

Expedite. DILP did not send out proper HO notifications;

gjs 11/17/23

Record Detail * (This section is required.)

Permit Type Building/Residential/Alteration/SFD
Permit Number B23003975
Opened Date 09/29/2023
Description of Work SFD/ CONVERT EXISTING DINING ROOM INTO BUTLERS PANTRY AND CONSTRUCT NEW DINING ROOM.

check spelling

Approved.

gjs 11/14/23

Address * (This section is required.)

Search Reset Clear Get Parcel & Owner
Street # 12500 Street Name BARNARD Street Type WAY
Unit Type Unit # X Coordinate Y Coordinate
City WEST FRIENDSHIP State MD Zip Code 21794 Primary Yes

Parcel * (This section is required.)

Search Reset Clear Get Address & Owner
GIS ID Parcel Parcel Area Land Value Improved Value Exemption Value Plan Area
916634 239 3.02 260100 681100 421000 RURAL

Legal Description
IMPSLOT 3 3.0229 A[]12500 BARNARD WAY[]MATHIS PROP S 1

check spelling

Block Lot Census Tract Council Dist Inspection Dist Supervisor Dist Map # DAP Zone
Plan Area State Tax Id Subdivision Name
Section Area Tax Map
Grid Zoning District ADC Map
SDP No. Final Plan No. WP File No.
Record Plat No. WS Contract No. FDP No. Primary
Owner Occupied Year Built Historic District
Historic District Registry No. Stat Area Flood Plain
Building No

Owner (This section is not required.)

Search Reset Clear
Name Marc R. Snyder
Address Line 1 6223 Wild Swan Way
Address Line 2
Address Line 3
Mail City Columbia Mail State MD Mail Zip Code 21045
Phone 201-259-8267 Primary Yes
E-mail marc.snyder@gmail.com
Cell Number Fax Number

Professionals (This section is not required.)

License # * 08050140559
License Type * MHIC Co
Primary Yes
Business Name VALLE BROTHERS REMODELING LLC
First Name ERNESTO **Middle Name** E **Last Name** VALLE GUILLEN
Address Line 1 3776 COLLIERS DR
Address Line 2
City EDGEWATER **State** MD **ZIP Code** 21037
Phone 1 4439951858 **Phone 2** **Fax**
E-mail VALLEBROHERSREMODELING@GMAIL.COM

Applicant (This section is not required.)

Search As Owner As Lic. Prof As Contact

Type * Applicant
Relationship Applicant
Primary No
First Name Daniel **MI** **Last Name** Kim
Full Name Daniel Kim
Organization Name 3G Architects, LLC.
Street Address 1749 Old Meadow Rd
Address Line 2
City McLean **State** VA **Zip Code** 22102
Phone 703-506-6868 **Cell** **Fax**
E-mail * dkim@3garchitects.com

Contact (This section is not required.)

Search As Owner As Lic. Prof As Contact

Type Contact
Relationship Licensed Professional
Primary Yes
First Name Daniel **MI** **Last Name** Kim
Full Name Daniel Kim
Organization Name 3G Architects, LLC.
Street Address 1749 Old Meadow Rd
Address Line 2
City McLean **State** VA **Zip Code** 22102
Phone 703-506-6868 **Cell** **Fax**
E-mail dkim@3garchitects.com

Addtl Info

Est Construction Cost * 61670
Housing Units * 0
Number of Buildings * 0
Public Owned No
Construction Type --Select--

Execute Expression "Run expression exception, please contact agency administrator." error:

