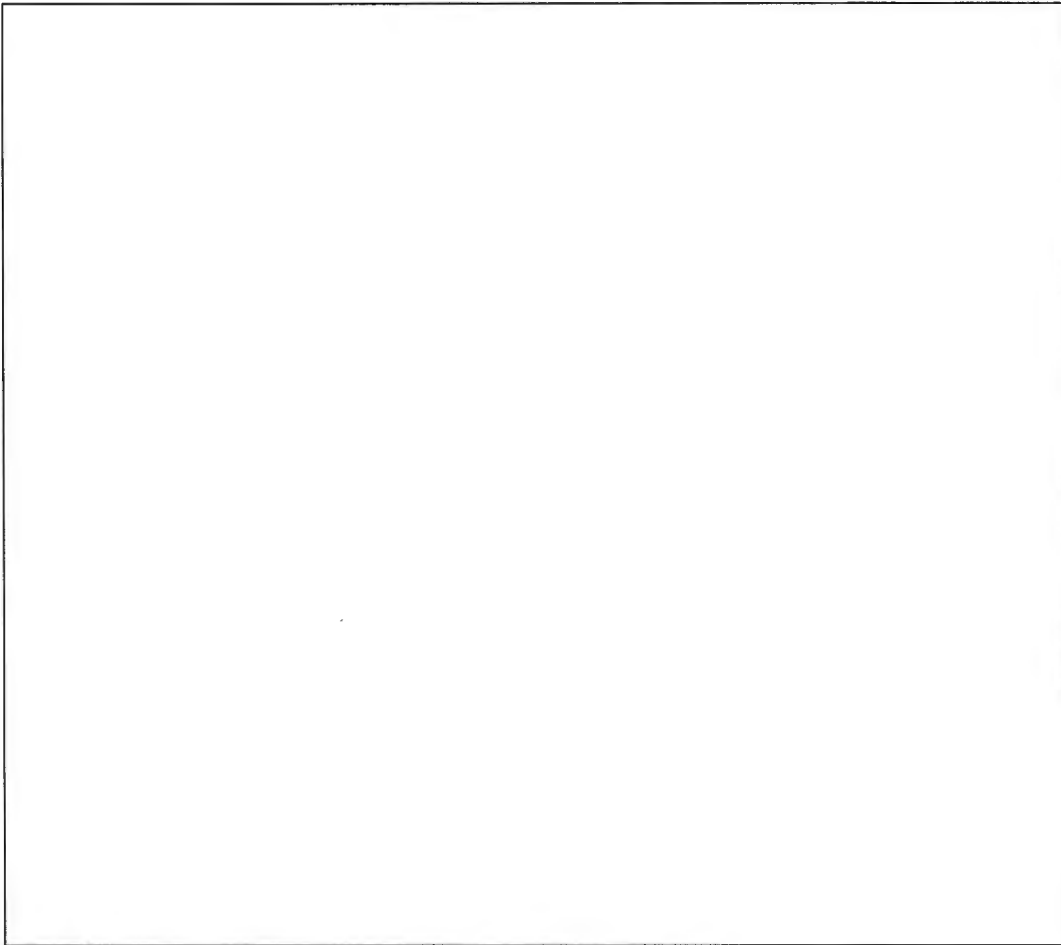
Sincerely,

Gislaine M. Tabalipa

SITE INSPECTION SHEET

OWNER: Phillip Larson PHONE #: _____
ADDRESS: 7350 Sanner Road CONTRACTOR: _____
Clarksville, MD WELL TAG #: H0-73-1141
SUBDIVISION: _____ LOT: _____ COUNTY #: Howard
PROPOSAL: Construct deck on rear side of residence

LOCATION DIAGRAM



COMMENTS: No evidence of Septic hydraulic failure & condition
of well conduit questionable

DATE: 3/1/24 INSPECTOR: Mr. Kishenbaugh



DO NOT REMOVE THIS TAG
WATER RESOURCES ADMIN
WELL PERMIT NUMBER
10-73-1149
EQUIPMENT, LIFT AND
WELL TEST BUILDING
22402

6/18/76 - applied F.S.
Ready

PERMIT

SEWAGE DISPOSAL SYSTEM

MARYLAND STATE DEPARTMENT OF HEALTH

HOWARD COUNTY

ELLICOTT CITY

INDEXED

DISTRICT 5

DATE 2/6/76

P 22798

A 18217

Gordon Walker (Fugate) IS PERMITTED TO INSTALL ALTER

ADDRESS 12496 Hall Shop Road, Fulton, Md. PHONE 206-2306

A SEWAGE DISPOSAL SYSTEM LOCATED AT _____

SUBDIVISION _____ ROAD Sanner - approx. LOT _____

1600 ft. off Johns Hopkins Road

PROPERTY OWNER J. Clarke Tankersley

ADDRESS _____

SPECIFICATIONS - 4 bedrooms

DRAIN FIELD _____ DEPTH _____ FEET, BOTTOM AREA _____ SQ. FT.

