


*Approved
MRE 11/6/23*




Record Detail * (This section is required.)

Permit Type Building/Residential/Misc/Porch **Permit Number** B23004241 **Opened Date** 10/23/2023 
Description of Work
 SFD/ Install 13.8' x 12.0' screen room on existing deck

[check spelling](#)

Address * (This section is required.)

Search Reset Clear Get Parcel & Owner

Street # 5501 **Street Name** HARRIS FARM **Street Type** LN 
Unit Type --Select--  **Unit #** **X Coordinate** -76.98497 **Y Coordinate** 39.2243
City CLARKSVILLE **State** MD **Zip Code** 21029 **Primary** Yes 

Parcel * (This section is required.)


Search Reset Clear Get Address & Owner

GIS ID *	Parcel	Parcel Area	Land Value	Improved Value	Exemption Value	Plan Area
915812	207	5.53	303900	701500	397600	RURAL

Legal Description
 IMPSP/O PAR 10 5.532 A[]5501 HARRIS FARM LN[]CLARKSVILLE


[check spelling](#)

Block	Lot	Census Tract	Council Dist	Inspection Dist	Supervisor Dist	Map #	DAP Zone
	P 10	605101	5				

Plan Area **State Tax Id** 1405371449 **Subdivision Name**
Section **Area** **Tax Map** 28
Grid 28-20 **Zoning District** RR-DEO **ADC Map** 4933-C5
SDP No. **Final Plan No.** **WP File No.**
Record Plat No. **WS Contract No.** **FDP No.** **Primary** Yes 
Owner Occupied Yes No **Year Built** 1989 **Historic District** Yes No
Historic District Registry No. **Stat Area** 5-04A **Flood Plain** Yes No
Building No

Owner * (This section is required.)

Search Reset Clear

Name *
 Lawrence Sioma
Address Line 1
 5501 HARRIS FARM LN
Address Line 2
Address Line 3
Mail City CLARKSVILLE **Mail State** MD  **Mail Zip Code** 21029

Phone - Primary
443-878-9509 Yes
E-mail
Cell Number Fax Number

Professionals (This section is not required.)

License # * Business Name
08050132308 GREAT DAY IMPROVEMENTS LLC
License Type * First Name Middle Name Last Name
MHIC Co KEVIN
Primary Address Line 1
Yes 501 MCCORMICK DRIVE, SUITE D-F
Address Line 2
501 MCCORMICK DRIVE, SUITE D-F
City State ZIP Code
GLEN BURNIE MD 21061-0000
Phone 1 Phone 2 Fax
4408170600 3304600835
E-mail
KEVIN.HANDEL@GREATDAYIMPROVEMENTS.COM

Applicant (This section is not required.)

Search As Owner As Lic. Prof As Contact

Type * First Name MI Last Name
Applicant WHITNEY
Relationship Full Name
Applicant WHITNEY GISCHEL
Primary Organization Name
Yes GREAT DAY IMPROVEMENTS
Street Address
501 MCCORMICK DRIVE SUITE E
Address Line 2
City State Zip Code
GLEN BURNIE MD 21061
Phone Cell Fax
410-760-1919
E-mail *
Whitney.Gischel@GreatDayImprovements.com

Addtl Info

Est Construction Cost * Housing Units * Number of Buildings * Public Owned
45664.84 0 0 No
Construction Type
434 - Additions, Alterations and Conversions - Residential

PORCH INFORMATION

PORCH INFORMATION

Capital Project-No Fee * Capital Project Number Fee Exempt * Roadside Tree Project Permit * Roadside Tree Project Permit #
 Yes No Yes No Yes No
Existing Use * Type of Porch * Type of Porch Foundation * Total Square Footage *
SFD Screened Porch Existing Deck 156 SQFT
Water Supply Sewage Disposal Expiration Date
Private Private 4/30/2024

Submit Cancel

KJR

6/13/89

NOON

05-371449

PERMIT

P 43/33

A 26160

SEWAGE DISPOSAL SYSTEM

MARYLAND STATE DEPARTMENT OF HEALTH

DISTRICT 5th

HOWARD COUNTY

BUREAU OF ENVIRONMENTAL HEALTH
461-9933

BP # 22302

INDEXED

DATE 11/29/89

DATE SYSTEM APPROVED 6/13/89

INSPECTOR R. Kozzcs

Olen Ketterman

IS PERMITTED TO INSTALL ALTER

ADDRESS 14960 Route 144, Woodbine, Maryland 21797 PHONE 442-1336

SUBDIVISION Alan Weintraub ROAD 5501 Harris Farm Lane LOT Parcel 10

PROPERTY OWNER Dan Madison

ADDRESS _____

IF GARBAGE GRINDER IS USED INCREASE SEPTIC TANK CAPACITY BY 50% AND ABSORPTION AREA BY 22%.