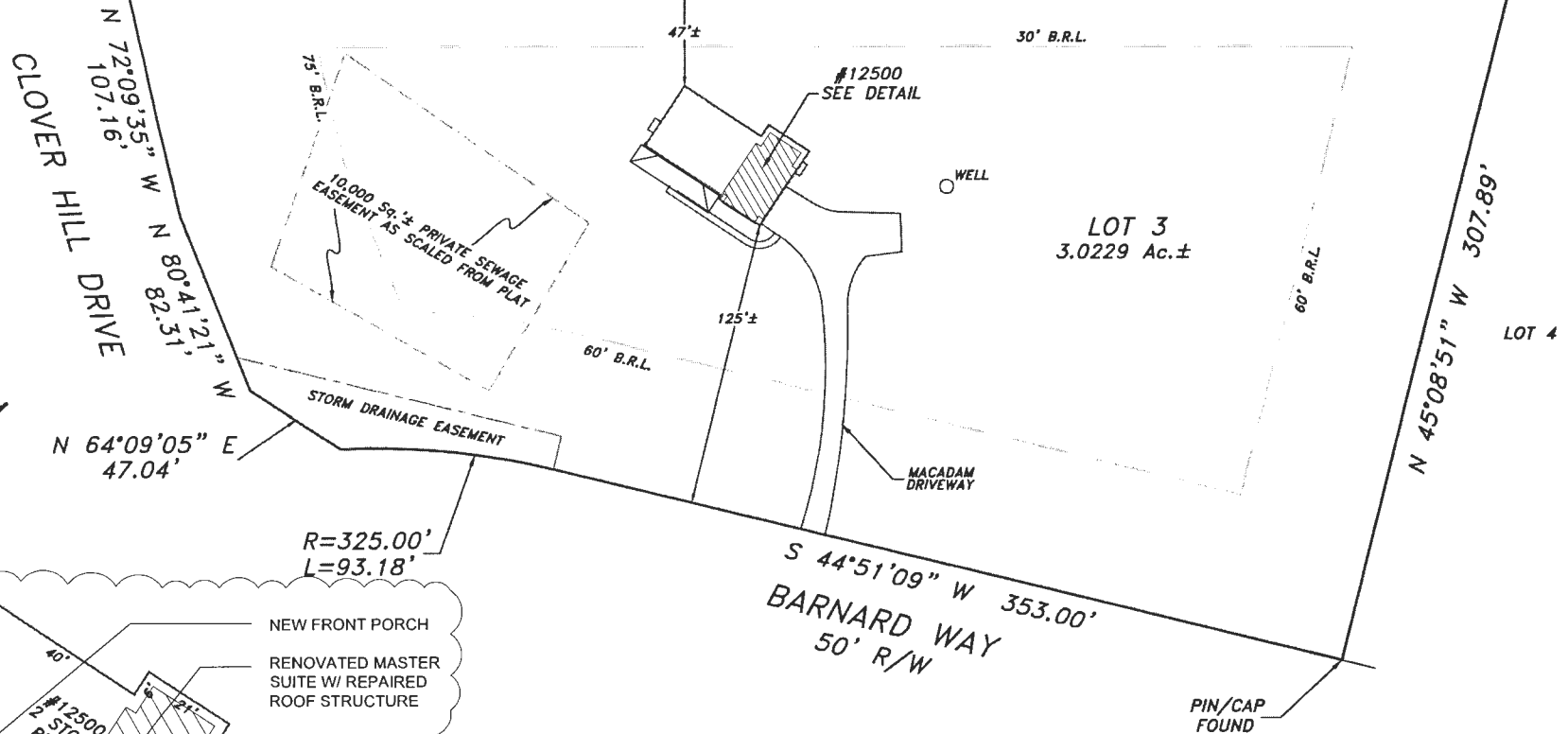
RESIDENTIAL ALTERATION INFO

RESIDENTIAL ALTERATION INFORMATION

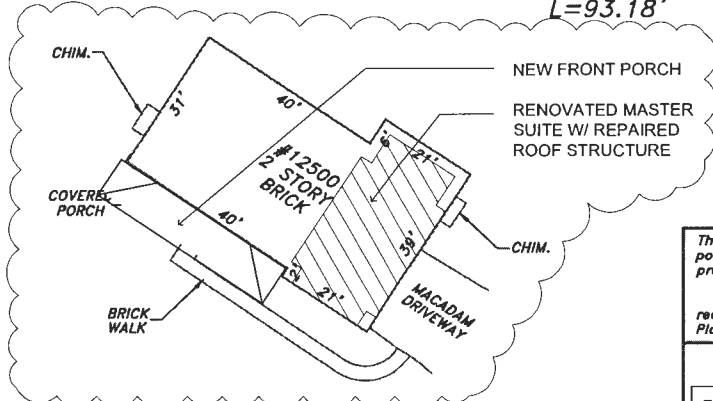
Total Square Footage * 1476
No of Stories * 2 **Basement** Full Finished
Bedrooms 0 **Full Baths** 1 **Half Baths** 0
Water * Private **Sewage *** Private
Existing Utilities * Electric
Existing Heating System * Electric
Existing Sprinkler System * None
Type of New Fireplace --Select--
Expiration Date 5/5/2024
Fee Exempt * Yes No

PLAT 6866
LOT 9

N 31°07'10" E 603.06'



R=325.00'
L=93.18'



DETAIL NOT TO SCALE
HOUSE DETAIL

The purpose of this drawing is to locate, describe, and represent the positions of buildings and substantial improvements affecting the property shown hereon, being known as:
Lot 3, as shown on the plat entitled, "Mathis Property" A Resubdivision of Lot One recorded among the land records of Howard County, Maryland in Plat Book 6747

PREPARED FOR:

Title Rite Services
INCORPORATED

This is page one of a two page document. The advice found on the affixed page is an integral part of this drawing, and is not valid without all pages.

James Carl Hudgins
Property Line Surveyor #96
Expiration Date: 3/11/2024

LOCATION DRAWING
12500 BARNARD WAY
3rd ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

NTT Associates, Inc.
16205 Old Frederick Rd.
Mt. Airy, Maryland 21771
Phone: (410) 442-2031
Fax: (410) 442-1315
www.nttsurveyors.com

Scale: 1" = 50'
Date: 4/24/2023
Field By: CB/KSW
Drawn By: RMS
File No.: JL234924
Page No.: 1 of 2

DEMOLITION GEN. NOTES

1. THE DEMOLITION WORK INCLUDES THE NECESSARY REMOVAL OF EXISTING CONSTRUCTION AND DISPOSAL OF DEMOLISHED MATERIAL. CONTRACTOR SHALL REFER TO CONSTRUCTION DRAWINGS FOR EXTENT OF RENOVATION WORK AND ITEMS TO REMAIN.

2. CONTRACTOR SHALL BE RESPONSIBLE FOR THE INTEGRITY OF THE BUILDING STRUCTURE, MECHANICAL, ELECTRICAL, PLUMBING AND FIRE SAFETY CONDITIONS UNCOVERED DURING DEMOLITION AND DURING NEW CONSTRUCTION WHICH ARE NOT ADDRESSED ON THE CONSTRUCTION DOCUMENTS.

WALLS

1. CONTRACTOR SHALL REMOVE ALL NON-BEARING WALLS NECESSARY TO ACCOMPLISH THE TOTAL SCOPE OF WORK.

2. CONTRACTOR SHALL COORDINATE WITH NEW WORK PLAN AND CONSTRUCTION DRAWINGS FOR NON-BEARING WALLS TO REMAIN.

ELECTRICAL

1. CONTRACTOR SHALL REMOVE ALL EXISTING ELECTRICAL WIRING, WALL-MOUNTED ELECTRICAL RECEPTACLE DEVICES, FLOOR-MOUNTED RECEPTACLE DEVICES, SPECIAL EQUIPMENT OUTLETS, DEMOLITION WORK AND SWITCHES IN DEMOLISHED AND FURRED WALLS INCLUDED UNDER DEMOLITION WORK AND COORDINATE WITH NEW ELECTRICAL ENGINEERING DRAWINGS.

2. CONTRACTOR SHALL MAINTAIN CONTINUITY TO ALL CIRCUITS OUTSIDE THE DEMOLISHED AREA AFFECTED BY DEMOLITION. INTEGRITY TO OTHER AREAS SHALL NOT BE DAMAGED.

3. CONTRACTOR SHALL REMOVE ALL UNUSED WIRING BACK TO PANEL AND/OR EXISTING FIXTURE, RECEPTACLE, ETC. AS APPLICABLE.

4. ELECTRICAL CONTRACTOR TO RE-USE ALL REMOVED CODE COMPLIANT DEVICES, RECEPTACLES AND ALL EXISTING WIRING WHERE POSSIBLE. CONTRACTOR SHALL COORDINATE EXISTING DEVICES TO REMAIN WITH NEW ELECTRICAL PLAN PRIOR TO DEMOLITION.

5. WHERE NEW DEVICES ARE SHOWN IN PLACE OF EXISTING DEVICE LOCATIONS, CONTRACTOR SHALL REMOVE EXISTING DEVICES AND UTILIZE EXISTING JUNCTION BOXES AS NECESSARY AND PROVIDE THE APPROPRIATE NEW DEVICES AND WIRING AS INDICATED ON DRAWING.

6. WHERE EXISTING DEVICES ARE TO BE REMOVED OR RELOCATED, CONTRACTOR SHALL PATCH AND REFINISH ALL EXISTING WALLS AFFECTED BY THE DEMOLITION WORK.

