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Record Detail \* (This section is required.)

Permit Type	Permit Number	Opened Date
Building/Residential/Addition/SFD	B22002912	07/26/2022

**Description of Work**  
 SFD/Add a 2 story addition to the existing single family. This will include a 1st floor swim spa room, Living room with wet bar, 2nd floor Rec room with a full bath., 2 STORY, Slab on Grade, 3R, 1FB, 0HB, 0FP, OTHER  
 STRUCTURE = None, 0BR, PORCH/DECK = N/A, ENERGY METHOD = N/A,

[check spelling](#)

Address \* (This section is required.)

Search Reset Clear Get Parcel & Owner

Street #	Street Name	Street Type	
6570	PRESTWICK	DR	
Unit Type	Unit #	X Coordinate	Y Coordinate
--Select--		-76.95753	39.18988
City	State	Zip Code	Primary
HIGHLAND	MD	20777	Yes

Parcel \* (This section is required.)

Search Reset Clear Get Address & Owner

GIS ID *	Parcel	Parcel Area	Land Value	Improved Value	Exemption Value	Plan Area
856868	400	3.03	240200	630900	390700	RURAL

**Legal Description**  
 IMPSLOT 18 3.0343 A[ ]6570 PRESTWICK DR[ ]GREENE FIELDS S 1

[check spelling](#)

Block	Lot	Census Tract	Council Dist	Inspection Dist	Supervisor Dist	Map #	DAP Zone
	18	605101	5				
Plan Area	State Tax Id	Subdivision Name					
	1405399203	GREENE FIELDS					
Section	Area	Tax Map					
		34					
Grid	Zoning District	ADC Map					
34-23	RR-DEO	4933-G10					
SDP No.	Final Plan No.	WP File No.					
Record Plat No.	WS Contract No.	FDP No.	Primary				
6672			Yes				
Owner Occupied	Year Built	Historic District					
<input type="radio"/> Yes <input type="radio"/> No	1988	<input type="radio"/> Yes <input checked="" type="radio"/> No					
Historic District Registry No.	Stat Area	Flood Plain					
	5-04A	<input type="radio"/> Yes <input checked="" type="radio"/> No					
Building No							

Owner (This section is not required.)

Search Reset Clear

**Name \***  
 SUCIU SIMONA  
**Address Line 1**  
 6570 PRESTWICK DR  
**Address Line 2**  
 \_\_\_\_\_  
**Address Line 3**  
 \_\_\_\_\_

Mail City	Mail State	Mail Zip Code
HIGHLAND	MD	21044
Phone	Primary	
410-977-5705	Yes	
E-mail		
jim@allanhomes.com		
Cell Number	Fax Number	

Professionals (This section is not required.)

Search    Reset    Clear

License # \* 08010077138    Business Name ALLAN HOMES UNLIMITED INC

License Type \* MHIC Ind    First Name JIM    Middle Name    Last Name BRUMSTEAD

Primary Yes    Address Line 1 10260 OLD COLUMBIA ROAD    Address Line 2

City COLUMBIA    State MD    ZIP Code 21046-0000

Phone 1 4109775705    Phone 2    Fax 4103811211

E-mail JIM@ALLANHOMES.COM

Applicant (This section is not required.)

Search    As Owner    As Lic. Prof    As Contact

Type \* Applicant    First Name JIM    MI    Last Name BRUMSTEAD

Relationship Applicant    Full Name

Primary No    Organization Name ALLAN HOMES UNLIMITED INC

Street Address 10260 OLD COLUMBIA ROAD    Address Line 2

City COLUMBIA    State MD    Zip Code 21046-0000

Phone 4109775705    Cell    Fax 4103811211

E-mail \* JIM@ALLANHOMES.COM

Contact (This section is not required.)

Search    As Owner    As Lic. Prof    As Contact

Type Contact    First Name JIM    MI    Last Name BRUMSTEAD

Relationship Licensed Professional    Full Name JIM BRUMSTEAD

Primary Yes    Organization Name ALLAN HOMES UNLIMITED INC

Street Address 10260 OLD COLUMBIA ROAD    Address Line 2

City COLUMBIA    State MD    Zip Code 21046-0000

Phone 4109775705    Cell    Fax 4103811211

E-mail JIM@ALLANHOMES.COM

Addtl Info

Est Construction Cost \* 200000    Housing Units \* 0    Number of Buildings \* 0    Public Owned No

Construction Type 434 - Additions, Alterations and Conversions - Residential

RESIDENTIAL ADDITION INFORMATION

RESIDENTIAL ADDITION INFORMATION

Capital Project-No Fee \*  Yes  No    Capital Project Number    Fee Exempt \*  Yes  No    Roadside Tree Project Permit  Yes  No    Roadside Tree Project Permit #

No of Stories \* 2    Foundation \* Slab on Grade    Basement \* N/A    No of Rooms \* 3    Full Baths \* 1    Half Baths \* 0    Existing Use \* Existing Structure

Model \*

Add a 2 story addition to the existing single family.

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<b>Other Structure *</b> None	<b>Bedrooms *</b> 0	<b>Porch Deck *</b> N/A	<b>No of Fireplaces *</b> 0	<b>Type of Fireplace</b> --Select--	<b>Energy Code *</b> N/A
<b>W &amp; S Fees Paid</b> <input type="radio"/> Yes <input type="radio"/> No	<b>Water *</b> Private	<b>Sewage *</b> Private	<b>Utilities *</b> Electric	<b>Heating System *</b> Electric	<b>Sprinkler System *</b> None
<b>1st Floor Width</b> 25 FT	<b>1st Floor Depth</b> 33 FT	<b>2nd Floor Width</b> 25 FT	<b>2nd Floor Depth</b> 33 FT	<b>Basement Width</b> 0 FT	<b>Basement Depth</b> 0 FT
<b>Total Square Footage *</b> 1400 SQFT	<b>Occupiable Square Footage *</b> 1400 SQFT	<b>Affordable Housing Funding *</b> N/A	<b>Foundation Measurement</b> 25 x 33'10"	<b>Footings</b> Per plan	<b>Road Frontage</b> County
<b>Walls</b> Per plan	<b>Roof</b> 1230	<b>Change In Use</b> <input type="radio"/> Yes <input checked="" type="radio"/> No	<b>Grading Permit No</b>	<b>Expiration Date</b> 1/28/2023	

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PAYMENT INFORMATION

<b>Check 1</b>	<b>Payee 1</b>	<b>Check 2</b>	<b>Payee 2</b>	<b>SAP Doc No</b>	<b>SAP Entered</b>
<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>

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# 2021 IECC CODE COMPLIANCE

- R301.1 Climate zone 4A
- R401.2 Compliance Method: Mandatory and Prescriptive Provisions
- R402.1.1 Vapor Retarder: Wall assemblies in the building thermal envelope shall comply with vapor retarder requirements of Section R702.7 of the International Residential Code, 2015 Edition.
- R402.1.2 Attic Insulation: Raised Heel Trusses R-49 R-38
- R402.1.2 Wood Frame Wall: R-20 or R13 + R5 continuous insulation.
- R402.1.2 Basement Wall Insulation: R-13/R-10 Foil Faced Continuous, uninterrupted Batts Full Height
- R402.1.2 Crawl Space Wall Insulation: R-13/R-10 Foil faced Continuous Batts Full Height extending from floor above to finishgrade level and then vertically or horizontally an additional 2'-0".
- R402.1.2 Floor Insulation over Unconditioned Space: R-19 batt insulation.
- R402.1.2 Window U-Value/SHGC .35 (U-Value)/.40 (SHGC)
- R402.2.10 Slab on Grade Floors Less Than 12" Below Grade: R-10 Rigid Foam Board Under Slab Extending Either 2'-0" Horizontally or 2'-0" Vertically
- R402.2.4 Attic Access: Attic access scuttle will be weatherstripped and insulated R-49
- R402.4 Building Thermal Envelope (air leakage): Exterior walls and penetrations will be sealed per this section of the 2015 IECC with caulk, gaskets, weatherstripping or an air barrier of suitable material. Sealing methods between dissimilar materials shall allow sealing for differential expansion and contraction.
- R402.4.1.2 Building Thermal Envelope Tightness Test: Building envelope shall be tested and verified as having an air leakage rate of not exceeding 3 air changes per hour. Testing shall be conducted in accordance with ASTM E779 or ASTM E 1827 with (blower door) at a pressure of 0.2 inches w.g. (50 pascals). Testing shall be conducted by an approved third party. A written report of the results of the test shall be signed by the party conducting the test and provided to the building inspector.//15
- R402.4.2 Fireplaces: New wood burning fireplaces will have tight-fitting flue dampers or doors, and outdoor combustion air. Fireplace doors shall be listed and labeled in accordance with UL 127 (factory built fireplace) and UL 907 (masonry fireplace).
- R402.4.4 Rooms containing fuel-burning appliances where open combustion air ducts provide combustion air to open combustion fuel burning appliances, the appliances and combustion air shall be located outside the building thermal envelope or enclosed in a room isolated from inside the thermal envelope.  
Exceptions: 1. Direct vent appliances with both intake and exhaust pipes installed continuous to the outside. 2. Fireplaces and stoves complying with Section R402.4.2 and Section R1004 of the IRC.  
\*\*\*\*
- R402.4.5 Recessed Lighting: Recessed luminaires installed in the building thermal envelope shall be sealed to limit air leakage.
- R403.1.1 Thermostat: All dwelling units will have at least (1) programmable thermostat for each separate heating and cooling system per 2015 IECC Section 403.1.1.
- R403.1.2 Where a Heat pump system having supplementary electric resistance heat is used the thermostat shall prevent the supplementary heat from coming on when heat pump can meet heating load.
- R403.3.1 Mechanical Duct Insulation: Supply and Return Ducts in Attic R-8 minimum. R-6 when less than 3 inches. Supply and Return Ducts outside of conditioned spaces R-8 minimum. All other ducts except those located completely inside the building thermal envelope R-6 minimum. Ducts located under concrete slabs must be R-6 minimum.
- R403.3.2 Duct Sealing: All ducts, air handlers, filter boxes will be sealed. Joints and seams will comply with section M1601.4.1 of the IRC. A duct tightness test ("Duct Blaster" duct total leakage test) will be performed on all homes and shall be verified by either a post construction test or a rough-in test. Duct tightness test is not required if the air handler and all ducts are located within the conditioned space.
- R403.6 Mechanical Ventilation: Outdoor (make-up and exhausts) air ducts to be provided with automatic or gravity damper that close when the ventilation system is not operating.
- R403.6.1 Whole-house mechanical ventilation system fan efficiency to comply with TABLE R403.6.1.
- R403.7 Equipment Sizing shall comply with R403.7.
- R404.1 Lighting Equipment: A minimum of 75% of all lamps (lights) must be high-efficacy lamps. This contractor also responsible for generating Certificate of Compliance and affixing to electrical panel or within 6 feet of the electrical panel and be readily visible.