GARBAGE GRINDER? YES _____ NO X

SEPTIC TANK CAPACITY 1250 GALLONS NUMBER OF BEDROOMS 4

TRENCHES - 200 sq. ft. per bedroom. Trench to be 2 feet wide. Inlet 3 1/2 feet below original grade. Bottom maximum depth 8 1/2 feet below original grade. Effective area begins at 3 1/2 feet below original grade. 5 feet of stone below distribution pipe.

LOCATION - Place the distribution box 30 feet from the right lot line and 350 feet from the rear lot line as seen when facing the property from the Right-of-way. Run trenches along contour toward right lot line.

NOTE - No trench to exceed 100 feet in length. Provide 6" - 8" diameter cleanout and cap to grade or above on septic tank.

PLANS APPROVED BY C. Williams

DATE 9/12/88

COVER NO WORK UNTIL INSPECTED AND APPROVED

NEITHER THE HOWARD COUNTY COUNCIL NOR THE HEALTH DEPARTMENT IS RESPONSIBLE FOR THE SUCCESSFUL OPERATION OF ANY SYSTEM.

NOTE: CLEANOUT REQUIRED EVERY 70 FEET OF SEWER LINE AND/OR AT 90° SWEEPS IN LINES FROM HOUSE TO DRAIN FIELDS

NOTE: ALL PARTS OF SEPTIC SYSTEMS (I.E., TANK, DISTRIBUTION BOX, TRENCHES) TO BE 100 FEET FROM WELL (UNLESS OTHERWISE SPECIFICALLY AUTHORIZED)

NOTE: IF DEEP TRENCHES ARE USED CALL FOR INSPECTION BEFORE AND AFTER PLACING GRAVEL IN TRENCHES

NOTE: NO DRY WELL SHALL EXCEED 15 FOOT IN DIAMETER NO ABSORPTION TRENCH TO EXCEED 100 FEET IN LENGTH.

NOTE: ALL PIPE FROM HOUSE TO SEPTIC TANK MUST BE CAST IRON OR SCHEDULE 40 PVC OR ABS

PERMIT VOID AFTER TWO YEARS

NOTE: INSTALL STAND PIPE ON SEPTIC TANK AND DRY WELL. STAND PIPES MUST BE 6 INCHES IN DIAMETER. CAST IRON, CONCRETE OR TERRA COTTA OR PVC OR ABS ACCEPTED. IF TOP OF SEPTIC TANK IS DEEPER THAN 3 FEET, MANHOLE TO GRADE REQUIRED

NOTE: DISTRIBUTION BOXES MUST HAVE BAFFLES

BUILDING PERMIT SIGNER RESPONSIBLE FOR OBTAINING FINAL APPROVAL ON THIS PERMIT

AND RETURNED

*CALL 461-9933 FOR INSPECTION OF SEPTIC SYSTEMS.