PLUMBING





1. DEMO EXISTING CONC. SLAB OF POWDER ROOM TO CONNECT WASTE LINE UNDER THE SLAB. PREPARE FOR NEW PLUMBING CONNECTIONS

WALL / FLOOR FINISHES AND MISCELLANEOUS ITEMS

1. CONTRACTOR SHALL PROTECT OR COVER EXISTING WALLS AND FLOOR FINISHES TO REMAIN NEAR CONSTRUCTION DEMOLITION.

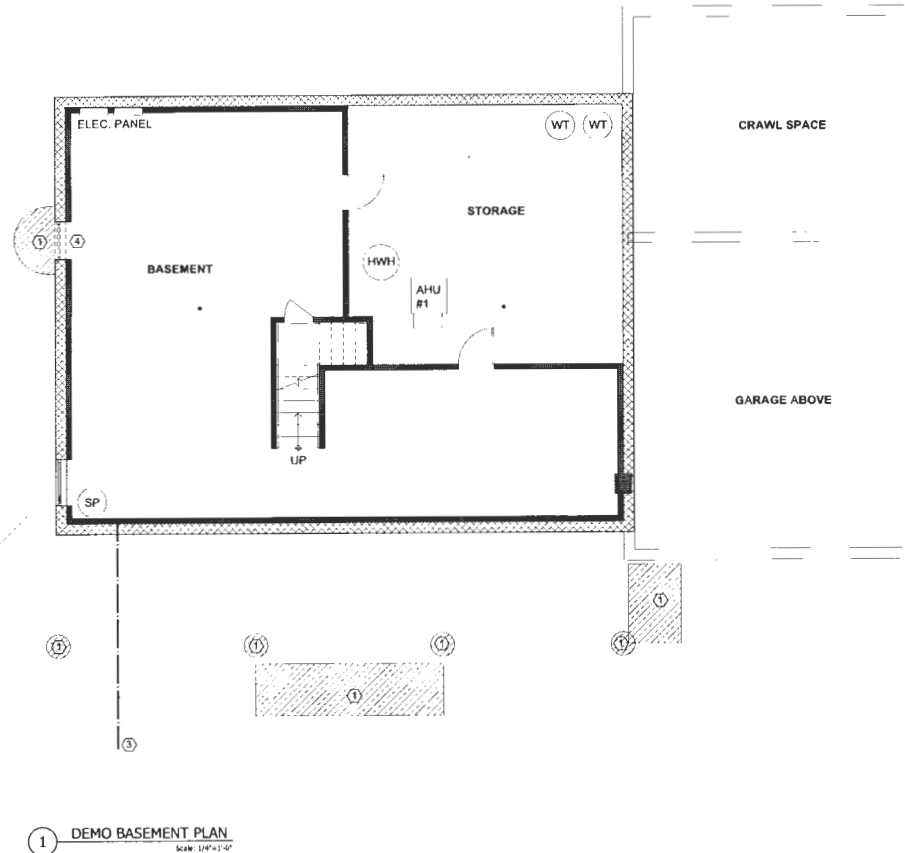
2. CONTRACTOR SHALL WRAP AND PROTECT EXISTING WINDOW BLINDS, DOORS AND FRAMES AND REPLACE BLINDS AS REQUIRED.

SYMBOLS

	DEMO
	FOUNDATION WALL
	PREP GROUND FOR NEW FTG.
	SANITARY LINE

BASEMENT PLAN KEY NOTES

- ① REMOVE EXISTING DIRT FOR NEW WORK, SEE A100 FOUNDATION PLAN FOR MORE INFO.
- ② PREP. AREA FOR NEW LAYOUT, SEE A100 FOR MORE INFO.
- ③ CONTRACTOR TO VERIFY EXISTING PLUMBING BEFORE POURING FOUNDATION
- ④ REMOVE EXISTING WINDOW AND PREP. FOR NEW WINDOW



3G ARCHITECTS, L.L.C.

1400 FREDERICK ROAD
Baltimore, MD 21201
410-528-8888
3GARCHITECTS.COM

Professional Certification
I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland. License number 12387. Expiration date: 3-30-2024.

Consultants

Client

SNYDER RESIDENCE

12500 BARNARD WAY
WEST FRIENDSHIP,
MD 21794

ADDITION/RENOVATION

Drawings

DEMO
BASEMENT PLAN

DATE	ISSUE	PERMIT SET
09/27/23		

E-SIG



A001

DEMOLITION GEN. NOTES

1. THE DEMOLITION WORK INCLUDES THE NECESSARY REMOVAL OF EXISTING CONSTRUCTION AND DISPOSAL OF DEMOLISHED MATERIAL. CONTRACTOR SHALL REFER TO CONSTRUCTION DRAWINGS FOR EXTENT OF RENOVATION WORK AND ITEMS TO REMAIN.
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WALLS

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ELECTRICAL

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6. WHERE EXISTING DEVICES ARE TO BE REMOVED OR RELOCATED, CONTRACTOR SHALL PATCH AND REFINISH ALL EXISTING WALLS AFFECTED BY THE DEMOLITION WORK.

PLUMBING

1. DEMO EXISTING CONC. SLAB OF POWDER ROOM TO CONNECT WASTE LINE UNDER THE SLAB, PREPARE FOR NEW PLUMBING CONNECTIONS
- WALL / FLOOR FINISHES AND MISCELLANEOUS ITEMS
1. CONTRACTOR SHALL PROTECT OR COVER EXISTING WALLS AND FLOOR FINISHES TO REMAIN NEAR CONSTRUCTION DEMOLITION.
 2. CONTRACTOR SHALL WRAP AND PROTECT EXISTING WINDOW BLINDS, DOORS AND FRAMES AND REPLACE BLINDS AS REQUIRED.

SYMBOLS

- EXISTING WALL
 [- - - -] DEMO WALL

1ST FLOOR PLAN KEY NOTE

- ① REMOVE EX. FRONT PORCH AND STEPS, PREP. FOR NEW PORCH
- ② REMOVE EX. WALLS + DOORS, CONTRACTOR TO VERIFY DIRECTION OF 2ND FLOOR FRAMING AND VERIFY WITH ARCHITECT IF WALL IS BEARING.
- ③ REMOVE EX. KITCHEN CABINETS, COUNTERTOPS + APPLIANCES, PREP FOR NEW LAYOUT
- ④ APPLIANCES TO BE SAVED IN OWNER'S DESIGNATED AREA



① DEMO 1ST FLOOR PLAN
 Scale: 1/8"=1'-0"



ARCHITECTS

SG ARCHITECTS, L.L.C.
 104 OLD BRIDGE ROAD
 SUITE 101
 HILLSIDE, VA 22187
 TEL: 703.441.8800
 WWW.SGARCHITECTS.COM

Professional Certification:
 I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland. License number: 12387. Expiration date: 3-30-2024.