SEEPAGE PITS _____ ABSORBENT SIDE-WALL AREA _____ SQ. FT.

SEPTIC TANK CAPACITY 1,250 GALLONS

FOR GARBAGE GRINDER, INCREASE DISPOSAL AREA 22% & TANK CAPACITY 50%

OTHER Dry well to have 120 sq. ft. effective absorbent sidewall area per bedroom

below inlet. Inlet to be 4 ft. below original grade and maximum depth of dry well to be

11 ft. Location 210 ft. from north (500.00 ft.) property line and 230 ft. from Sanner

Road property line.

NOTE: ALL PIPE FROM HOUSE TO DISPOSAL AREA MUST BE CAST IRON.

PERMIT VOID AFTER THREE YEARS.

NOTE: INSTALL STAND PIPE ON SEPTIC TANK AND DRY WELL. STAND PIPES MUST BE 6" IN DIA.,

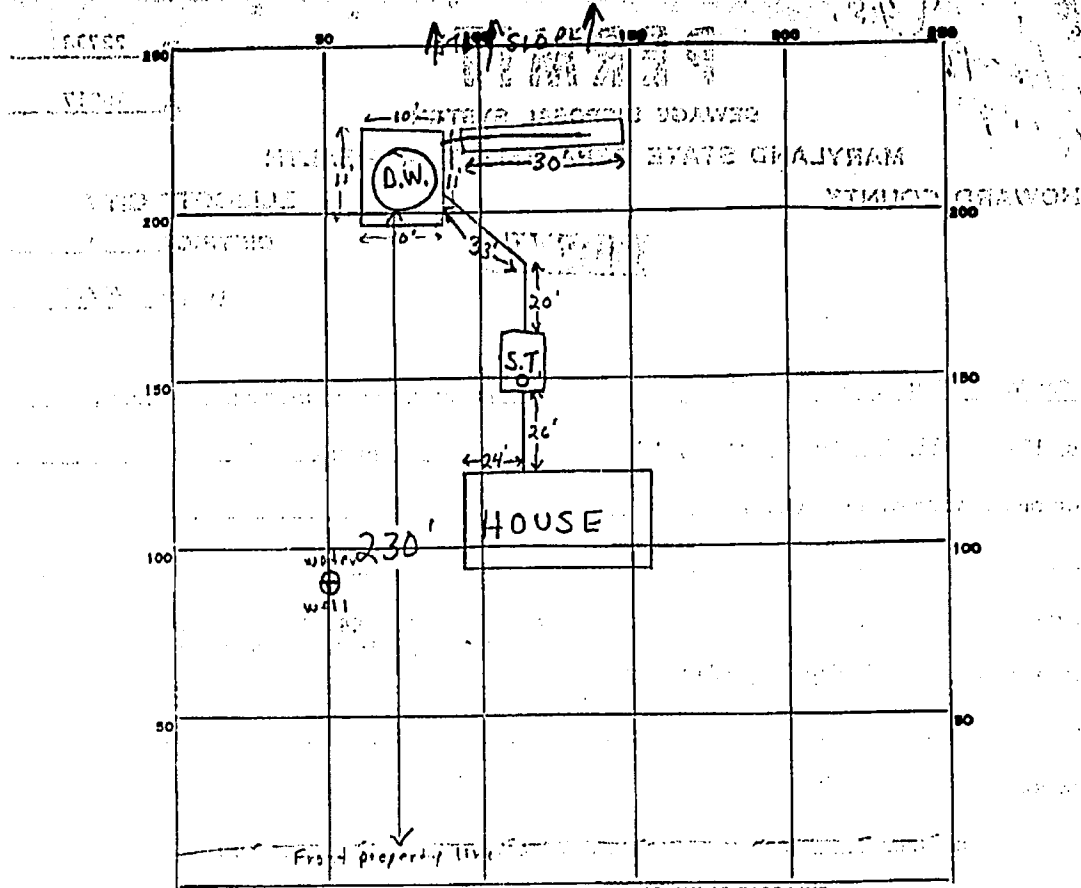
PLANS APPROVED BY W. W. Zepp DATE 6/13/73

CONCRETE, CAST IRON OR TERRA COTTA ACCEPTED.