HD-260

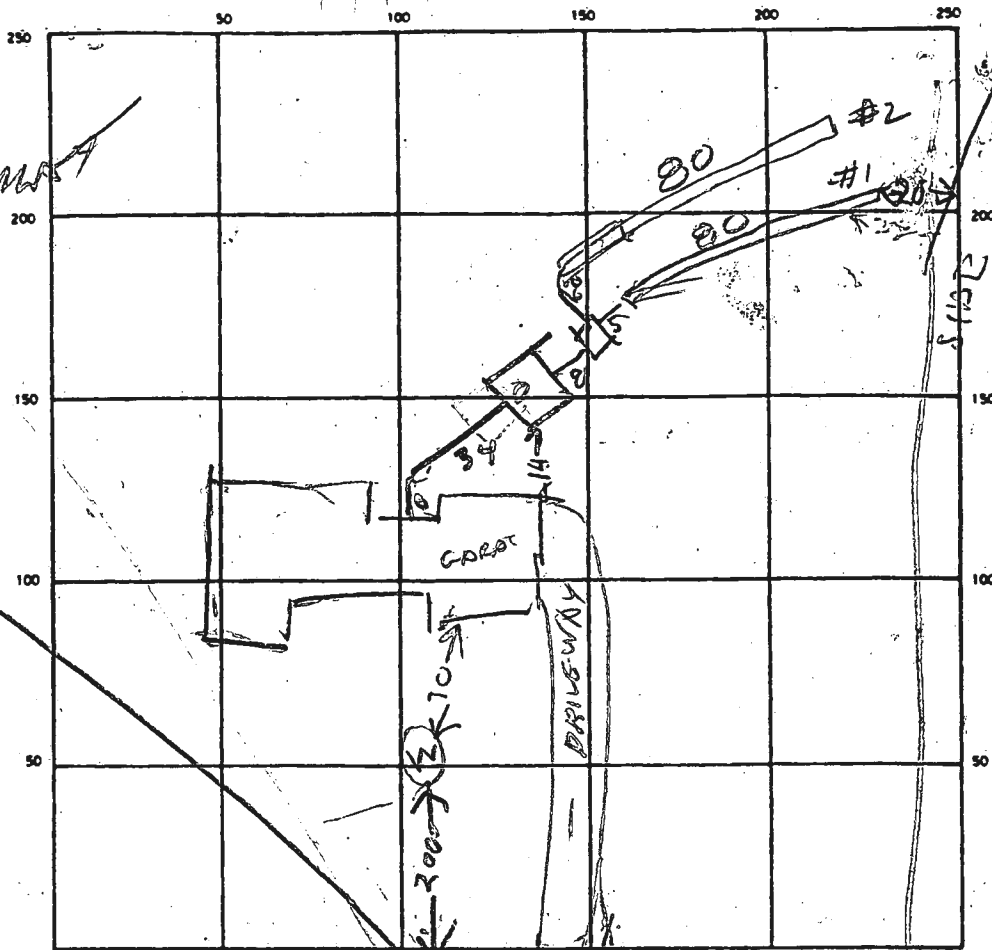
3-3-88

800152483

Sumrison

A 26160

0150



INDICATE NORTH - DRAW ADJOINING ROADWAY AS BASE LINE

SEPTIC TANK LEVEL 2000 CLEANOUTS ST
012

DISTRIBUTION BOX LEVEL _____

DRAIN FIELD/TILE FIELD DEPTH 1 1/2 FT. TRENCH WIDTH 2 1/2 FT. INLET DEPTH 3 1/2 FT.

EFFECTIVE GRAVEL DEPTH 15.5 FT. TOTAL LENGTH 160 FT.

NUMBER OF TRENCHES 2 ONE SIDEWALL/BOTTOM AREA 800 SQ. FT.

DRYWELL INSIDE DIAMETER _____ FT. EFFECTIVE DEPTH BELOW INLET _____ FT.

ABSORBENT AREA _____ SQ. FT.

REMARKS 6/13/89 ^{loop in} HOUSE SEVER COVER BUT OK YESTERDAY

SOLD PIPE IS OK TRENCH #1 DUG & PARTLY STONED

TRENCH #2 STARTED 6/13/89 305 - TRENCHES

#1 & #2 OK. RAIN TODAY.