Consultants

Client

SNYDER RESIDENCE

12500 BARNARD WAY
 WEST FRIENDSHIP,
 MD 21794

ADDITION/RENOVATION

Drawings

DEMO FIRST FLOOR PLAN

DATE	ISSUE
09/27/23	PERMIT SET

E-SIG



A002

DEMOLITION GEN. NOTES

1. THE DEMOLITION WORK INCLUDES THE NECESSARY REMOVAL OF EXISTING CONSTRUCTION AND DISPOSAL OF DEMOLISHED MATERIAL. CONTRACTOR SHALL REFER TO CONSTRUCTION DRAWINGS FOR EXTENT OF RENOVATION WORK AND ITEMS TO REMAIN.

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WALLS

- CONTRACTOR SHALL REMOVE ALL NON-BEARING WALLS NECESSARY TO ACCOMPLISH THE TOTAL SCOPE OF WORK.
- CONTRACTOR SHALL COORDINATE WITH NEW WORK PLAN AND CONSTRUCTION DRAWINGS FOR NON-BEARING WALLS TO REMAIN.

ELECTRICAL

- CONTRACTOR SHALL REMOVE ALL EXISTING ELECTRICAL WIRING, WALL-MOUNTED ELECTRICAL RECEPTACLE DEVICES, FLOOR-MOUNTED RECEPTACLE DEVICES, SPECIAL EQUIPMENT OUTLETS, DEMOLITION WORK AND SWITCHES IN DEMOLISHED AND FURRED WALLS INCLUDED UNDER DEMOLITION WORK AND COORDINATE WITH NEW ELECTRICAL ENGINEERING DRAWINGS.
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- WHERE NEW DEVICES ARE SHOWN IN PLACE OF EXISTING DEVICE LOCATIONS, CONTRACTOR SHALL REMOVE EXISTING DEVICES AND UTILIZE EXISTING JUNCTION BOXES AS NECESSARY AND PROVIDE THE APPROPRIATE NEW DEVICES AND WIRING AS INDICATED ON DRAWING.
- WHERE EXISTING DEVICES ARE TO BE REMOVED OR RELOCATED, CONTRACTOR SHALL PATCH AND REFINISH ALL EXISTING WALLS AFFECTED BY THE DEMOLITION WORK.

PLUMBING

- DEMO EXISTING CONC. SLAB OF POWDER ROOM TO CONNECT WASTE LINE UNDER THE SLAB. PREPARE FOR NEW PLUMBING CONNECTIONS

WALL / FLOOR FINISHES AND MISCELLANEOUS ITEMS

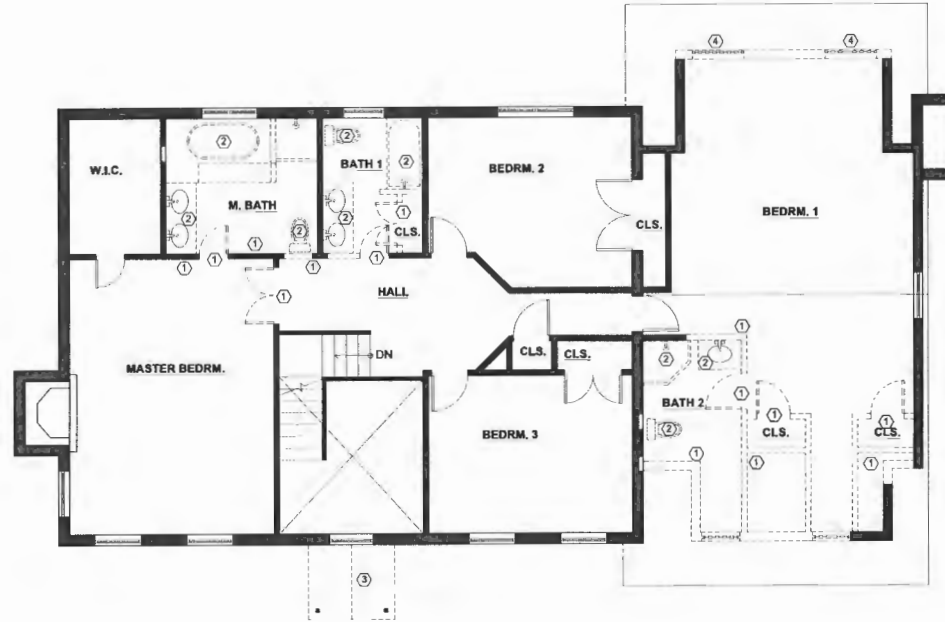
- CONTRACTOR SHALL PROTECT OR COVER EXISTING WALLS AND FLOOR FINISHES TO REMAIN NEAR CONSTRUCTION DEMOLITION.
- CONTRACTOR SHALL WRAP AND PROTECT EXISTING WINDOW BLINDS, DOORS AND FRAMES AND REPLACE BLINDS AS REQUIRED.

SYMBOLS

-  EXISTING WALL
-  DEMO WALL

2ND FLOOR PLAN KEY NOTE

- REMOVE EXISTING WALLS + DOORS
- REMOVE EXISTING BATHROOM FIXTURES TO STRUCTURE AND SAVE EXISTING FIXTURES IN OWNERS DESIGNATED AREA
- REMOVE ROOF
- SAVE EXISTING WINDOWS FOR REUSE



1 DEMO 2ND FLOOR PLAN
Scale: 1/4"=1'-0"



ARCHITECTS

3G ARCHITECTS, L.L.C.
1401 E. BARNARD ROAD
SUITE 100
WEST FRIENDSHIP, MD
21794

Professional Certification:
I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland, Licence number 12387, Expiration date: 3-30-2024.

Consultants

Client

SNYDER RESIDENCE

12500 BARNARD WAY
WEST FRIENDSHIP,
MD 21794

ADDITION/ RENOVATION

Drawings

DEMO SECOND FLOOR PLAN

DATE	ISSUE
09/27/23	PERMIT SET

E-SIG



A003

DEMOLITION GEN. NOTES

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WALLS

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ELECTRICAL

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6. WHERE EXISTING DEVICES ARE TO BE REMOVED OR RELOCATED, CONTRACTOR SHALL PATCH AND REFINISH ALL EXISTING WALLS AFFECTED BY THE DEMOLITION WORK.