FILL SEPTIC TANK AND DISTRIBUTION BOX WITH WATER BEFORE CALLING FOR AN INSPECTION. COVER NO WORK UNTIL INSPECTED AND APPROVED.

NEITHER THE HOWARD COUNTY COMMISSIONERS NOR THE HEALTH DEPARTMENT IS RESPONSIBLE FOR THE SUCCESSFUL OPERATION OF ANY SYSTEM.

A 18217



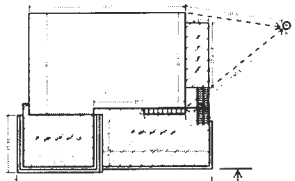
INDICATE NORTH. - NAME ADJOINING ROADWAY AS BASE LINE.
Sanner Road

PERMIT CARD signed, w.s.c. & final approval G.S. S.T. | D.W.
 SEPTIC TANK, LEVEL ✓ CLEANOUTS manhole | a.d.
 DISTRIBUTION BOX, LEVEL _____
 TILE FIELD, DEPTH 11 FT. TRENCH WIDTH 2 FT.
 GRAVEL DEPTH 7 IN. TOTAL LENGTH 30 FT.
 NUMBER OF TRENCHES 1 TOTAL BOTTOM AREA 210 sq. ft.
 SEEPAGE PITS, OUTSIDE PERIMETER 42 FT. DEPTH BELOW INLET 7 FT.
 Inside Abs. area 294
 trench Abs. area 210
 TOTAL ABSORBENT AREA ±504 SQ. FT.

REMARKS 6/18/76 A six foot high manhole cleanout on septic tank G.S.

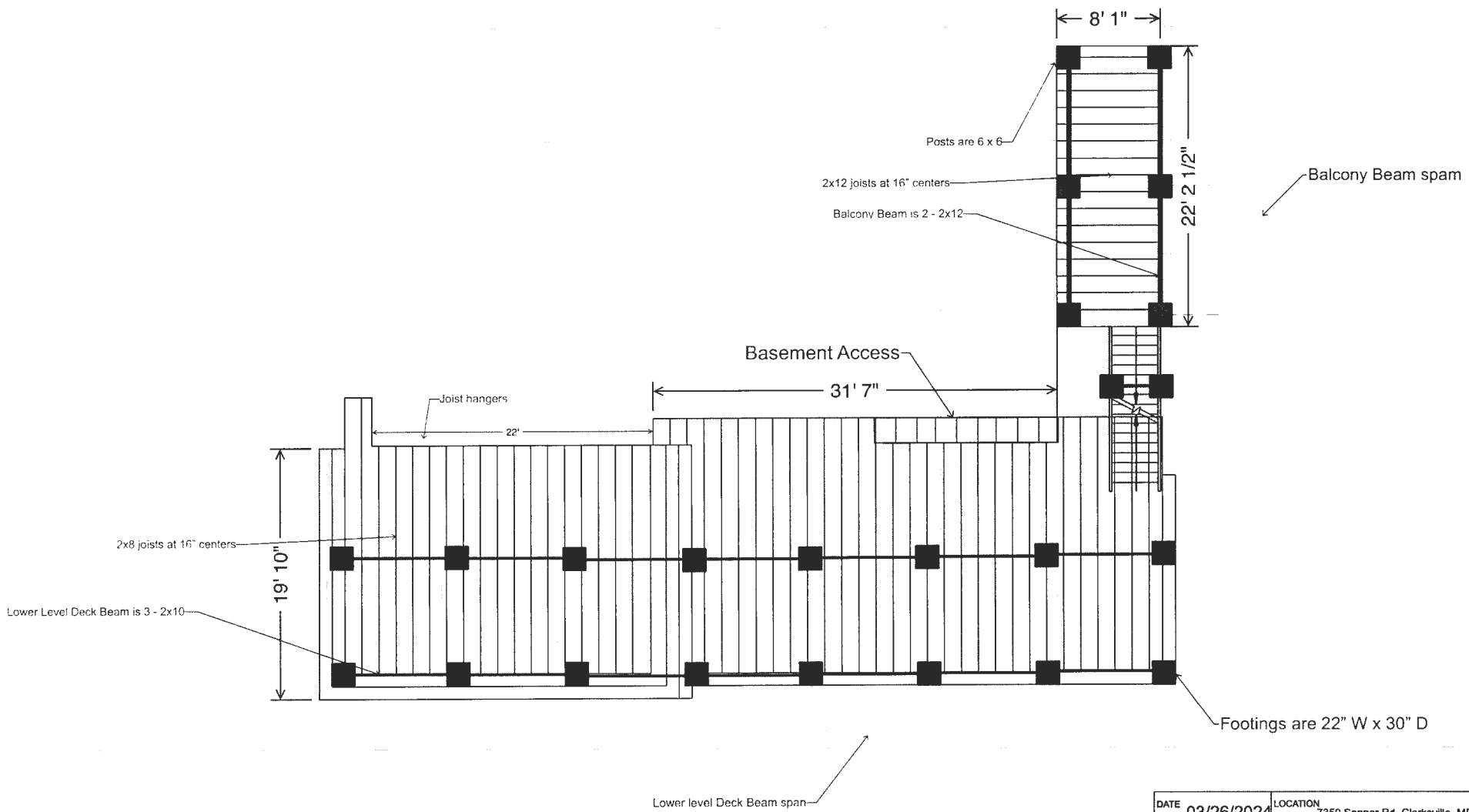
DATE SYSTEM APPROVED 6/18/76 INSPECTOR F. Skinner