DATE SYSTEM APPROVED 6/13/89 INSPECTOR Raymond Hodger

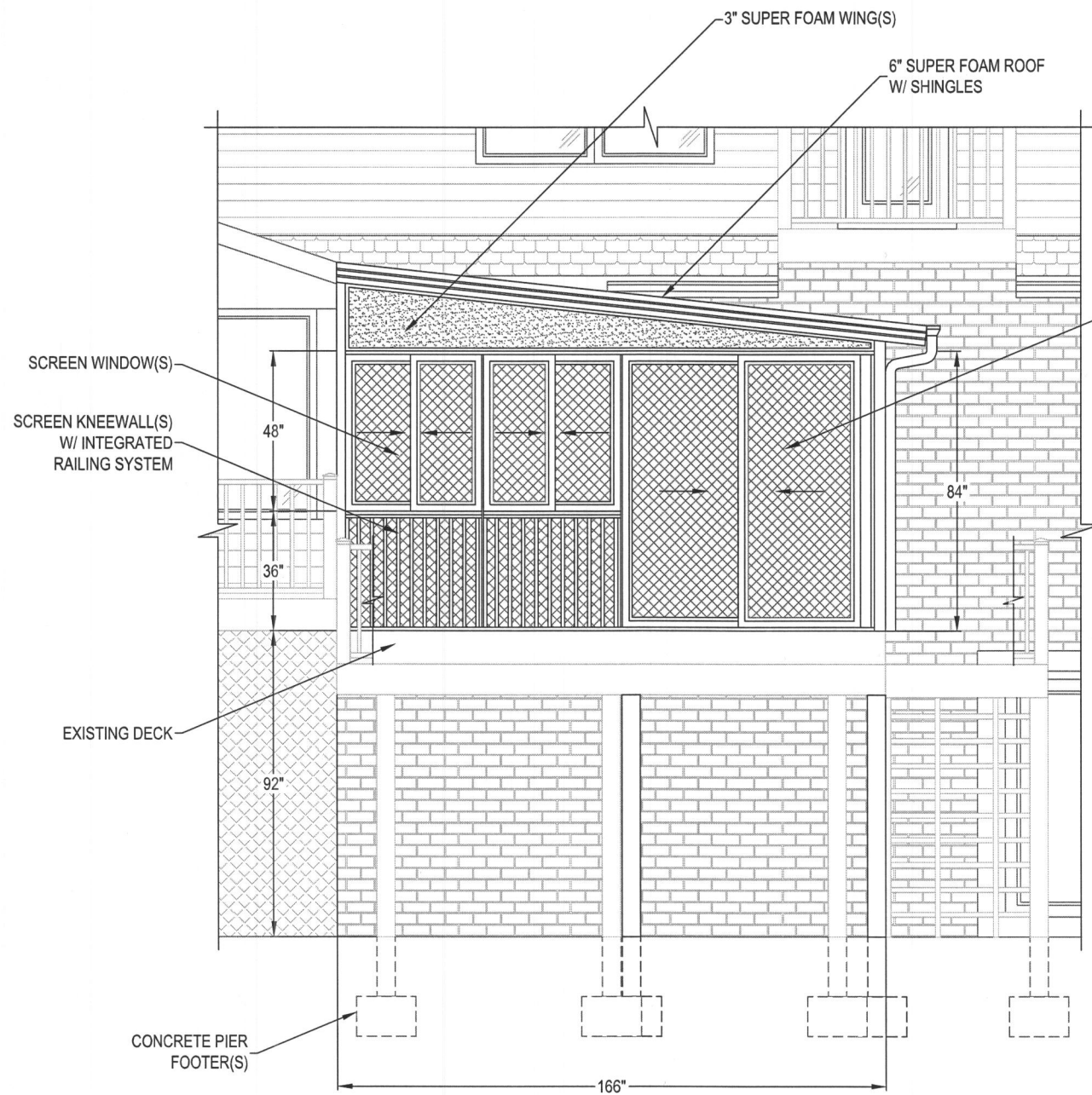
RECORDS SECTION
AND RECORDED
RECORDING FEE NOT SIGNED



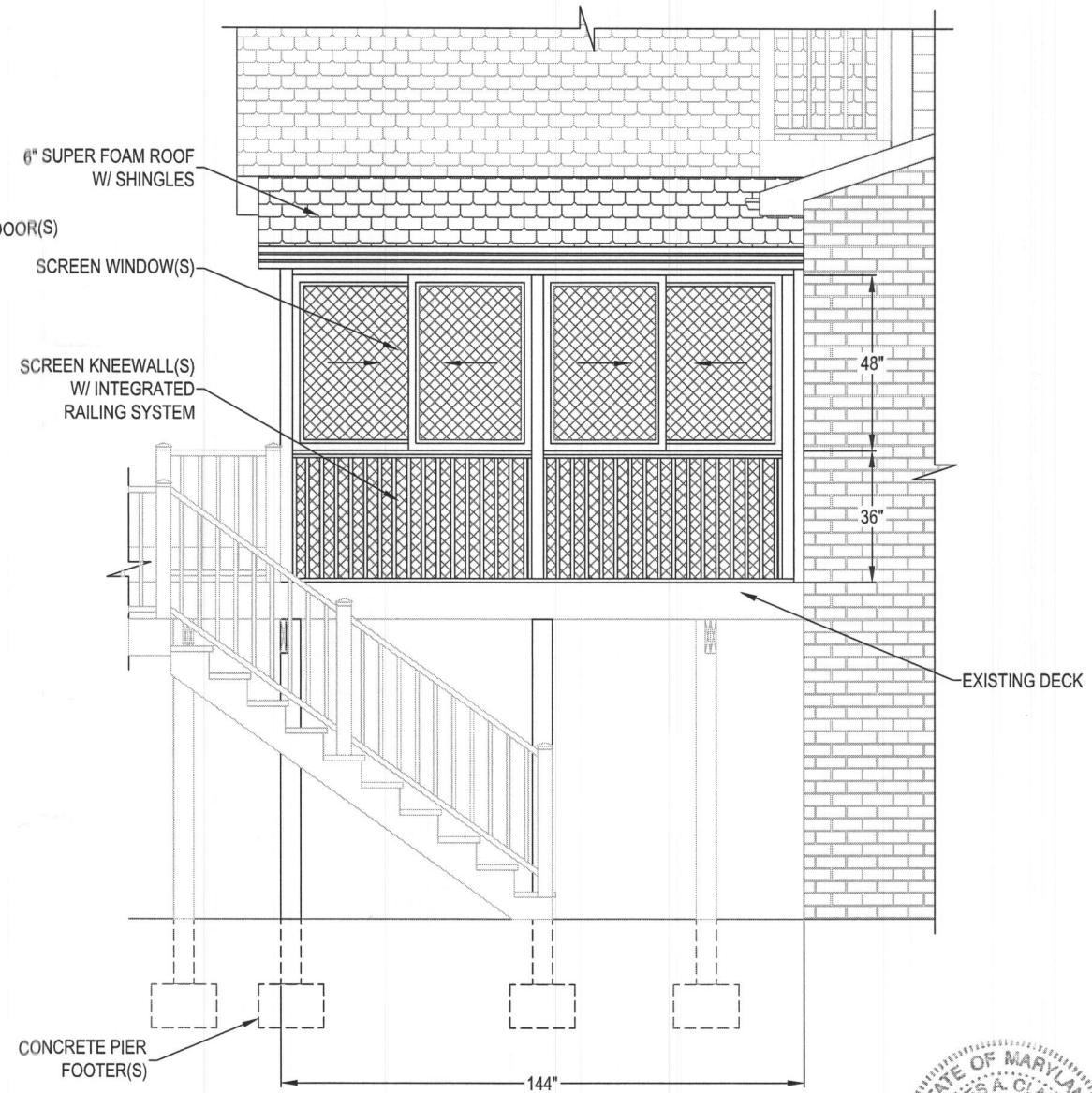
LOCATION
 GDI - BALTIMORE
 501 McCORMICK DRIVE, SUITES D-F
 GLEN BURNIE, MD 21061
 410-760-1919

LARRY & ELIZABETH SIOMA
 5501 HARRIS FARM LANE
 CLARKSVILLE, MD 21029
 JOB # 42007

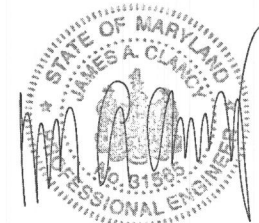
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ELEVATION - "A" WALL