# GENERAL FRAMING NOTES

- DOUBLE ALL FLOOR JOISTS UNDER WALLS ABOVE THAT ARE FRAMED PARALLEL TO FLOOR FRAMING UNLESS NOTED OTHERWISE ON THE PLANS.
- ALL FLOOR JOISTS, CEILING JOISTS & RAFTERS ARE TO BE S.P.F.
- ALL BEAMS, GIRDERS AND HEADERS ARE TO BE DOUG. FIR LARCH #2 OR BETTER WITH A FB RATING OF 875 AND MODULUS OF ELASTICITY OF 1,600,000 MIN. UNLESS OTHERWISE NOTED.
- ALL LAMINATED VENEER LUMBER (LVL) BEAMS, GIRDERS AND HEADERS LABELED ON THE PLANS TO HAVE A FB RATING OF 2,950 AND MODULUS OF ELASTICITY OF 2,000,000 MIN. UNLESS OTHERWISE NOTED. STRUCTURAL LAMINATED BEAMS TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.
- ALL STRUCTURAL OPENINGS TO RECEIVE MIN. 3-2x10 HEADERS W/ 1/2" RIGID INSULATION FILLER & 1 JACK STUD EACH END UNLESS NOTED OTHERWISE.
- PROVIDE SOLID 2x10 BLOCKING TO BE LOCATED BETWEEN FLOOR JOISTS WHERE POSTS, FROM ABOVE, CARRYING STRUCTURAL HEADERS LAND BETWEEN FLOOR JOIST BELOW. BLOCKING TO BE BUILT UP TO THE SAME WIDTH AS POST IT IS CARRYING ABOVE.
- PROVIDE ADEQUATE CLEARANCE @ PLUMBING STACKS AS REQ.
- ALL DIMENSIONS MUST BE VERIFIED IN THE FIELD BY THE CONTRACTOR BEFORE START OF CONSTRUCTION. ANY DISCREPANCIES ON THE PLANS, OR SPECIFICATIONS, MUST BE REPORTED TO THE ARCHITECT OR ENGINEER PRIOR TO THE START OF CONSTRUCTION.
- ANY VARIATION FROM THESE PLANS THAT WILL REQUIRE CHANGES TO THE STRUCTURAL MEMBERS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY.
- WHERE APPLICABLE, REFER TO ENGINEERED LUMBER MFR'S SPECIFICATIONS FOR MULTI-MEMBER INSTALLATION & CONNECTION REQUIREMENTS
- FASTEN MULTIPLE MEMBER JACKS TOGETHER W/ MIN. 10d NAILS @ 8" O.C. STAGGERED ALONG ENTIRE LENGTH OF MEMBERS. PROVIDE NAILING W/IN 3" OF TOP OR BOTTOM OF MEMBERS.
- FASTEN MULTIPLE MEMBER BEAMS TOGETHER W/ MIN 16d NAILS @ 12" O.C. STAGGERED ALONG ENTIRE LENGTH OF MEMBERS. TWO ROWS REQUIRED FOR DEPTHS UP TO 12". THREE ROWS REQUIRED FOR DEPTHS OF 12'-18". PROVIDE NAILING W/IN 22" OF EACH END OF MEMBERS. FOR BEAMS 2" OR GREATER IN WIDTH PROVIDE BOLTED CONNECTION W/ ASTM GRADE A-307 (OR BETTER) 1/2" DIA. BOLTS IN TWO ROWS 3" FROM EACH END OF BEAM @ 24" O.C. STAGGERED.

# DESIGN CRITERIA

## CLIMATE AND GEOGRAPHIC DESIGN CRITERIA - table 301.2 (1)

GROUND SNOW LOAD (lbs./s.f.)	40	
WIND PRESSURE (pounds per square foot)	17 +/- ( 90 m.p.h.)	
SEISMIC CONDITION BY ZONE	B	
SUBJECT TO DAMAGE	WEATHERING	SEVERE
	FROST LINE DEPTH	30
	TERMITE	MODERATE
	DECAY	MODERATE
WINTER DESIGN TEMP. FOR HEAT. FACILITIES	13'	
RADON RESISTANT CONSTRUCTION REQ		
FLOOD ZONE		

# DRAWING LIST

0.01	COVER SHEET
0.02	GENERAL INFO
0.03	SIMPLIFIED PLANS
0.51	DEMO-FOUNDATION
1.01	ELEVATIONS
1.02	ELEVATIONS
2.01	FOUNDATION
3.01	FLOOR PLANS
3.02	FLOOR PLANS
3.03	FRAMING DETAILS
3.52	WALL BRACING DETAILS
4.01	ROOF PLAN
4.02	ROOF DETAILS
5.01	SECTIONS
5.02	SECTIONS
E3.01	ELECTRICAL PLANS

# AREA INFO

FLOOR	ADDITIONAL S.F.
BASEMENT	0 s.f.
FIRST FLOOR	872 s.f.
SECOND FLOOR	463 s.f.

# CODE INFORMATION

- 2021 International Residential Code
- 2021 International Energy Conservation Code
- 2021 International Mechanical Code
- 2018 International Plumbing Code
- 2021 NFPA 101 Life Safety Code
- 2020 National Electrical Code (NFPA 70)
- 2009 National Fuel Gas Code (NFPA 54)

- Contractor, sub-contractor or supplier shall verify all job conditions and measurements prior to commencing work or ordering materials. Discrepancies between dimensions shown on drawings and actual field conditions should be brought to the Architect and Owner's attention immediately for clarification prior to proceeding with work. These plans are not to be scaled for construction purposes. Written dimensions and notes supersede all scaled reference. If there are any conflicts, discrepancies or ambiguity with dimensioning the Contractor shall notify the Architect immediately for clarification. Field verify ALL proposed dimensions.

- As a matter of record, JRArchitecture, LLC shall not be responsible for construction means and methods or omissions by the contractor, sub-contractor or any other persons performing work in accordance with these drawings.

- On this Project, the Contractor shall have sole supervision over, and exclusive responsibility for: demolition and temporary construction; construction means, methods, techniques, sequences, procedures, safety precautions and safety programs in connection with all demolition and construction work; and protection of persons and property during construction until final completion is obtained. Services performed by Architect or its consultants during construction, if any, are intended to promote the goal that, in general, the construction work, when fully completed, will be consistent with the design intent reflected in the permit or construction drawings. Means and methods responsibility always shall be the exclusive responsibility of the Contractor and Contractor shall separately engage specialty engineers or other consultants as required to fulfill this responsibility.



PROFESSIONAL CERTIFICATION  
I certify that these documents were prepared or approved by me, and that I am a duly licensed professional architect under the laws of the State of Maryland.  
License Number #14478  
Expiration Date: 6/30/2022

WARNING:  
THIS DOCUMENT IS THE PROPERTY OF JONATHAN RIVERA ARCHITECT. AS A MEMBER OF THE STATE OF MARYLAND ARCHITECTS A VIOLATION OF LAW MAY BE SUBJECT TO PENALTY UNDER THE PENALTY LAWS.  
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Jonathan Rivera Architect  
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# PROPOSED RESIDENCE

## PALOS-SUCIU RESIDENCE

4570 Freshwick Drive  
Highland, Maryland 20777

### ARCHITECT

Jonathan Rivera AIA, NCARB  
Howard County, Maryland

443.224.5745

jrivera@jonathanrivera.com

### STRUCTURAL ENGINEER

Spoin1 Engineering  
48 West Main Street  
New Market, Maryland

(240) 822-3016  
info@spoin1.com

### ISSUE DATES:

6-28-19 REVIEW SET

SCALE: 1/4" = 1'-0"

INFO SHEET  
**0.01**

PRINT DATE:  
Tuesday, June 21, 2022



*Jonathan Rivera*  
6/21/2022

Note: PE Seal is for Structural Design Only.

Professional Certification: I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 31582  
Expiration 04/04/2023

# MASONRY

- Maximum vertical distance of unbalanced fill measured from the top of the lower level slab to outside finished grade shall not exceed the following. For unreinforced walls where unstable soil or ground water conditions do not exist.

Type of Wall	Height of Fill
8" C.M.U.	4'-0"
12" C.M.U. (hollow)	4'-0"
12" C.M.U. (solid)	7'-0"
8" Paired Concrete	7'-0"
10" Paired Concrete	8'-0"

- Masonry veneer shall be installed over 15# felt or approved water repellent sheathing. Through-wall flashing and weeps shall be provided at any location where interior space projects beyond the face of the veneer, i.e. bay windows, Off-set chimneys, etc..

- Masonry veneer shall be attached 16" o.c. each way and anchored in accordance with the local code requirements.

- Walls over 7'-0" or on unstable soil shall be engineered and certified by a registered professional engineer.

- Concrete masonry units shall meet ASTM C-90 Grade A solid block or ASTM C-145 Grade B Standards and be 28 DAYS OLD before installation. Minimum net compression strength of block to be 1500 psi.

- Parging over CMU walls to be not less than 3/8" Portland cement parging from footing to finished grade. Parging and poured concrete walls shall be covered with a coat of approved aluminous material applied at the recommended rate below grade.

- MASONRY LINTELS: Provide lightweight pre-cast lintels for all openings and recesses in CMU walls. Provide (1) 4x8 lintel for each 4" of wall thickness. Reinforce each lintel with two #4 bars at top and bottom and with #2 ties spaced 9" O.C., unless noted otherwise. Precast lintel to have minimum 8" bearing at each end. Such lintels shall not support any superimposed loads.

- Use Type "M" mortar for masonry below grade in contact with earth.

- Use Type "N" mortar for exterior above-grade load bearing and non-load bearing walls, and for other applications where another type is not indicated.

# CONCRETE

- Concrete works shall conform to American Concrete Institute Standard 318-83

- Bottom of all footings shall be located a minimum of 30", (or as per local code) below finished grade. Steps or depth of footing / foundation may vary according to local site or frost conditions.

- All interior concrete slabs will be reinforced 6"x6"xW2.0xW2.0 WWF or control joints. Monolithic turned down slabs for townhouses shall have a control joint between units.

- Concrete used in exposed areas implicit to freezing and thawing (both during construction and service life) shall be air-entrained in accordance with local code. Exterior flat-work shall be coated with an approved curing compound.

- Foundation walls of habitable rooms located below grade will be dampproofed or water proofed using materials/methods approved by local building jurisdiction.

- All work shall comply to local code.

Type of Concrete Construction	Minimum Specified Compressive Strength
- Footings	3500 PSI
- Interior Basement Slabs	3500 PSI
- Foundation Walls	3500 PSI
- Garage and Exterior Slabs	3500 PSI
- Rat Slabs	2500 PSI

(or as per local code)

- REINFORCING BARS: ASTM A-615 and A-305, MESH: ASTM A-185.

- All interior slabs of 30 FEET or more in any dimension shall have WWF and Control Joints.

- Vapor barrier under all slabs EXCEPT garages: 7 MIL Polyethylene. Lap all edges 6". Lay over 4" Gravel bed.

- Exterior Concrete Slabs: 5% to 7% Air Entrained



*Jonathan Rivera*  
6/21/2022  
Note: PE Seal is for Structural Design Only.

Professional Certification: I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 31582, Expiration 04/04/2023.

# WOOD

- Wall bracing shall be installed as per local code.

- All roof trusses and floor systems shall be braced and installed per manufacturer's specifications and as per local code. See manufacturer's plans for exact layout and construction.

- All trusses are to be stamped and certified by a registered engineer and meet IPI manufacturers minimum requirement.

- See drawings for plywood.

- Tongue and groove floor decking glued and nailed (8d nails) on floor joists at 6" o.c. and 4" edge spacing maximum to meet the American Plywood Association Stud-I-Floor system.

- Tongue and groove floor decking glued nailed (8d nails) on pre-engineered floor joists at 6" o.c. and 4" edge spacing maximum to meet the American Plywood Association Stud-I-Floor system.

- Fire-stopping shall be provided to cut-off concealed draft openings and to form an effective fire barrier between stories as per local code.

- All LVL's will be microlams will be manu. by Trus Joist McMillan (or equiv)

- Structural sunn lumber shall be SPF #1 or #2

- All exterior walls are 2x4 stud #16" centers, minimum SPF stud grade unless otherwise noted.

- All interior walls are 2x4 stud #16" centers, minimum SPF stud grade unless otherwise noted.

- All opening headers to be 3-2x10's w/ 3/4" plywood filler bearing on min. 2-2x's studs, unless noted otherwise

- Joist hangers to be installed as required.

- All wood less than 8" from grade shall be pressure treated. All sole plates on slabs shall be pressure treated.

- Provide bearing at all structural members as required by local code.

- All materials shall be installed per manufacturer's specifications and as per applicable building codes.

- All multiple beam members will be glued together with liquid nails and screwed using 3" Deck Mole screw at 16" o.c. staggered 2" from the top and bottom of the depth of the beam.

- All work shall comply to local code.

# METAL

- Strap anchor or anchor bolts shall be local code and building inspector approved. Minimum 2 straps/bolts per section of piling 12" Max. from each end and with intermediate straps/bolts at 6'-0" o.c. maximum. (or as per local code)

- Galvanized metal brick veneer ties shall be installed 16" o.c. each way.

- All steel shall conform to ASTM Specs for A-36 Steel.