Property Lines

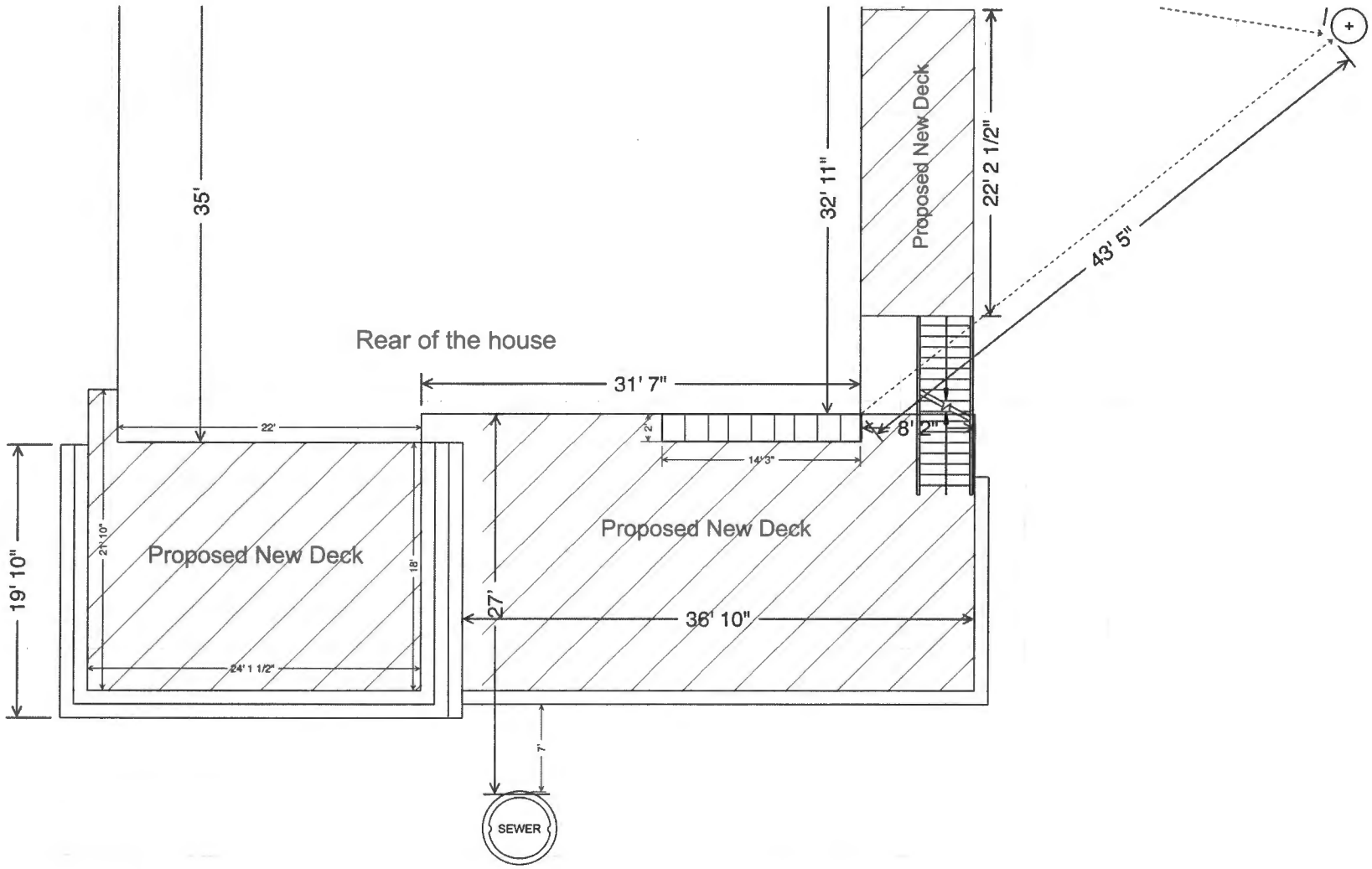


274' 5"

1/2"



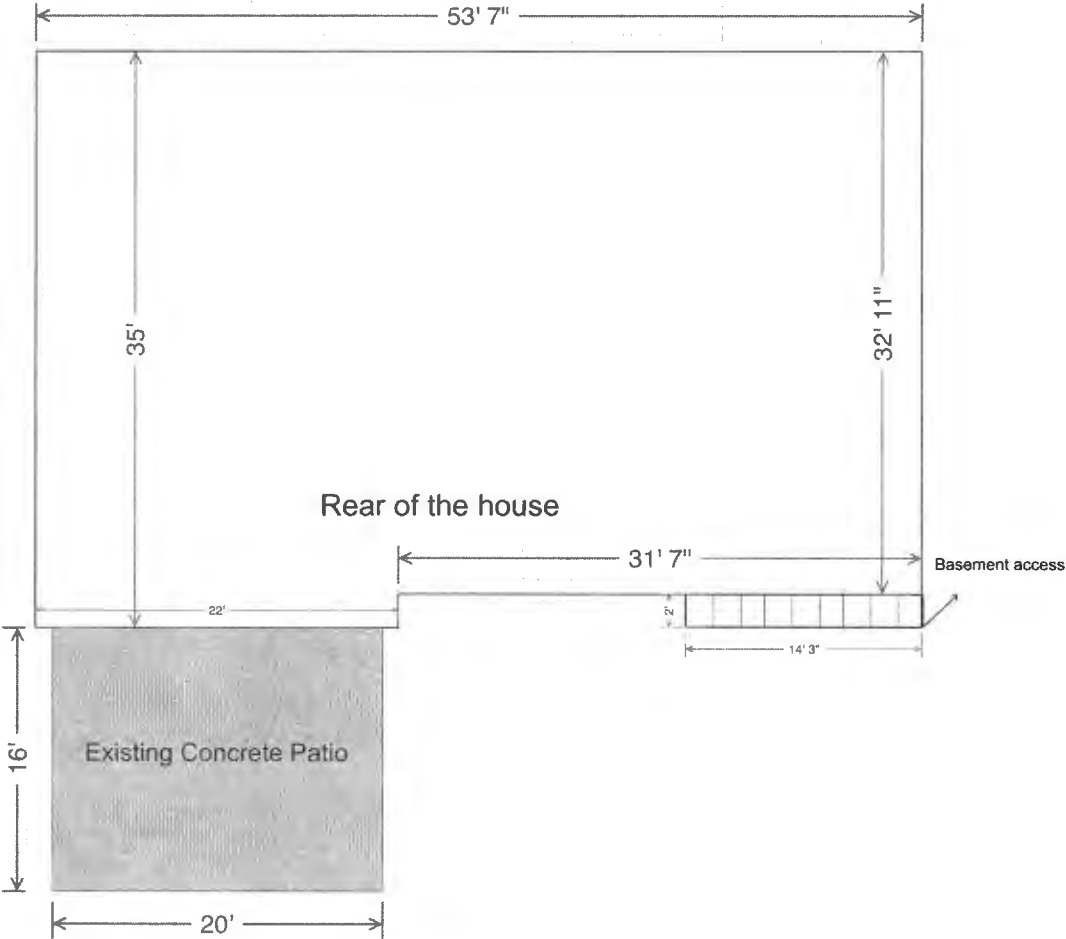
DATE	03/26/2024	LOCATION	7350 Sanner Rd, Clarksville, MD 21029
CLIENT	Phillip Larson	SCALE	3/32
Nichols Services LLC 21821 Glendalough Rd, Gaithersburg, MD 20882		DRAWING No. A-10	