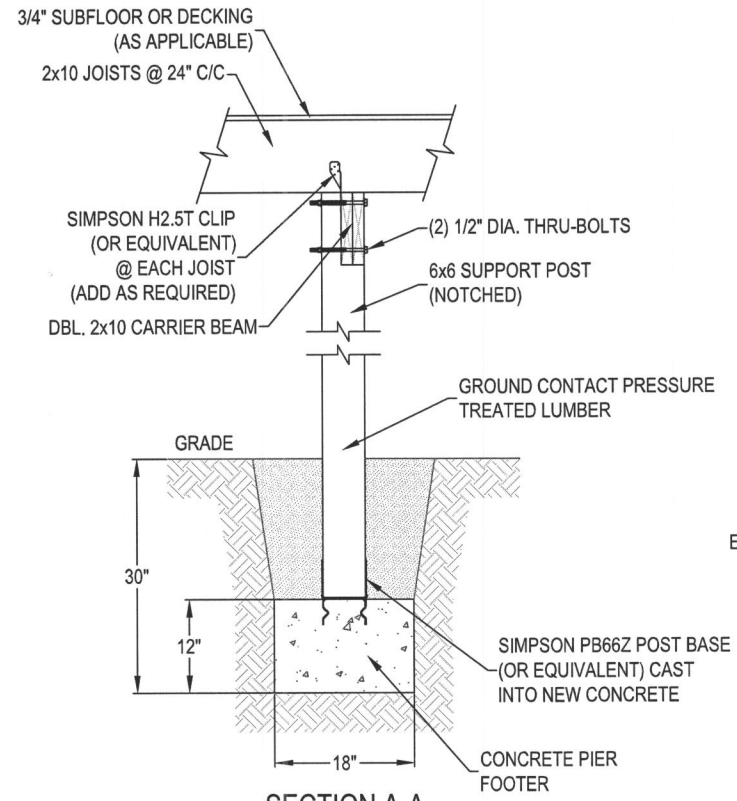
ELEVATION - "B" WALL



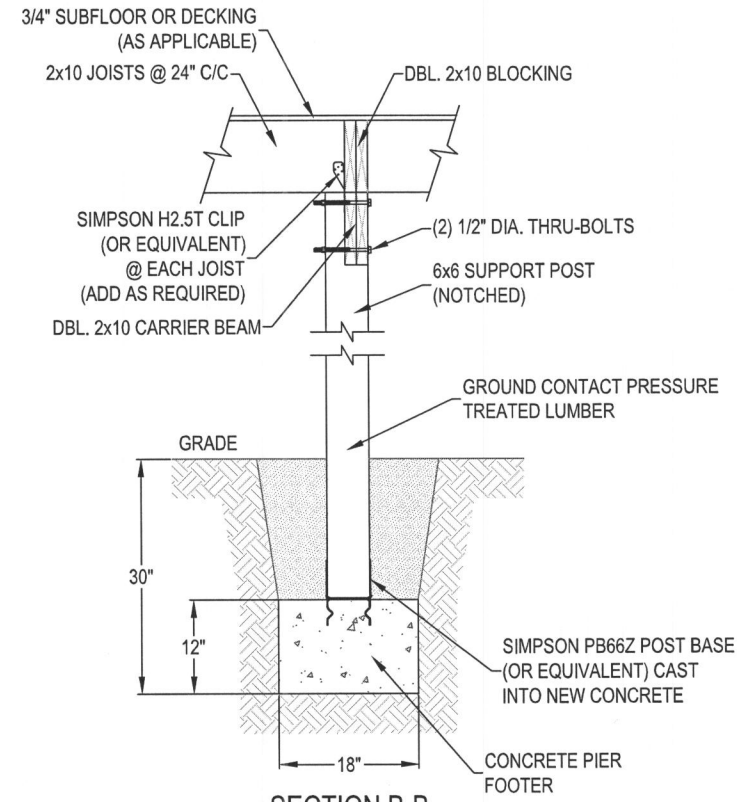
SIGNATURE DATE: 10/23/23

JAMES A. CLANCY, P.E., L.S.
 MD. PROFESSIONAL ENGINEER (MD. LIC. #31585)
 601 ASBURY AVENUE
 NATIONAL PARK, NJ. 08063
 PH. # 856-853-7306

DATE	10/18/23
DRAWN	PIH
SCALE	1/4" = 1'-0"
SHEET	2 OF 7



SECTION A-A
SCALE: 1/2" = 1'-0"



SECTION B-B
SCALE: 1/2" = 1'-0"

EXISTING 2x10 LEDGER BOARD W/ 1/2" DIA. LAG SCREWS
W/ MIN. 1 1/2" THREAD ENGAGEMENT INTO EXISTING
STRUCTURE @ 24" C/C STAGGERED (ADD AS REQUIRED)