PLUMBING

1. DEMO EXISTING CONC. SLAB OF POWDER ROOM TO CONNECT WASTE LINE UNDER THE SLAB. PREPARE FOR NEW PLUMBING CONNECTIONS

WALL / FLOOR FINISHES AND MISCELLANEOUS ITEMS

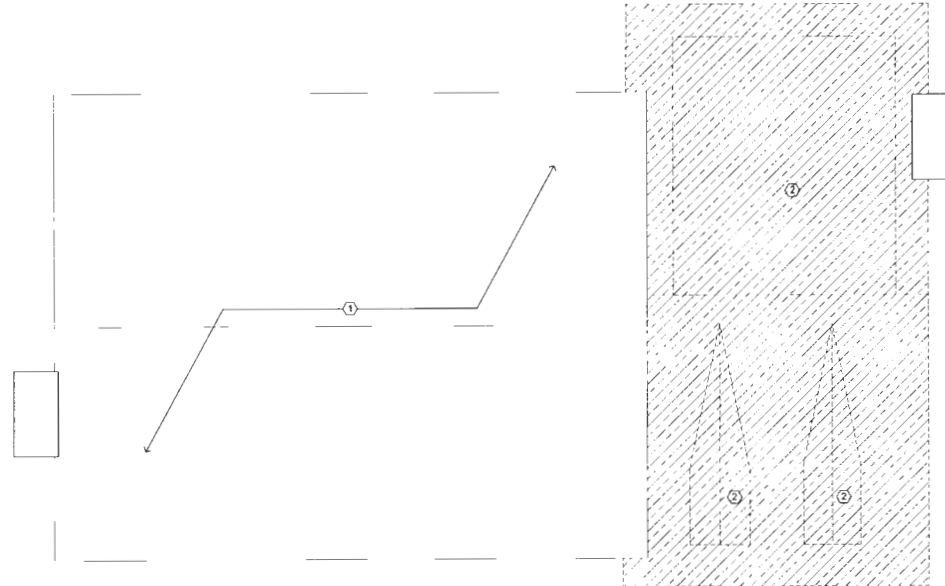
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2. CONTRACTOR SHALL WRAP AND PROTECT EXISTING WINDOW BLINDS, DOORS AND FRAMES AND REPLACE BLINDS AS REQUIRED.

SYMBOLS

-  EXISTING WALL
-  NEW WALL

ROOF PLAN KEY NOTE

- ① EXISTING TO REMAIN
- ② REMOVE EXISTING DORMERS + ROOF BELOW. PREP. FOR NEW RIDGE BEAM + UPSSET BEAMS



① DEMO ROOF PLAN
SCALE: 1/4" = 1'-0"



ARCHITECTS

3G ARCHITECTS, L.L.C.
100 N. CALVERT ROAD
DATE: 06/27/23
MD. REG. NO. 12387
TOLL FREE
301-475-7575

Professional Certification:
I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland, License number 12387, Expiration date: 3-30-2024.

Consultants

Client

SNYDER RESIDENCE

12500 BARNARD WAY
WEST FRIENDSHIP,
MD 21794

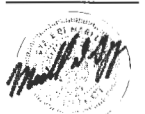
ADDITION/ RENOVATION

Drawings

DEMO
ROOF PLAN

DATE	ISSUE
09/27/23	PERMIT SET

E-SIG



A004

GENERAL PROPOSED NOTES

- ALL EXPOSED EDGES AND/OR CORNERS ON ALL PAINTED DRYWALL CONSTRUCTION SHALL RECEIVE A METAL BEAD WHICH IS TO BE TAPED AND FLOATED SMOOTH.
- WHERE NEW WALLS ARE TO ALIGN WITH THE EXISTING WALLS AND/OR COLUMNS, REMOVE EXISTING CORNER BEAD, TAPE, SPACKLE AND SAND SMOOTH ALL NECESSARY JOINTS TO A POINT ALONG THE EXISTING WALL SO THAT NEW FINISH IS NOT OBVIOUS.
- FLOOR SLAB SHALL BE FLASH-PATCHED SMOOTH AS REQUIRED TO ACCEPT NEW FLOOR FINISHES.
- ALL VERTICAL DIMENSIONS TO BE MADE FROM THE HIGHEST POINT OF FINISH FLOOR TO ENSURE PROPER ALIGNMENT OF ALL DOORS, BULKHEADS, ETC.
- LOCATE INSIDE EDGE OF ALL DOOR FRAMES 4 INCHES FROM THE ADJACENT PERPENDICULAR WALL, UNLESS OTHERWISE NOTED.
- DRAWINGS ARE NOT TO BE SCALED - DIMENSIONS GOVERN.
- WHERE DIMENSIONS ARE OMITTED ON DRAWINGS, LOCATE NEW WALLS, PARTITIONS OR OTHER FEATURES IN SELF-EVIDENT POSITIONS (I.E. ALIGNED WITH THE FACE OF EXISTING WALL, PARTITION OR COLUMN, CENTERS ON OPENING, COLUMN, MULLION OR SPACE ETC.)
- INSTALL NEW FRAMES, DOORS AND HARDWARE IN ACCORDANCE WITH MANUFACTURERS' SPECIFICATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL FLOOR AND CEILING FINISHES TO ENSURE THAT JOINTS AND TRANSITIONS BETWEEN MATERIALS, WHETHER THEY BE WALL TO FLOOR, FLOOR TO FLOOR, WALL TO CEILING OR CEILING TO CEILING, WILL BE SMOOTH, TRUE, LEVEL AND IN ACCORDANCE WITH DRAWINGS, SPECIFICATIONS AND SCHEDULES.
- CONTRACTOR SHALL VERIFY IN FIELD ALL BASE BUILDING & INTERIOR DIMENSIONS INSIDE LIMIT OF WORK PRIOR TO BEGINNING WITH CONSTRUCTION. CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES.
- ALL DRYWALL PARTITIONS SHALL BE DIMENSIONED FROM FINISH FACE OF DRYWALL TO FACE, U.O.N.
- CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS INCLUDING MECHANICAL PRIOR TO DEMOLITION/ CONSTRUCTION NECESSARY TO COMPLETE THE SCOPE OF WORK. CONTRACTOR SHALL COORDINATE ALL MECHANICAL ITEMS WITH MECHANICAL ENGINEERS TO ENSURE SAFE, PROPER INSTALLATION OF CEILING TILE GRIDS, PARTITIONS, MECHANICAL DUCT WORK, ELECTRICAL CONDUITS, ETC.