- Metal joist hangers (Standard wood ledger) Shall be used where required at joist without direct bearing and be min. 18 GA. galvanized steel. Use all nails specified by the manufacturer.

- Steel lintels for all opening and recesses in brick or Brick Faced Masonry wall not specifically detailed: Provide (1) steel angle for each 4" of wall thickness. Steel angles to have minimum 6" bearing at each end. Horizontal leg shall be 3/4", unless noted otherwise.

- LINTEL SCHEDULE (UNLESS NOTED OTHERWISE ON PLANS):

LOOSE LINTELS (STEEL AND PRECAST)

1. Provide loose lintels over penetrations in new masonry walls (and new penetrations in existing masonry walls) at doors, windows, mechanical and electrical services and equipment, etc., u.o.o.

2. Provide a steel angle for each 4" of masonry thickness bearing 6" minimum on a full mortar bed as follows:

OPENINGS UP TO 3'	L3-1/2x3-1/2x5/16
OPENINGS > 3 TO 5'	L4x3-1/2x5/16, (L1V)
OPENINGS > 5 TO 8'	L4x3-1/2x5/16, (L1V)

3. Where required for architectural reasons, or, as noted, provide precast concrete lintels bearing 8" min. on a full mortar bed as follows.

4" WALLS (8" max open.)	4"x8", Reinforced W/ 1#3 top & 1#5 bottom
6" WALLS (8" max open.)	6"x8", Reinforced W/ 1#3 top & 1#5 bottom
8" WALLS (8" max open.)	8"x8", Reinforced W/ 2#3 top & 2#5 bottom

4. When walls are present that are thicker than 8" use a combination of 4", 6" and 8" precast concrete lintels.

- Lintels shown shall not support any superimposed loads.

- All steel angles in masonry walls are to be flashed and painted.

- Paint all exterior ferrous or galvanized metals EXCEPT completely pre-finished factory items.

- All work shall comply to local code.

# SITework

- GENERAL: These drawings do not cover sitework, grading or landscaping

- Building foundations have been designed based on an assumed soil bearing capacity of 1500 PSF. Additional engineering is required if soil bearing capacity is less than 1500 PSF.

- Provide continuous perimeter foundation drainage in accordance with local code requirements. Where both interior and exterior drains are required, provide minimum 1 1/2" dia. bleeder pipes through mid line of footing at max 8" o.c. Typically, drains shall lead to sump pits or to positive daylight discharge points.

- Slope all stoops, porches, walks and exterior slabs away from building 1/8" minimum per foot.

- All work shall comply to local code.

# WEATHER/THERMAL

- Installation for slab on grade construction shall begin at the inside intersection of the slab and the foundation wall and shall extend for a minimum distance of 24" down the inside face of the foundation wall and horizontally 24" under the slab. For unheated slabs a material with an R-value of 42 is required; for heated slabs an R-value of 63 is required (or as per local code)

- Sill Sealer-compressible material shall be installed under all mud plates (foundation wall and wood floor systems) and sole plates (slab on grade)

R-Value	Thickness	Location
R-11 FS25	3 1/2"	Basement Walls
R-21	5 1/2"	2x4 Walls (exterior)
R-38	9"	Crawl Space
R-38		Floors exposed to unheated condition
R-49 Batt.	12"	Roof
R-49 Blown		Apply blown insulation as required by manufacturer's specifications

- Provide vents as per local code.

- Flashing: Prefinished aluminum or equal, at all roof offsets, chimneys, roof openings, hips, valleys, ridges, dormers and where roof intersects wall.

- Contractor shall maintain in all circumstances proper fire, sound and insulation ratings when penetrating through walls, floors, ceilings and roofs.

- All miscellaneous penetrations during construction shall be patched and repaired according to manufacturer's specifications and as per code.

- All exterior joints between windows, doors and other surfaces shall be caulked and sealed appropriately.

- DAMPROOFING: Apply (1) coat of asphalt emulsion to exterior of all below grade walls at basement conditions. When habitable space occurs below grade, provide waterproofing membrane, aqueous based elastomeric, vinyl acrylic mastic, 35 MIL. min. thickness or other approved equal.

- SLAB VAPOR BARRIER: 7 MIL. polyethylene sheet where noted on drawings. Overlay all edges 6".

- SILL SEALER: 1/2" x 5 1/2" compressible fiberglass beneath all exterior sill plates or other approved sill sealer.

- Provide approved corrosion-resistive flashing at the intersections of masonry and wood frame construction; over projecting wood trim; where decks, porches etc. attach to wood frame construction; at wall and roof intersection; at chimney and roof intersections; in roof valleys; at all roof penetrations; and at wall openings if recommended by window and door manufacturers.

- Slab perimeters exposed to outside or within 30" of grade; 4.5x24", either vertical or horizontal from slab intersection.

- ROOFING: unless noted otherwise, roofing shall be min 200# Class "C" Fiberglass based asphalt shingles over 15 pound felt. Eave flashing to a point 24" inside of interior face of wall line may be also installed at the owner discretion.

- WALL SHEATHING: As shown on drawings and installed in accordance with MANUFACTURER'S RECOMMENDATIONS.

- GUTTERS AND LEADERS: .032" Prefinished aluminum gutters with .024" prefinished aluminum leaders. Lead to splashblocks or collector as required.

# DOORS and WINDOWS

- Provide safety glazing as required by local code.

- All doors and windows shall be installed in accordance with manufacturer's specifications, and as per local code.

# GENERAL NOTES

- All work shall comply to all applicable local codes.

- All construction shall be classified as and comply to either of the following:

-- Use Group R-4 under the 2021 International Residential Code. & Howard County Code

- Contractor is responsible for bracing all framing/walls during construction

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- These plans are subject to modification as necessary to meet code requirements and/or facilitate mechanical/plumbing installations or to incorporate design improvements. The Architect and the Owner reserves the right to make any changes, for any reason, at any time, providing they comply with the code.

- The Sub Contractor shall compare and coordinate all drawings. When a discrepancy or an error or omission exists, he shall comply with the code and contact the Architect and the Owner in writing for proper adjustment.

- These plans are not to be scaled for Construction purposes.

- Written dimensions and notes supersede all scaled reference.

- In the event certain features of Construction are not fully shown on the drawings, their construction shall be of the same character as for similar conditions that are shown or noted.

- Field verify ALL existing dimensions

# DESIGN - LIVE LOADS

- RECOMMENDED MINIMUMS:

- Ground Snow Load	30 psf	ROOF:	Ground Snow Load, P <sub>g</sub> = 40 psf
- Roof	40 psf		Dead Roof
- Sleeping Floors	30 psf		- 17 psf for pitched
- Living Floors	40 psf		- 20 psf for flat roof
- Exterior Decks	40 psf		
- Stairs	100 psf	FLOOR:	
- Garage Slabs	50 psf		Floor Live
- Wind Load	17 psf		- 40 psf
- Dead Load	10 psf		- 30 psf in sleeping rooms
- Guardrails	200'		Dead = 15 psf

(or as per local code)

WIND: Wind Speed (ultimate), Vult = 115 mph

# STAIR CRITERIA

- INTERIOR and EXTERIOR STAIRS

- All stairs shall comply with all local codes.

- Minimum finish width: 36"

- Minimum finished headroom height: 6'-8"

- Maximum riser height: 7 3/4"

- Minimum tread depth: 11"

- Maximum space between balusters: 4"

- Handrail height shall not be less than 34" or greater than 38" and may not project more than 3 1/2" into stair width.

- Provide a minimum of 1 1/2" space between handrail and wall.

- Stair winder shall have a minimum inside width of 6" and a minimum of a 9" tread when measured 12" from inside corner.

- Stair landings shall be a minimum of 36" x 36"

- Stairways with 3 or more risers are required to have a handrail.

# MECH. PLUMB. ELEC.

- Mechanical contractor is responsible for the design and installation of mechanical systems including duct work, trunk and register size for air conditioning and heating. Systems shall be installed per manufacturer's specifications and recommendations and as per all applicable building codes.

- Plumbing contractor is responsible for the design and installation of plumbing and piping. All plumbing, piping and fixtures shall be installed per manufacturer's specifications and recommendations and as per all applicable codes.

- Electric contractor is responsible for the design and installation of all electrical systems. All electrical work shall meet the requirements of the National Electric Code, the local power company and all applicable codes. Fixtures and apparatus are selected by the builder and shall be UL approved.

- Smoke & Carbon Monoxide detectors - Provide a minimum of one ceiling mounted fixture per floor, hard wired to a nearby circuit and interconnected for simultaneous activation with battery backup. Provide detectors at each sleeping room if required by local code. Provide detectors outside each sleeping area within 10'-0" of each door.

- Fire suppression systems shall be installed as per local building code.

- All work shall comply to local code.



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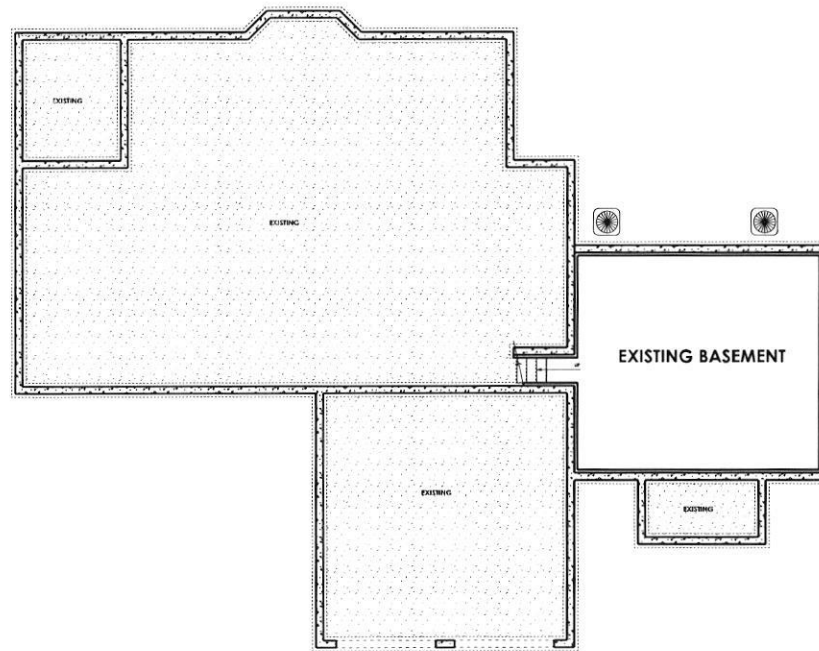
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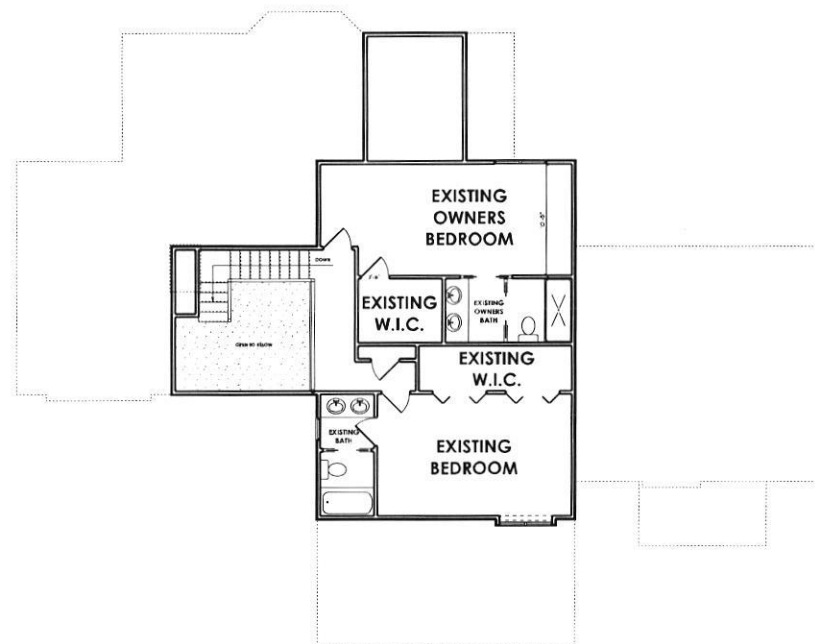
**SIMPLIFIED PLANS**