NEW SIMPSON A35Z FRAMING
ANGLE (OR EQUIVALENT)
EACH END OF NEW JOIST

EXISTING JOIST HANGERS (SIMPSON LUS210 OR
EQUIVALENT) ADD AS REQUIRED @ EACH END

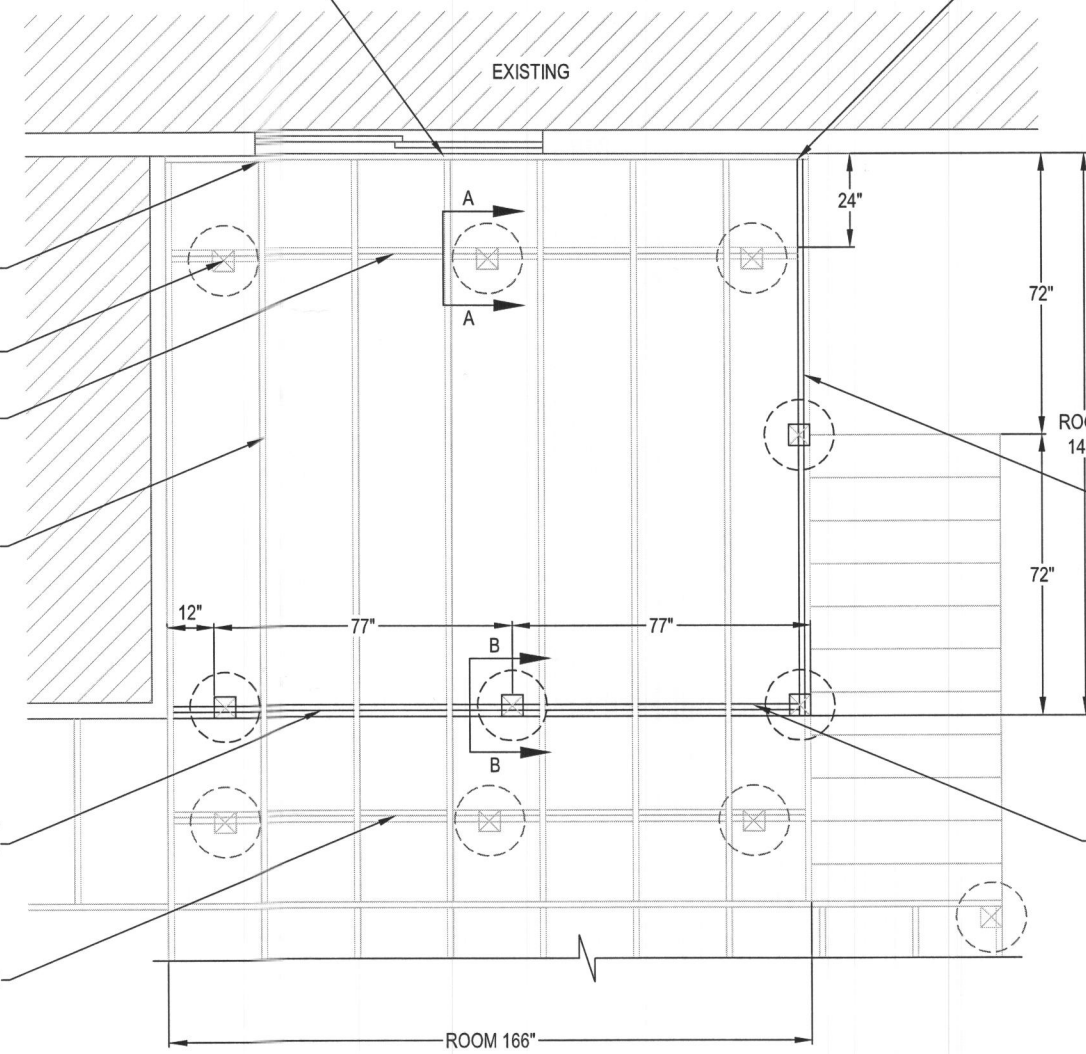
EXISTING 6x6 POST ON 18" DIA. x 30" DEEP
CONCRETE PIER FOOTERS (TOTAL OF 7)

EXISTING DBL. 2x10 CARRIER BEAM

EXISTING 2x10 JOISTS @ 24" C/C

NEW DBL. 2x10 BLOCKING W/ NEW
DBL. 2x10 CARRIER BEAM BELOW

EXISTING DBL. 2x10 CARRIER BEAM



DECK PLAN
SCALE: 1/4" = 1'-0"

NEW 6x6 POST ON 18" DIA. x 30"
DEEP CONCRETE PIER FOOTERS
(TOTAL OF 4)