SYMBOLS

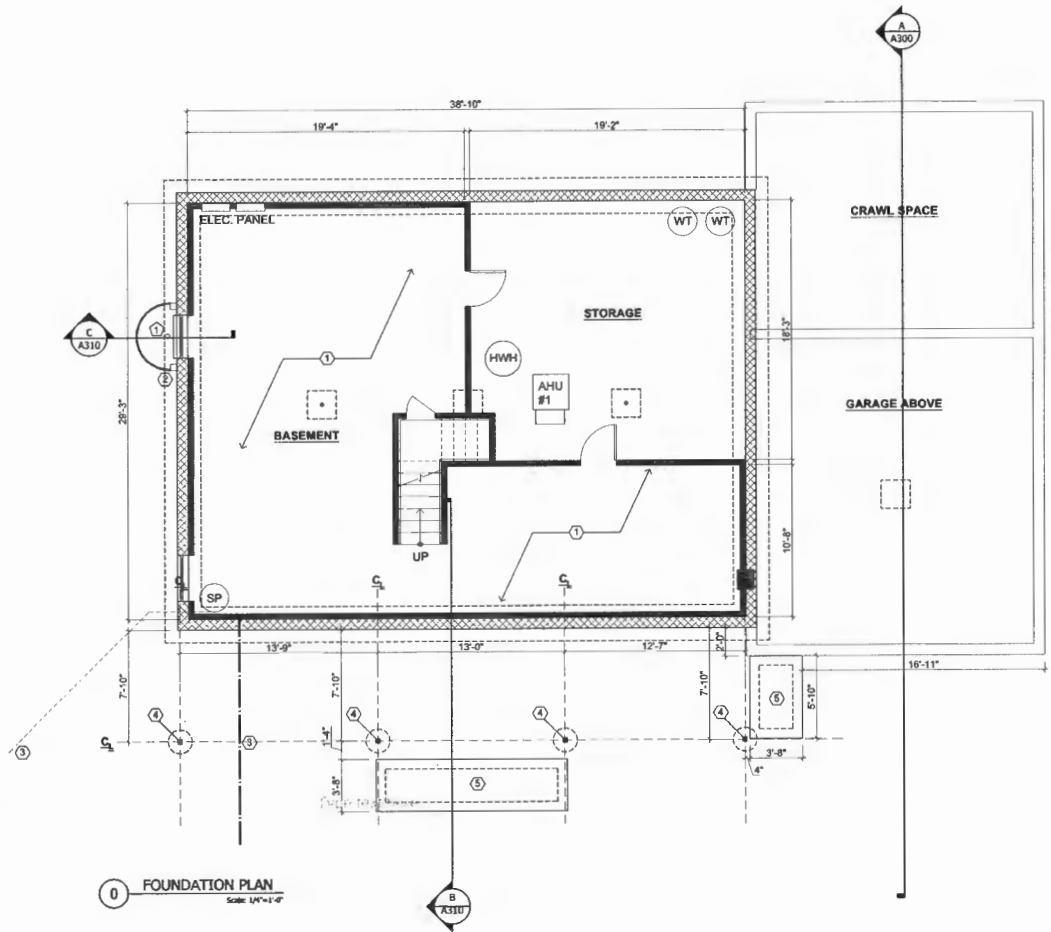
-  EXISTING CMU FOUNDATION WALL
-  EXISTING WALL
-  NEW CONC. FOOTING
-  NEW WALL
-  EXISTING SANITARY LINE

BASEMENT PLAN KEY NOTE

- EXISTING TO REMAIN
- NEW WINDOW WELL FOR NEW EGRESS WINDOW.
- EXISTING PLUMBING UNDER GROUND. CALL MISS UTILITY BEFORE DIGGING.
- P.T. 4x4 POSTS ON 2" Ø SONO TUBE FTG. MIN. 30" BELOW GRADE
- 4" CONCRETE SLAB W/ TURN DOWN SLAB ON PERIMETER W/ WELDED WIRE FABRIC 6x6, 2.1x2.1

WINDOW & DOOR SCHEDULE

① 3'-0"x4'-6" (TFG) DHG WINDOW



ARCHITECTS

3G ARCHITECTS, L.L.C.
1700 G.D. BRADY DRIVE
SUITE 100
MELLENDE, MD 21102
301.441.1100
WWW.3GARCHITECTS.COM

Professional Certification:
I certify that these documents
were prepared or approved
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laws of the State of Maryland,
Licence number 12387,
Expiration date: 3-30-2024.

Consultants

Client

SNYDER RESIDENCE

12500 BARNARD WAY
WEST FRIENDSHIP,
MD 21794

ADDITION/ RENOVATION

Drawings

FOUNDATION PLAN

DATE	ISSUE
09/27/23	PERMIT SET

E-SIG



A100

GENERAL PROPOSED NOTES

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- WHERE DIMENSIONS ARE OMITTED ON DRAWINGS, LOCATE NEW WALLS, PARTITIONS OR OTHER FEATURES IN SELF-EVIDENT POSITIONS (I.E. ALIGNED WITH THE FACE OF EXISTING WALL, PARTITION OR COLUMN, CENTERS ON OPENING, COLUMN, MULLION OR SPACE ETC.)
- INSTALL NEW FRAMES, DOORS AND HARDWARE IN ACCORDANCE WITH MANUFACTURERS' SPECIFICATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL FLOOR AND CEILING FINISHES TO ENSURE THAT JOINTS AND TRANSITIONS BETWEEN MATERIALS, WHETHER THEY BE WALL TO FLOOR, FLOOR TO FLOOR, WALL TO CEILING OR CEILING TO CEILING, WILL BE SMOOTH, TRUE, LEVEL AND IN ACCORDANCE WITH DRAWINGS, SPECIFICATIONS AND SCHEDULES.
- CONTRACTOR SHALL VERIFY IN FIELD ALL BASE BUILDING & INTERIOR DIMENSIONS INSIDE LIMIT OF WORK PRIOR TO BEGINNING WITH CONSTRUCTION, CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES.
- ALL DRYWALL PARTITIONS SHALL BE DIMENSIONED FROM FINISH FACE OF DRYWALL TO FACE, U.O.N.
- CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS INCLUDING MECHANICAL PRIOR TO DEMOLITION/CONSTRUCTION NECESSARY TO COMPLETE THE SCOPE OF WORK, CONTRACTOR SHALL COORDINATE ALL MECHANICAL ITEMS WITH MECHANICAL ENGINEERS TO ENSURE SAFE, PROPER INSTALLATION OF CEILING TILE GRIDS, PARTITIONS, MECHANICAL DUCT WORK, ELECTRICAL CONDUITS, ETC.