**0.03**

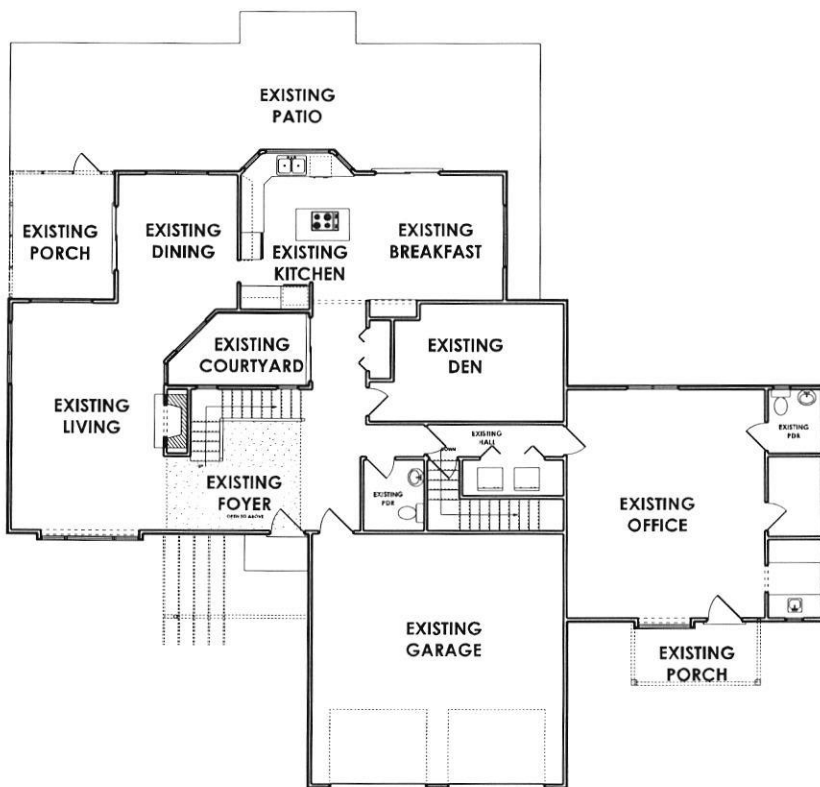
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**EXISTING BASEMENT PLAN**



**EXISTING SECOND FLOOR PLAN**

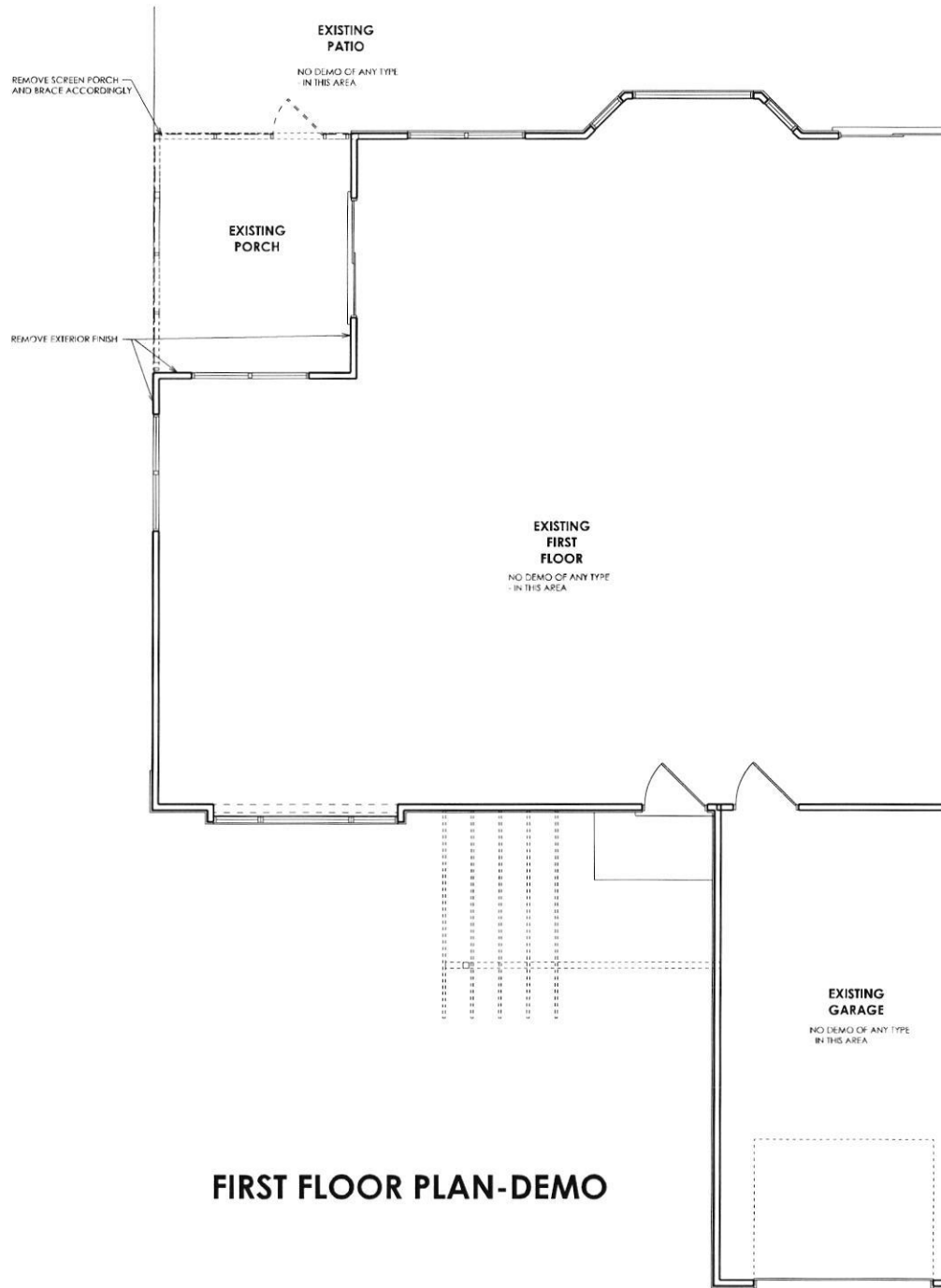


**EXISTING FIRST FLOOR PLAN**



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**FIRST FLOOR PLAN-DEMO**

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**0.51**  
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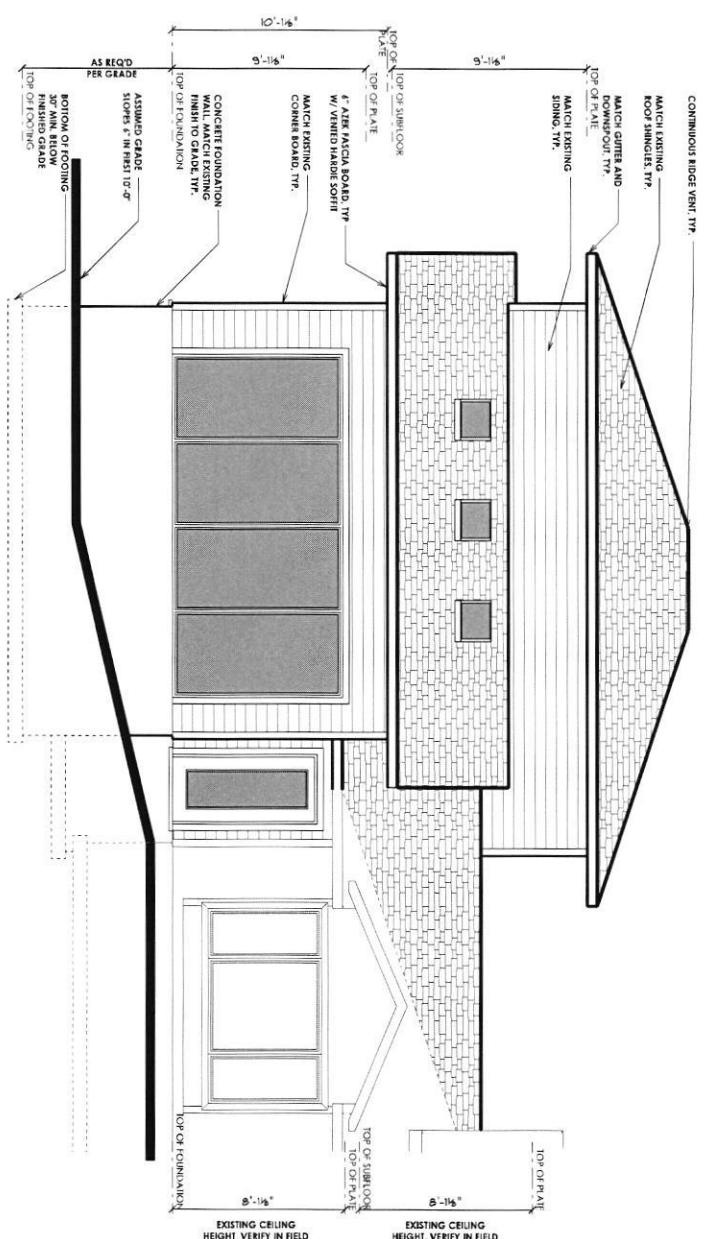
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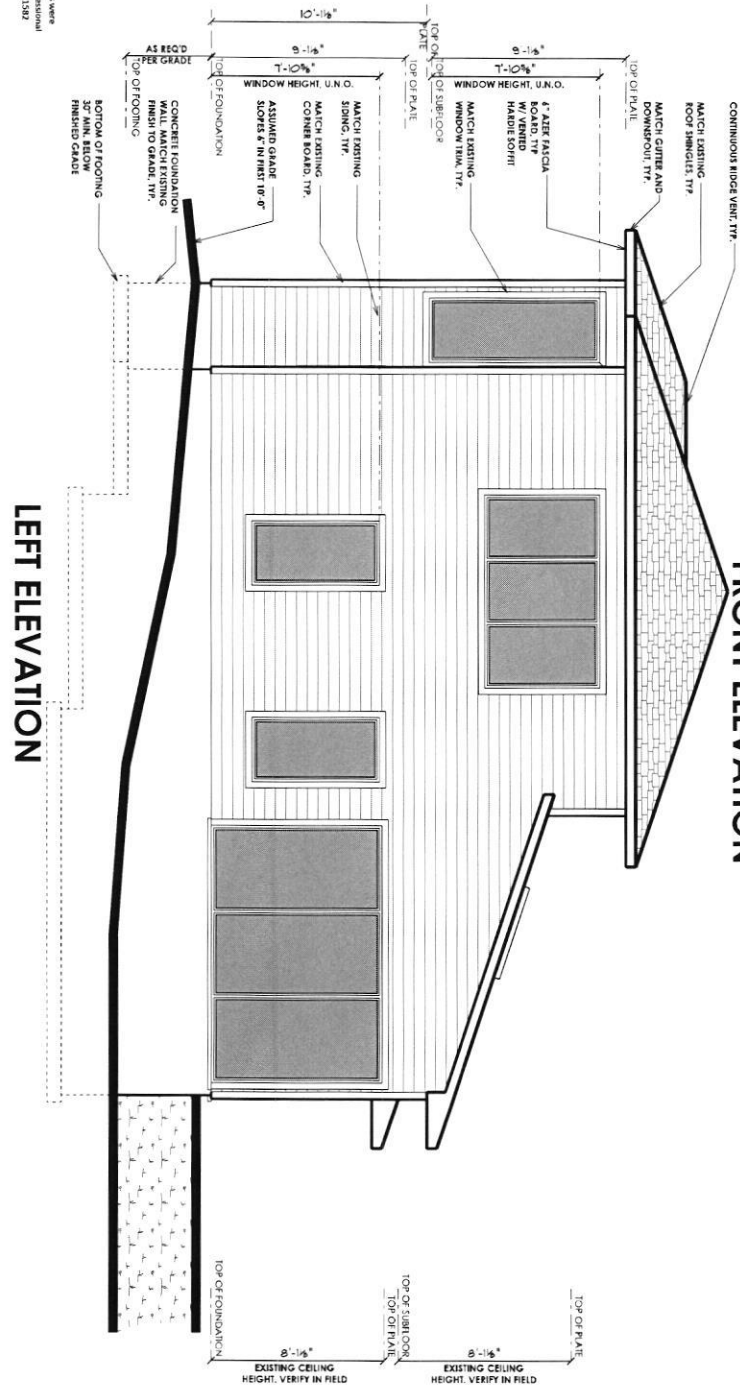