SIGNATURE DATE: 10/23/23

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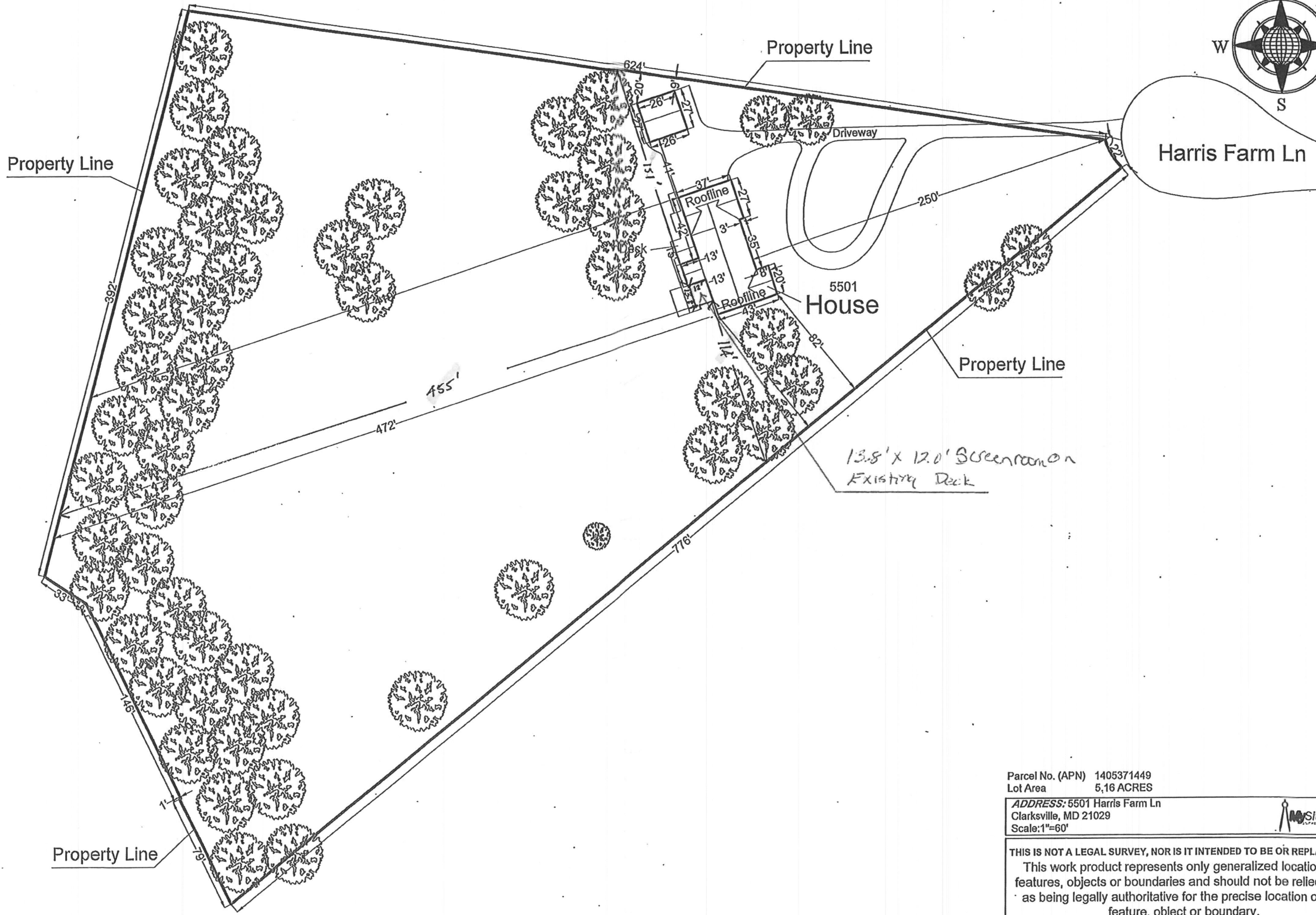
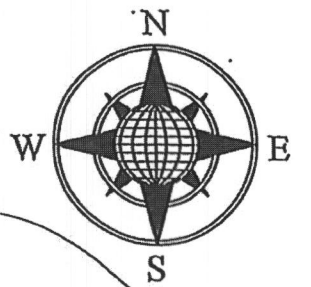
DATE	10/18/23
DRAWN	PIH
SCALE	AS NOTED
SHEET	3 OF 7

LOCATION
GDI - BALTIMORE
501 McCORMICK DRIVE, SUITES D-F
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Parcel No. (APN) 1405371449
 Lot Area 5.16 ACRES

ADDRESS: 5501 Harris Farm Ln
 Clarksville, MD 21029
 Scale: 1"=60'



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 features, objects or boundaries and should not be relied upon
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