7350 Sanner Rd
 Clarksville, MD 21029
 Scale 3/32" = 1'

Backyard

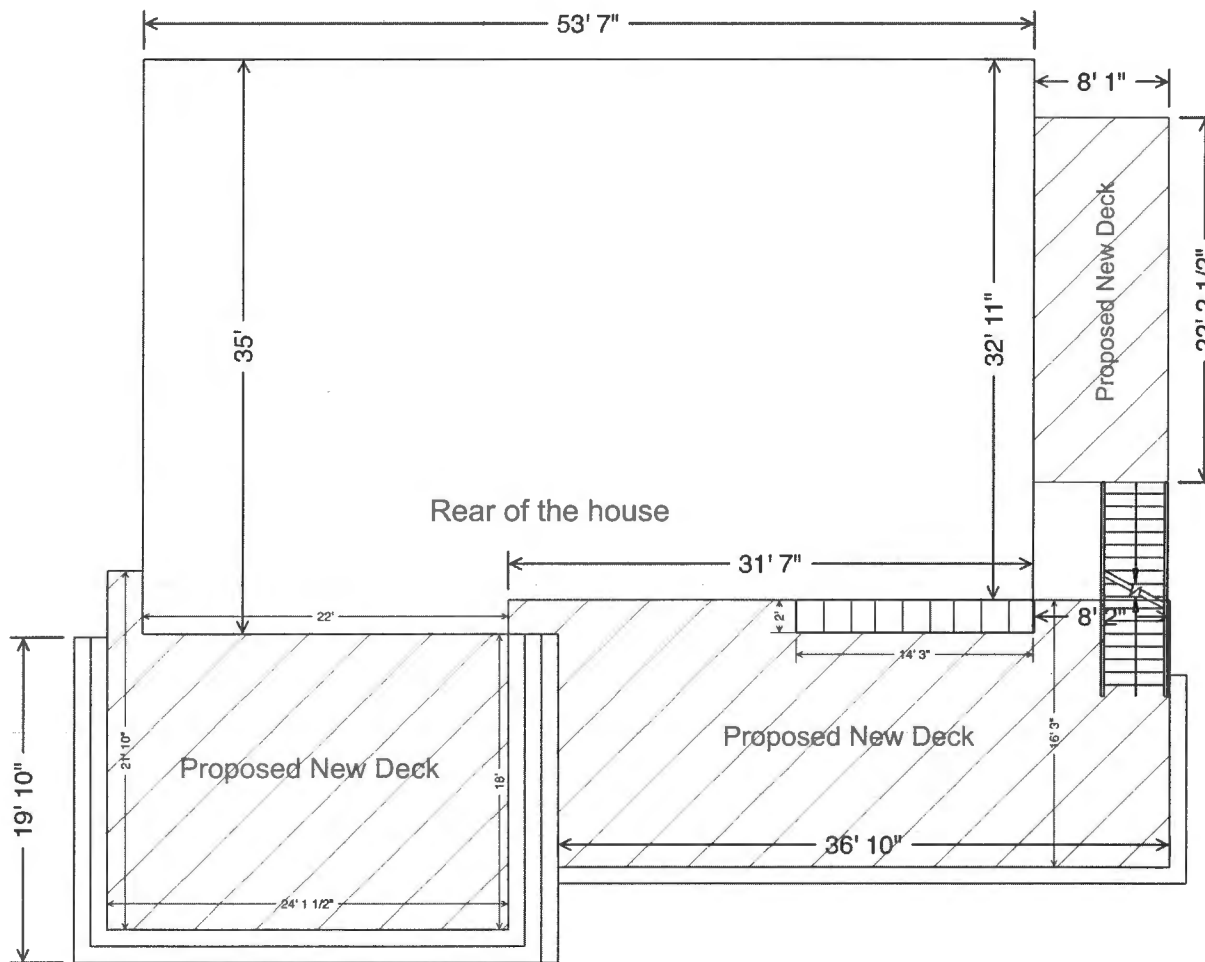
Front of the house



7350 Sanner Rd
Clarksville, MD 21029
Scale 3/32" = 1'

Backyard

Front of the house



Rear of the house

Backyard



7350 Sanner Rd
Clarksville, MD 21029
Scale 3/32" = 1'