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6/21/2022  
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**FRONT ELEVATION**



**LEFT ELEVATION**

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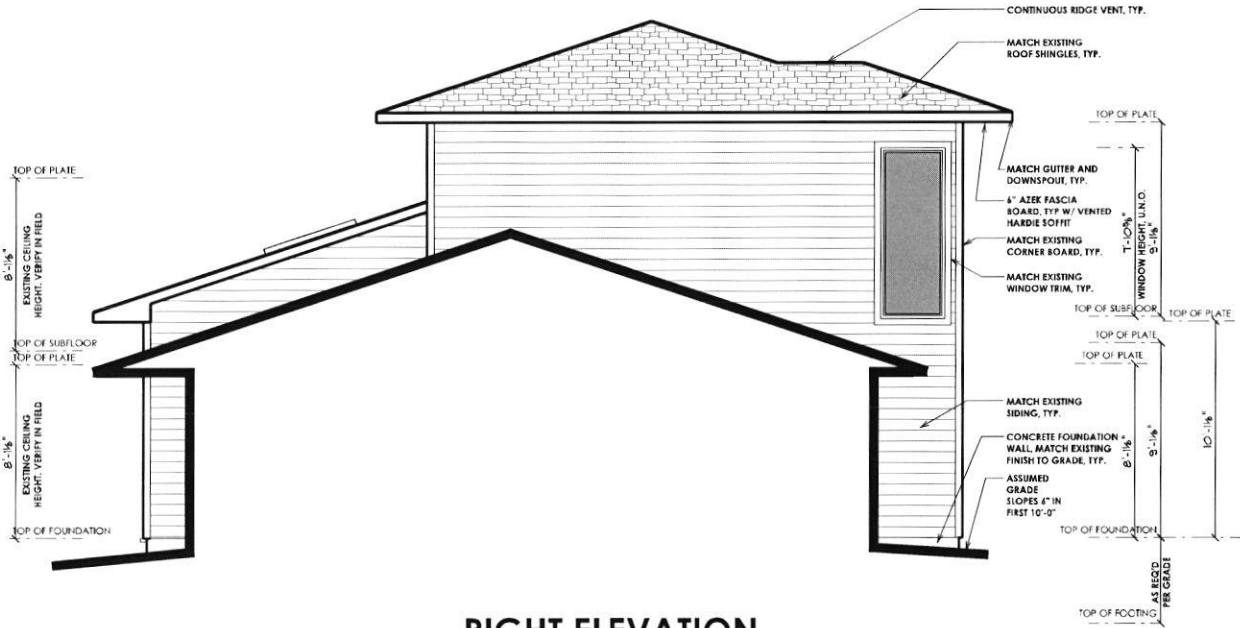
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**REAR ELEVATION**



**RIGHT ELEVATION**



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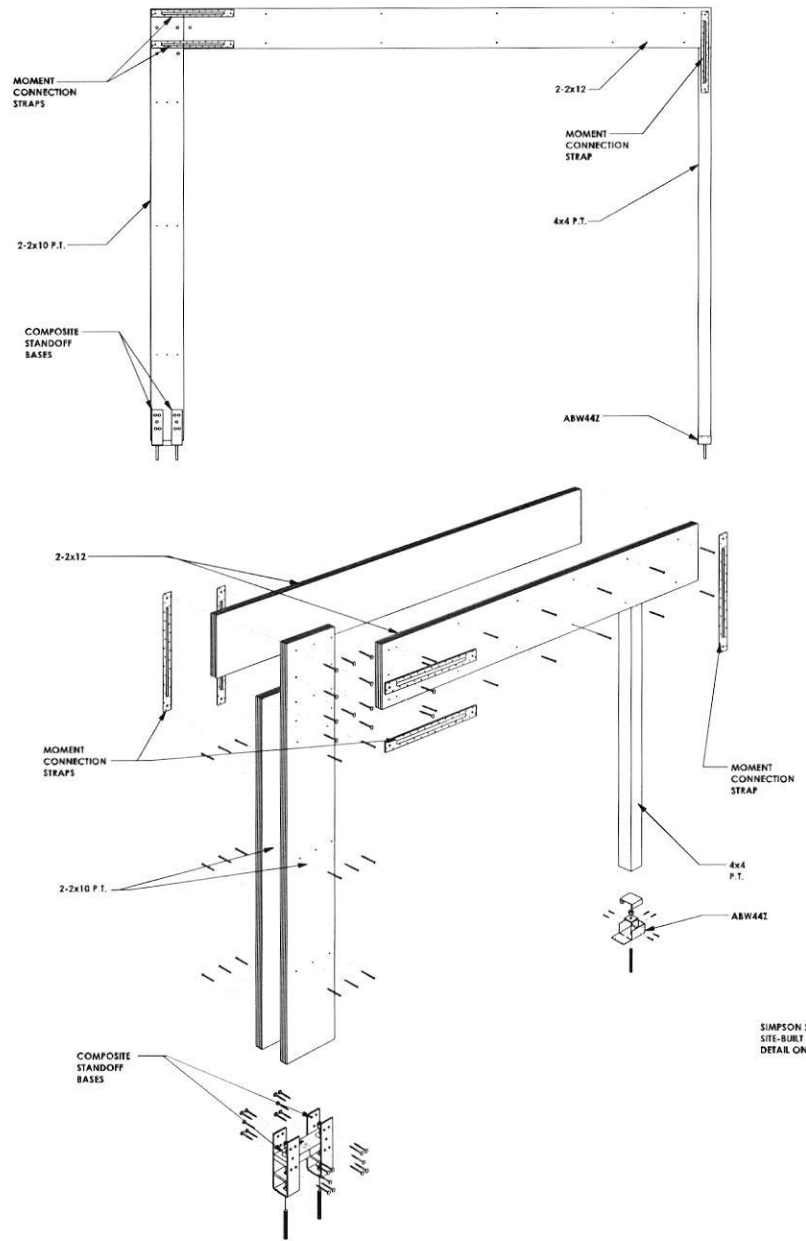
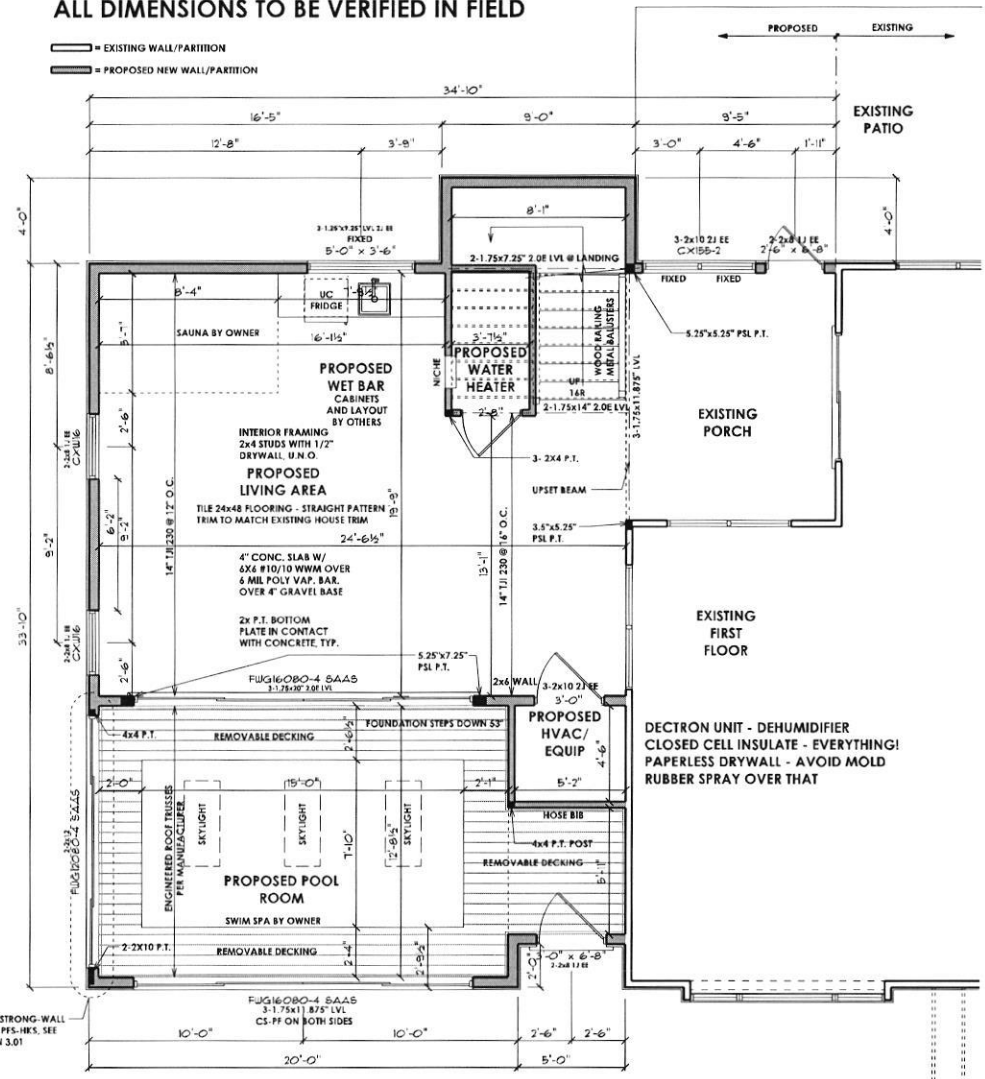
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1ST FLOOR  
**3.01**  
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TYPICAL HOUSE BOX - 2x6 EXTERIOR WALL  
 TYPICAL METHOD OF WALL CONSTRUCTION - R602.10.5  
 CONTINUOUSLY SHEATHED - WOOD STRUCTURAL PANEL

**ALL DIMENSIONS TO BE VERIFIED IN FIELD**

EXISTING WALL/PARTITION  
 PROPOSED NEW WALL/PARTITION



**SIMPSON STRONG-WALL SITE-BUILT PFS-HKS**

**FIRST FLOOR PLAN**



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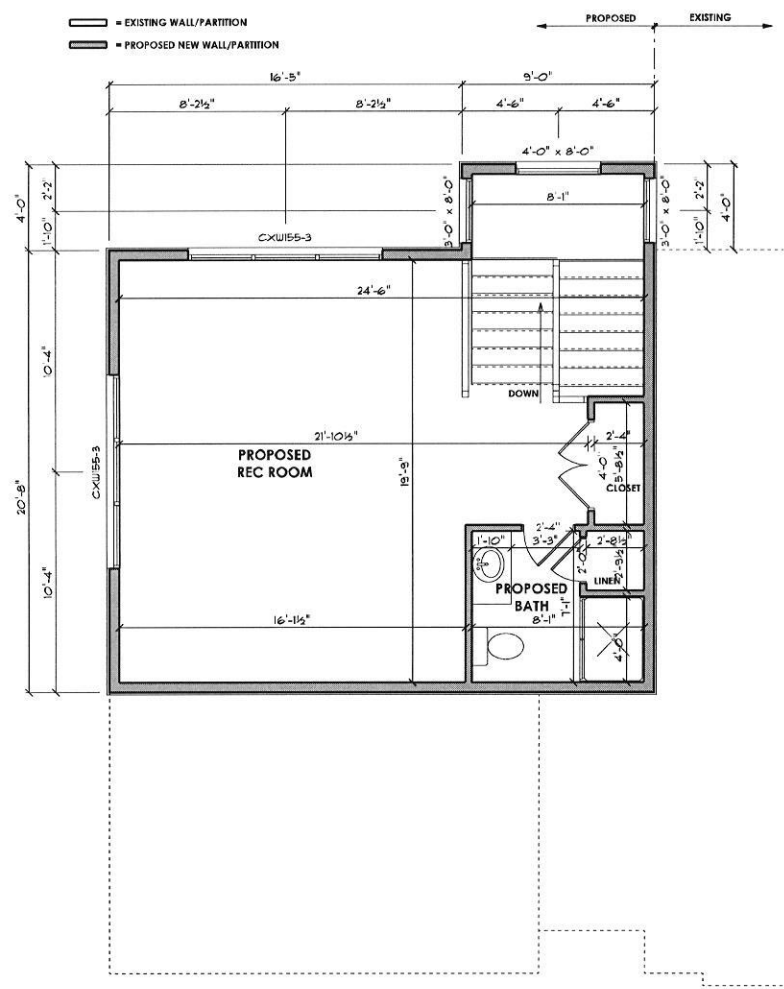
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**2ND FLOOR**  
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**SECOND FLOOR PLAN**