SYMBOLS

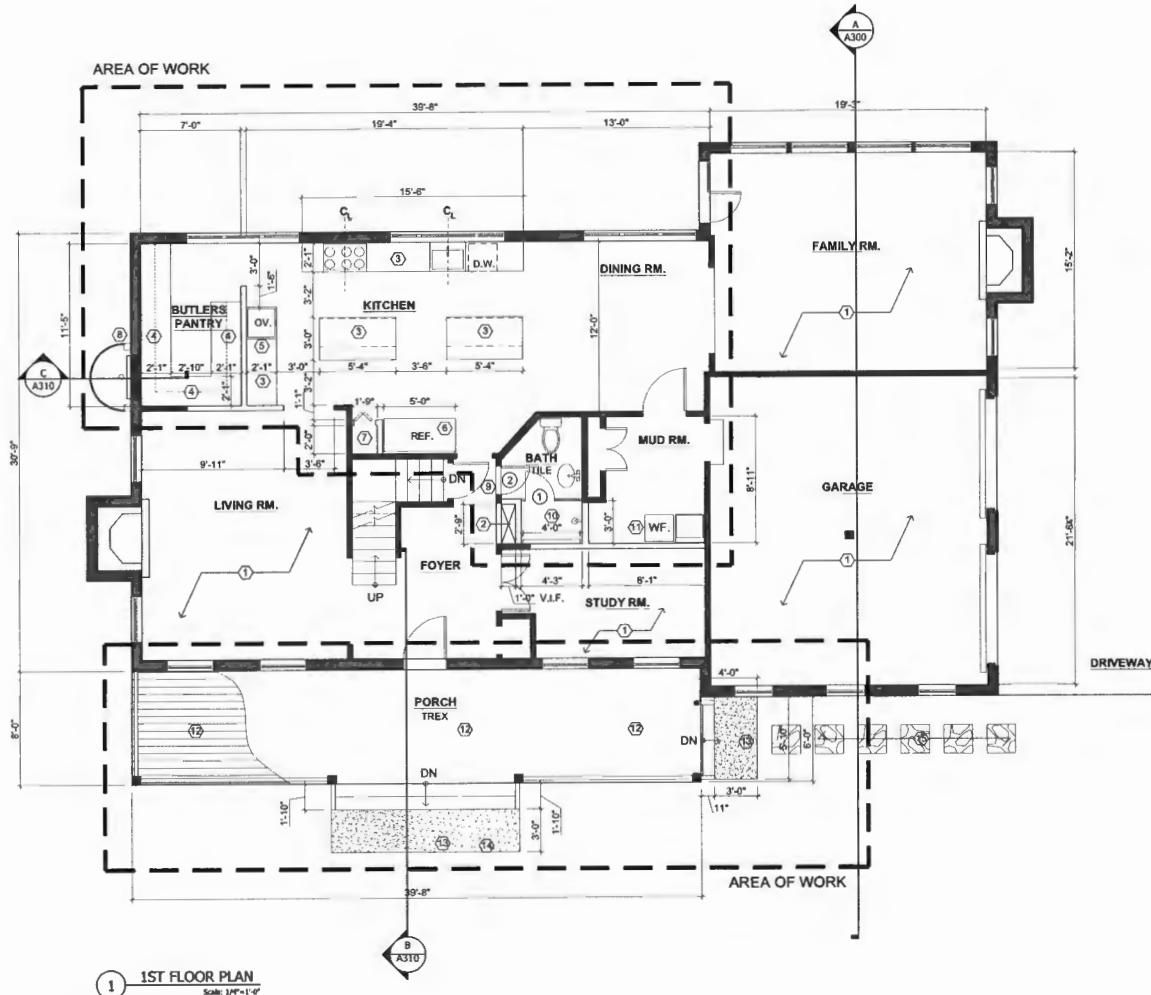
- EXISTING WALL
- NEW WALL

1ST FLOOR PLAN KEY NOTE

- EXISTING TO REMAIN
- MODIFIED VERTICAL DUCT FOR HVAC AS REQ.
- KITCHEN CABINETS + ISLAND, COORDINATE W/ KITCHEN CAB. DWGS. BY OTHERS
- BUTLERS PANTRY BASE CABINETS W/ WALL MOUNTED CABINETS, COORDINATE W/ KITCHEN CAB. DWGS. BY OTHERS
- WALL MOUNTED OVEN
- CLIENT TO PROVIDE 60" REFRIGERATOR
- NEW BROOM CLOSET
- NEW EGRESS WINDOW WELL. SEE CIA310 FOR MORE INFO.
- NEW MARBLE THRESHOLD BELOW DOOR
- NEW SHOWER IN EX. BATH W/ 48" LINEAR SHOWER DRAIN
- CLIENT TO PROVIDE NEW WATER BOTTLE FILLER
- NEW P.T. WD FRAMED PORCH WITH TREX DECKING BD. AND STEPS TO GRADE. SEE A400 + A410 FOR MORE INFO.
- CONCRETE LANDING
- FUTURE PATIO BY LANDSCAPER
- FLAGSTONE PAVERS BY LANDSCAPER

WINDOW & DOOR SCHEDULE

- 2'-0" x 6'-8" SHOWER DOOR
- 2'-0" x 6'-8" DOOR



1 1ST FLOOR PLAN
Scale: 1/8" = 1'-0"



ARCHITECTS

3G ARCHITECTS, LLC.
1700 GARDNER ROAD
SUITE 400
BOWLING GREEN, OHIO 43402
380.457.7800
380.457.7800

Professional Certification:
I certify that these documents
were prepared or approved
by me, and that I am a duly
licensed architect under the
laws of the State of Maryland,
Licence number 12387,
Expiration date: 3-30-2024.