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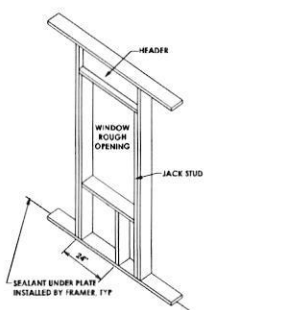


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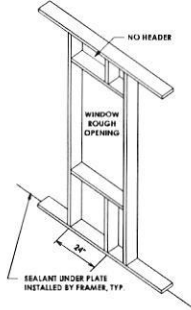
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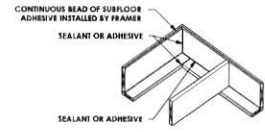
# NOTE: ALL LOAD BEARING STUD WALLS TO BE DOUBLE TOP PLATE PER WALL SECTIONS



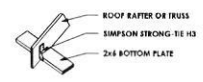
LOAD BEARING WALL OPENING



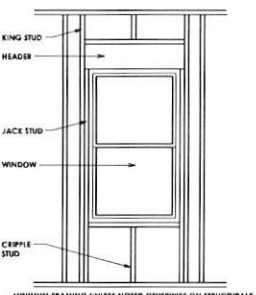
NON-LOAD BEARING WALL OPENING



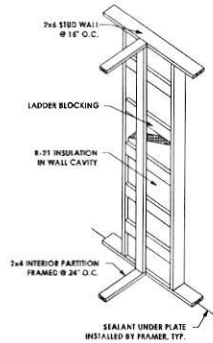
14 RIM JOIST AIR SEALING  
NOT TO SCALE



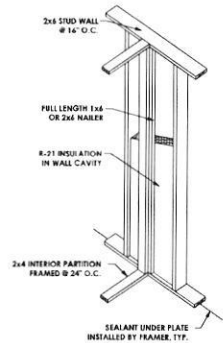
15 ROOF WALL FRAMING CONNECTION



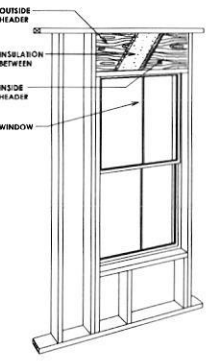
WINDOW FRAMING ELEVATION



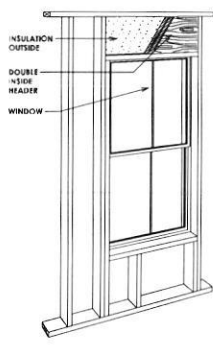
LADDER FRAMING @ PARTITION



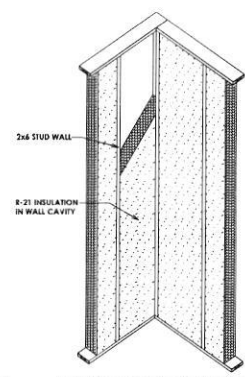
NAILER @ PARTITION



HEADER INSULATION BETWEEN



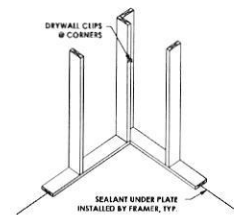
HEADER INSULATION OUTSIDE



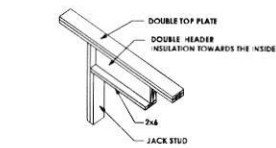
TWO-STUD CORNER-INSULATION



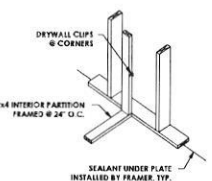
TWO-STUD CORNER-TOP



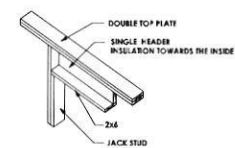
TWO-STUD CORNER-BOTTOM



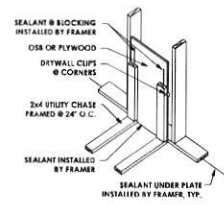
DOUBLE HEADER



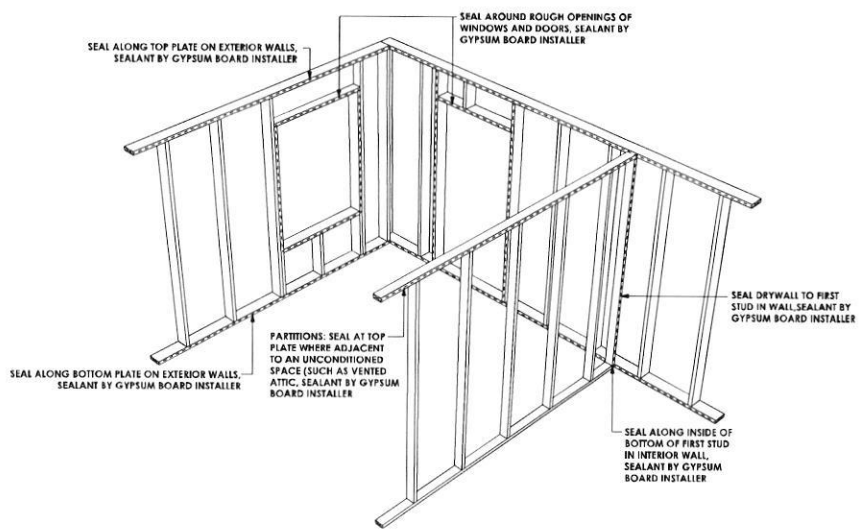
BOTTOM PLATE @ PARTITION



SINGLE HEADER



AIR SEALING @ MECH CHASE



AIR BARRIER AT WALLS AND CEILING PERSPECTIVE



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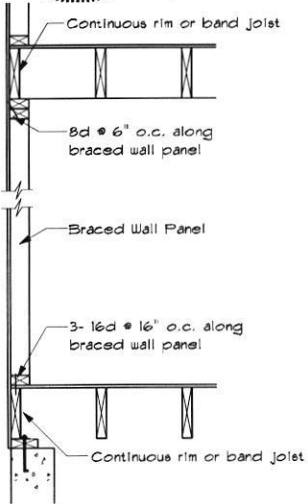
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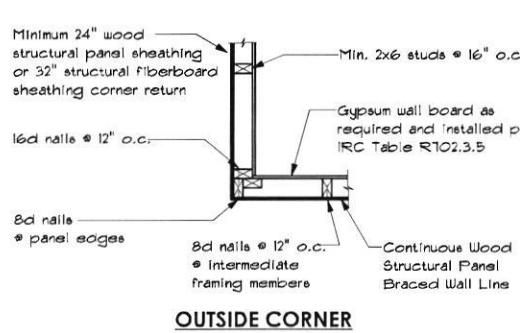
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## EXTERIOR CORNER WALL DETAILS

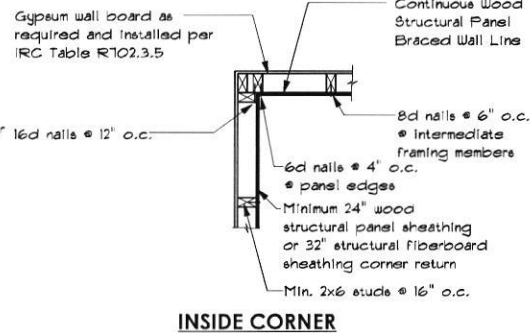


Methods W&P & CS-W&P: Min. 7/16" OSB Wood Structural Panel sheathing attached to framing with 6d @ 6" o.c. at panel edges and 12" o.c. at intermediate framing members.  
Notes: At Braced Wall Lines incorporating Continuously Sheathed bracing methods (CS-W&P & CS-PF), all exterior walls along the Braced Wall Line must be fully sheathed with min 7/16" OSB Wood Structural Panel sheathing fastened per IRC Tables R602.3(1), R602.3(2), and R602.3(3).

Method GB: Min. 1/2" gypsum board applied to each side of framing with adhesive and Type S or W screws @ 1" o.c. at panel edges and 24" o.c. at intermediate framing members or nails per IRC Table R702.3.5 @ 1" o.c. at panel edges and 16" o.c. at intermediate framing members.



**OUTSIDE CORNER**



**INSIDE CORNER**

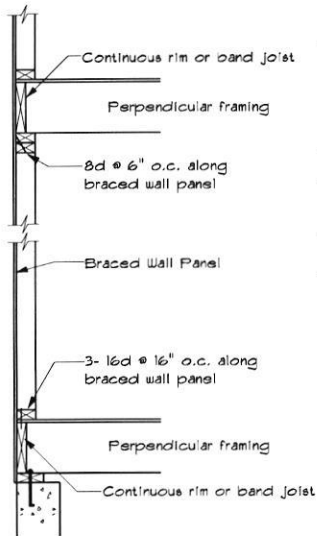
### Tension Strap Capacity Required for Method CS-PF

Minimum Wall Stud Framing Nominal Size and Grade	Maximum Pony Wall Height (feet)	Maximum Total Wall Height (feet)	Maximum Opening Width (feet)	Wind Exposure B	Wind Exposure C
				Tension strap capacity required (lbf)	
2x6 Stud Grade	2	12	9	1000	1750
			16	2050	3550
			18	2450	4100
	4	12	9	1500	2715
			16	3150	DR
			18	3675	DR

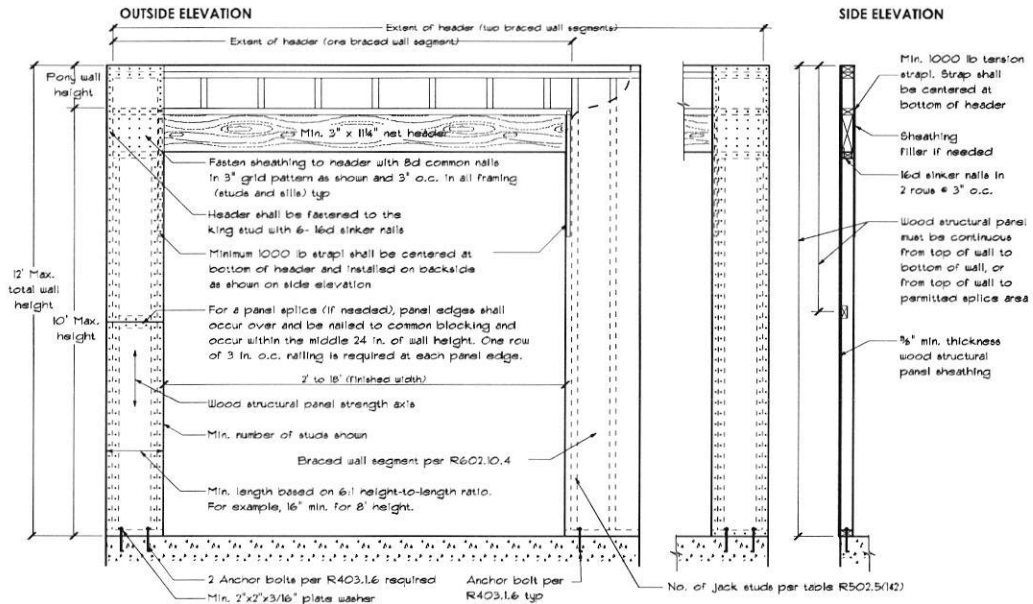
Notes: 1. Basic Wind Speed of 90mph. For other Basic Wind Speeds, see IRC Table R602.10.4.1.1  
2. DR = Design Required

### BRACED EXTERIOR WALL PANEL CONNECTION WHEN PARALLEL TO FLOOR/CEILING FRAMING

TYPICAL AT ALL EXTERIOR, PLYWOOD SHEATHED WALLS



- ALL DESIGNATED EXTERIOR BRACED WALLS SHALL BE A MINIMUM 7/16" PANEL SHEATHING ATTACHED TO FRAMING WITH 8d COMMON NAILS @ 6" O.C. AT PANEL EDGES AND 12" O.C. AT INTERMEDIATE FRAMING MEMBERS. SOLE PLATS SHALL BE FASTENED TO JOIST OR SOLID WOOD BLOCKING WITH (3) 16d NAILS AT 16" O.C. RIM JOIST TO PLATE OR SILL 8d @ 6" O.C. TOENAIL.
- ALL EXTERIOR WALL CORNERS SHALL BE FRAMED PER DETAIL.
- ALL DESIGNATED INTERIOR BRACED WALLS SHALL BE MIN 1/2" GYPSUM BOARD APPLIED TO BOTH FACES OF FRAMING WITH ADHESIVE AND TYPE S OR W SCREWS AT 24" O.C.
- DESIGNATED NARROW WALL BRACING SHALL BE CONSTRUCTED IN ACCORDANCE WITH BRACED WALL DETAILS.
- TENSION HOLD DOWN STRAP OF 800# - ax. (SIMPSON CMST4 STRAP W/ 15-16d NAILS EACH END)



OVER CONCRETE OR MASONRY BLOCK FOUNDATION

### BRACED EXTERIOR WALL PANEL CONNECTION WHEN PERPENDICULAR TO FLOOR/CEILING FRAMING

TYPICAL AT ALL EXTERIOR, PLYWOOD SHEATHED WALLS



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Designed by:  
Jonathan Rivera  
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### BRACING DETAILS

# 3.52

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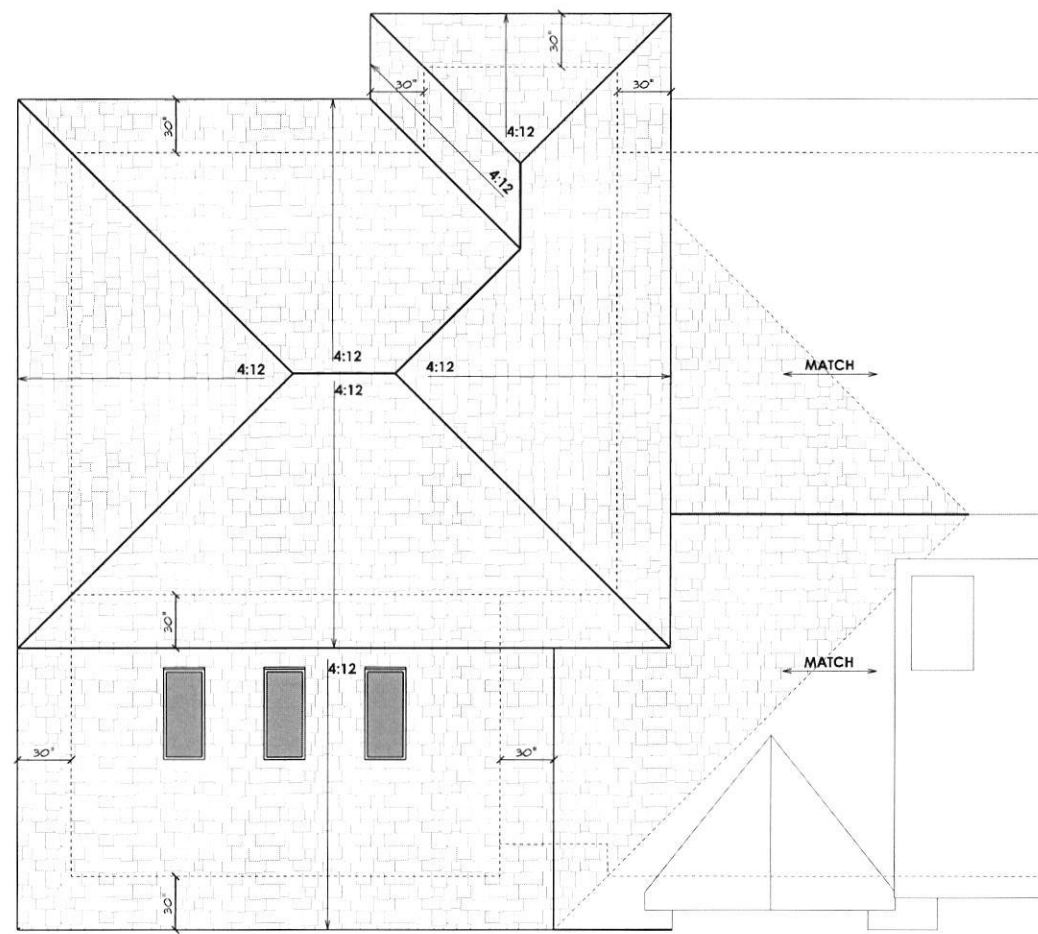
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**ROOF PLAN**  
**4.01**  
 PRINT DATE:  
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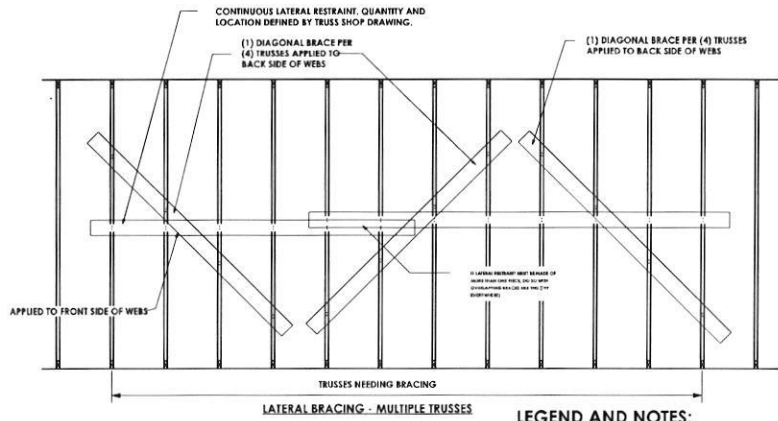
**ROOF PLAN**



*Matthew W. Anderson*  
 6/21/2022

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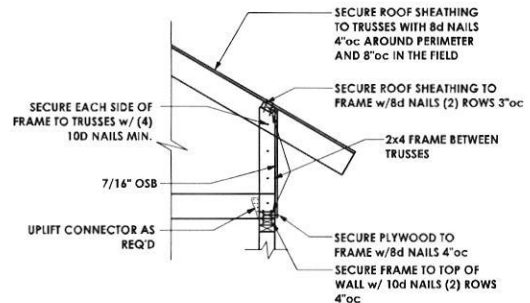
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**LEGEND AND NOTES:**

1. BRACE TO BE SAME SIZE, SPECIES, AND GRADE AS WEB TO BE BRACED.
2. ALL RESTRAINT LUMBER SHOWN SHALL BE 1x4 NO.3 SYP OR BETTER OR 2x4 NO.3 SPF OR BETTER (UNO).
3. SHOULD A SCENARIO ARISE THAT DOES NOT RESEMBLE THOSE INDICATED ABOVE, IMMEDIATELY CONTACT THE ENGINEER OF RECORD FOR APPROPRIATE BRACING DETAILS.
4. BRACING LUMBER SHALL INTERSECT THE WEBS OF THE BRACED TRUSS AT LOCATIONS INDICATED AS NEEDING BRACING ON THE INDIVIDUAL TRUSS DETAILS PRODUCED BY THE TRUSS ENGINEER.
5. ALL FASTENERS SHOWN ARE 0.131" DIA x 3" LONG (UNO).

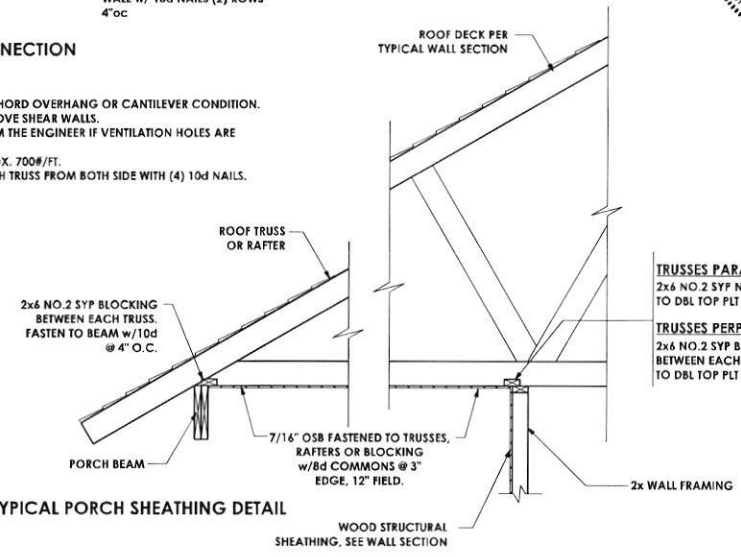
**5 PERMANENT TRUSS BRACING DETAIL**



**3 ROOF END CONNECTION**

- NOTES:
1. TRUSS MAY EITHER HAVE A TOP CHORD OVERHANG OR CANTILEVER CONDITION.
  2. BLOCKING PANELS REQUIRED ABOVE SHEAR WALLS.
  3. SEEK APPROVAL IN WRITING FROM THE ENGINEER IF VENTILATION HOLES ARE REQUIRED.
  4. CAPACITY OF BLOCKING IS APPROX. 700#/FT.
  5. NAIL BLOCKING PANEL INTO EACH TRUSS FROM BOTH SIDE WITH (4) 10d NAILS.

**1 TYPICAL PORCH SHEATHING DETAIL**



**4 GABLE END BRACE**

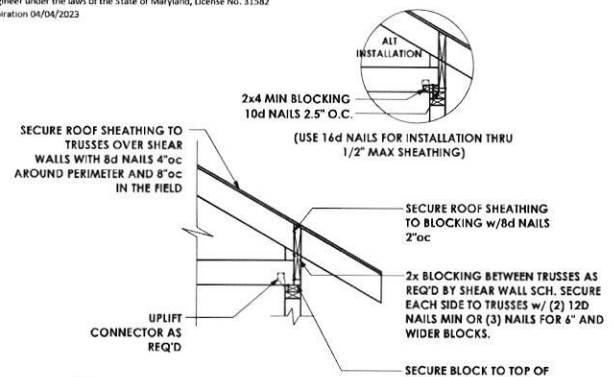
- NOTES:
1. SEE ARCH DRAWINGS FOR GABLE END OVERHANG INFORMATION.
  2. EVERY NAIL LOCATION NOT SHOWN FOR CLARITY.



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**2 ROOF END CONNECTION**

- NOTES:
1. TRUSS MAY EITHER HAVE A TOP CHORD OVERHANG OR CANTILEVER CONDITION.
  2. BLOCKING MUST BE MITERED TO ALLOW FULL CONTACT WITH SHEATHING.
  3. BLOCKING PANELS REQUIRED ABOVE SHEAR WALLS.
  4. SEEK APPROVAL IN WRITING FROM THE ENGINEER IF VENTILATION HOLES ARE REQUIRED.
  5. CAPACITY OF BLOCKING IS APPROX. 450#/FT.