Consultants

Client

SNYDER RESIDENCE

12500 BARNARD WAY
WEST FRIENDSHIP,
MD 21794

ADDITION/ RENOVATION

Drawings

PROPOSED FIRST FLOOR PLAN

DATE ISSUE
09/27/23 PERMIT SET

E-SIG



A110

ROOF PLAN KEY NOTE

- ① EXISTING ROOF TO REMAIN
- ② STANDING SEAM MTL. ROOF
- ③ ROOF SHINGLES TO MATCH EXISTING

WINDOW & DOOR SCHEDULE

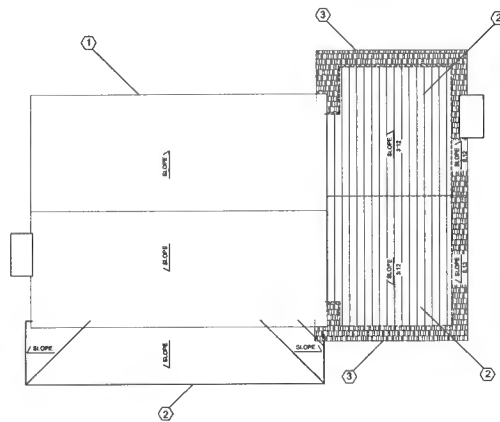
- ③ 3'-0"x6'-8" DOOR
- ④ 2'-0"x6'-8" DOOR
- ⑤ 2'-0"x6'-8" DOOR
- ⑥ 2'-0"x6'-8" DOOR
- ⑦ 3'-0"x6'-8" DOOR
- ⑧ 2'-6"x6'-8" DOOR
- ⑨ 2'-6"x6'-8" DOOR
- ⑩ 2'-0"x6'-8" DOOR
- ⑫ 3'-0"x4'-8" (TFG) DHG WINDOW
- ⑬ 3'-0"x4'-6" (TFG) DHG WINDOW

SYMBOLS

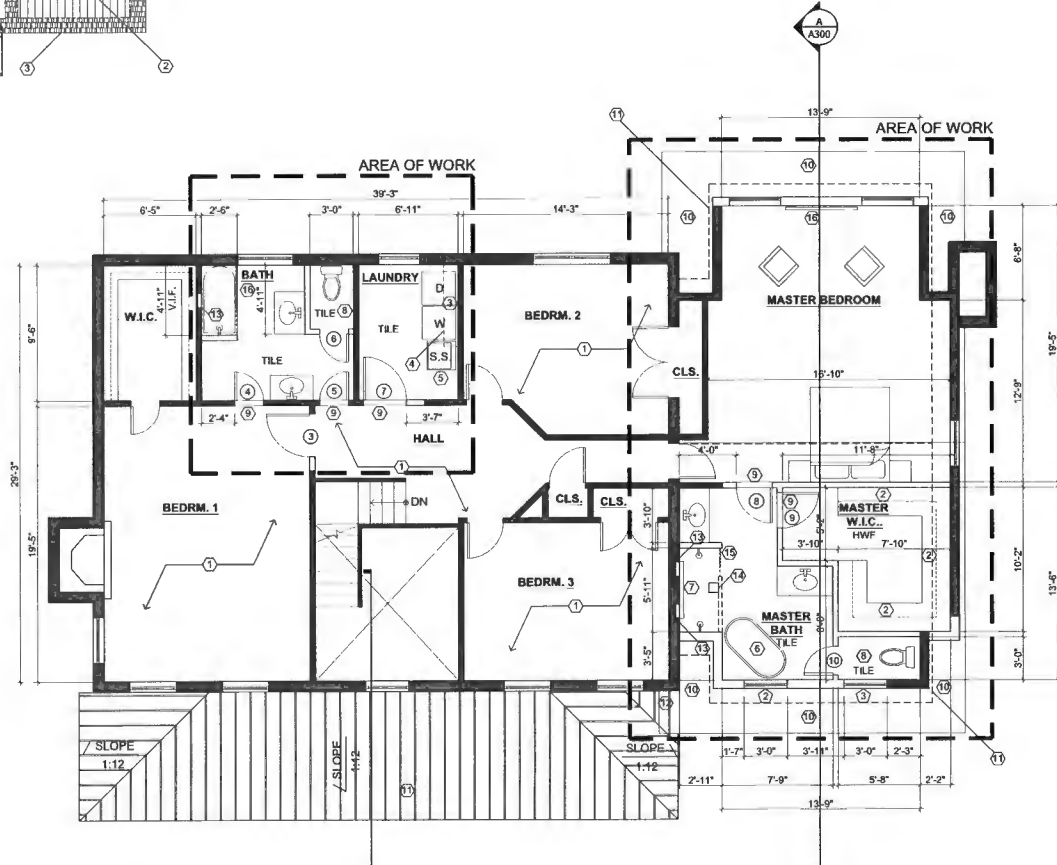
- EXISTING WALL
- NEW WALL

2ND FLOOR PLAN KEY NOTE

- ① EXISTING TO REMAIN
- ② PROVIDE MASTER CLOSET SHELVES AND RODS
- ③ LAUNDRY VENT AS REQ. W/ RELOCATED WASHER + DRYER
- ④ SHELVES ABOVE LAUNDRY MACHINES
- ⑤ PROVIDE NEW SLOP SINK FOR LAUNDRY RM.
- ⑥ PROVIDE NEW FREE STANDING TUB
- ⑦ PROVIDE 48" LINEAR SHOWER DRAIN
- ⑧ NEW TOILET COMPARTMENT
- ⑨ NEW MARBLE THRESHOLD BELOW DOOR
- ⑩ REFRAMED ROOF W/ NEW RIDGE BEAM. SEE A420 FOR MORE INFO.
- ⑪ NEW STANDING SEAM MTL. PORCH ROOF
- ⑫ NEW ROOF MTL. CRICKET
- ⑬ SHOWER NICHE (12' x 24' x 3.5')
- ⑭ SHOWER FOOT LEDGE. CONTRACTOR TO VERIFY WITH HOMEOWNER SIZE, HEIGHT, AND MATERIAL OF FOOT LEDGE.
- ⑮ SHOWER CURTAIN AND ROD
- ⑯ PROVIDE BLOCKING FOR T.V.



2 ROOF PLAN
Scale: 1/8"=1'-0"



1 2ND FLOOR PLAN
Scale: 1/4"=1'-0"



ARCHITECTS

3G ARCHITECTS, LLC.
140 OLD MEADOW ROAD
SUITE 100
HOLLIS, VA 23060
757.863.8888
3GARCHITECTS.COM

Professional Certification:
I certify that these documents
were prepared or approved
by me, and that I am a duly
licensed architect under the
laws of the State of Maryland.
Licence number: 12297.
Expiration date: 3-30-2024.

Consultants

Client

SNYDER RESIDENCE

12500 BARNARD WAY
WEST FRIENDSHIP,
MD 21794

ADDITION/ RENOVATION

Drawings
PROPOSED SECOND FLOOR & ROOF PLAN

DATE: | ISSUE:
09/27/23 | PERMIT SET

E-SIG



A120