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**ROOF DETAILS**

**4.02**

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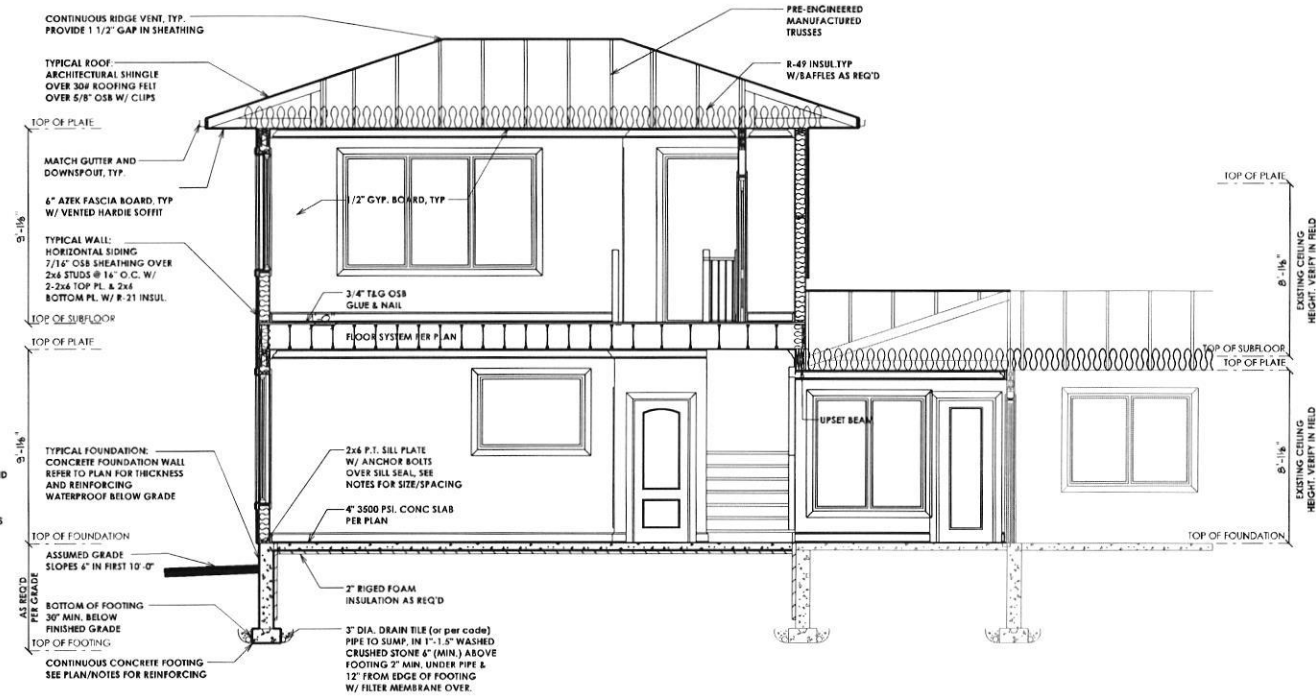
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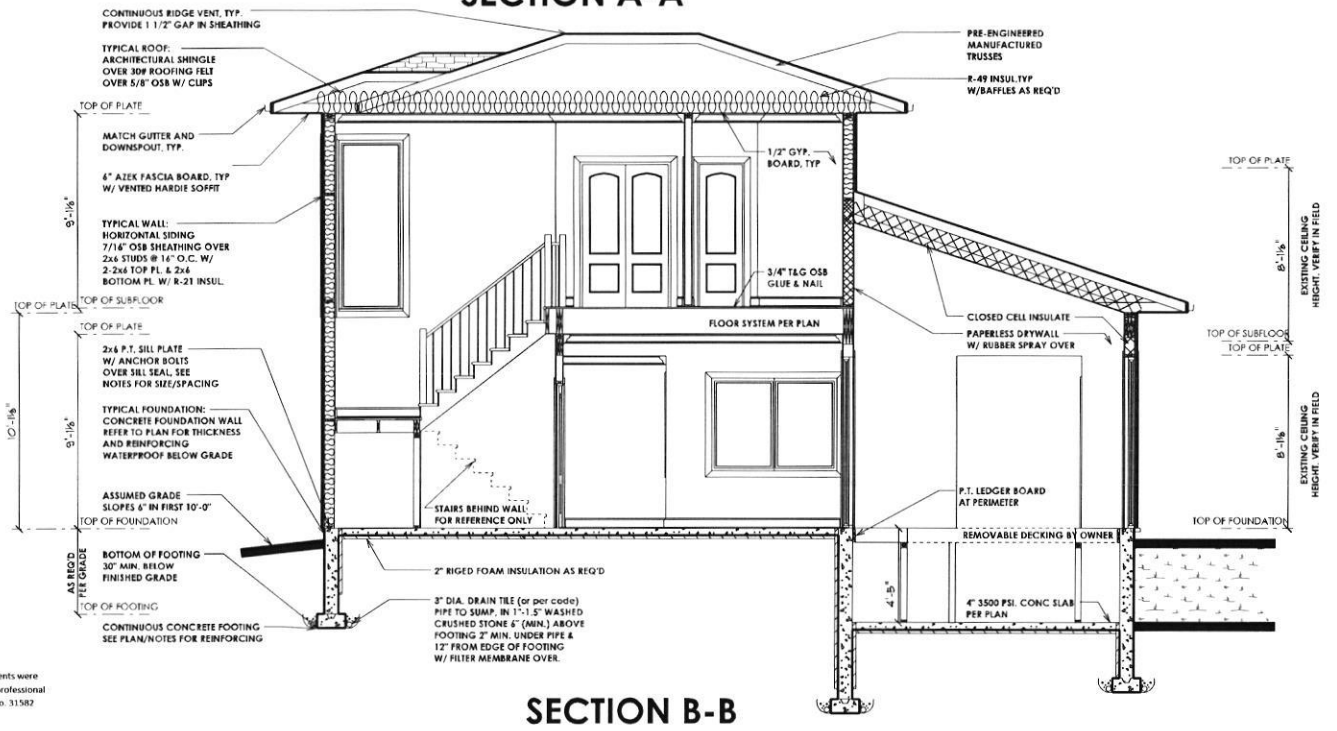
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SECTIONS  
**5.01**  
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**SECTION A-A**



**SECTION B-B**

**SECTION NOTES**

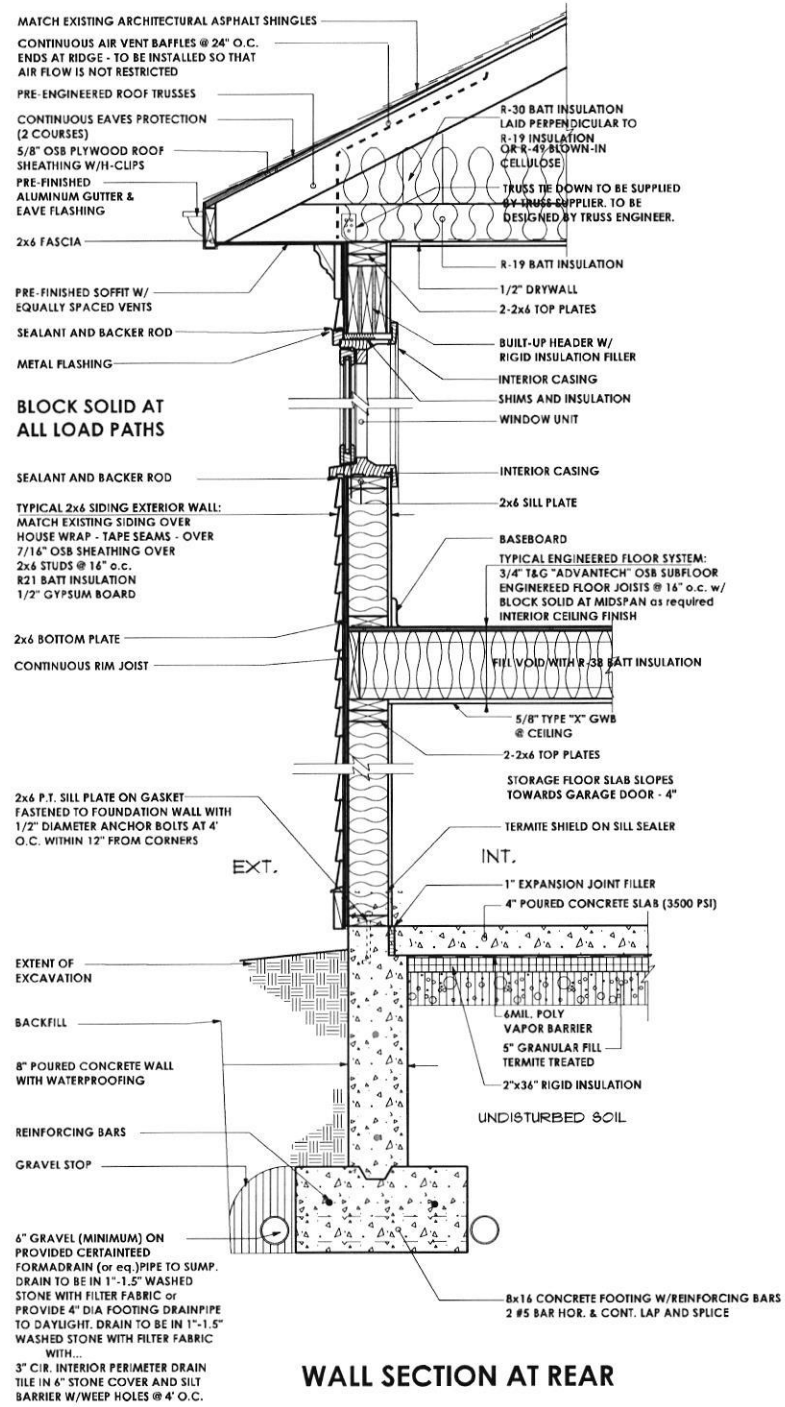
- 2000 PSF MIN SOIL BEARING CAPACITY ASSUMED
- BEAMS, JOISTS, HEADERS & RAFTERS TO BE SPF #1/#2 OR EQ. TYP THROUGHOUT U.N.O.
- BASEMENT WINDOW LOCATIONS TO BE DETERMINED AT PRECON.
- ALL LOCATIONS FOR HVAC, SUMP PUMPS, ROUGH-INS, H/W/H, A/H AND OTHER FEATURES ARE SUBJECT TO BUILDER DISCRETION ON SITE
- FOUNDATION WALL MIN. THICKNESS 10" WHERE STEAM WALL AT BRICK LEDGE EXCEEDS 1'-6" HIGH
- VERIFY SIZE AND LOCATION OF WINDOWS PER GRADE & BUILDER
- MIN. 1/2" HOOKED ANCHOR BOLTS EMBEDDED A MIN. 7" INTO CONC. SHALL BE SPACED AT 4' O.C. AND LOCATED 4" & 12" FROM EACH END OF ALL SILL PLATE PIECES.

*[Signature]*  
 6/21/2022

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**WALL SECTION AT REAR**



*Matthew W. Anderson*  
6/21/2022

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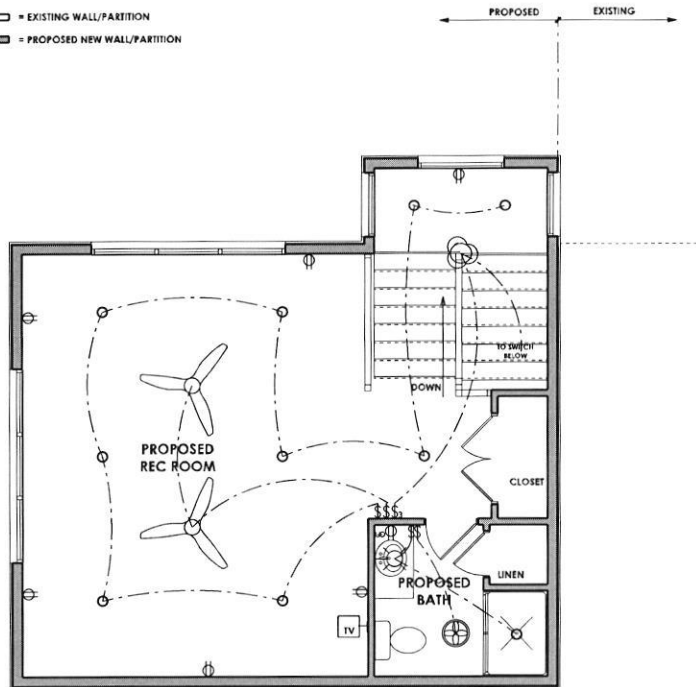
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FIRST FLOOR

# E3.01

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— = EXISTING WALL/PARTITION  
 — = PROPOSED NEW WALL/PARTITION

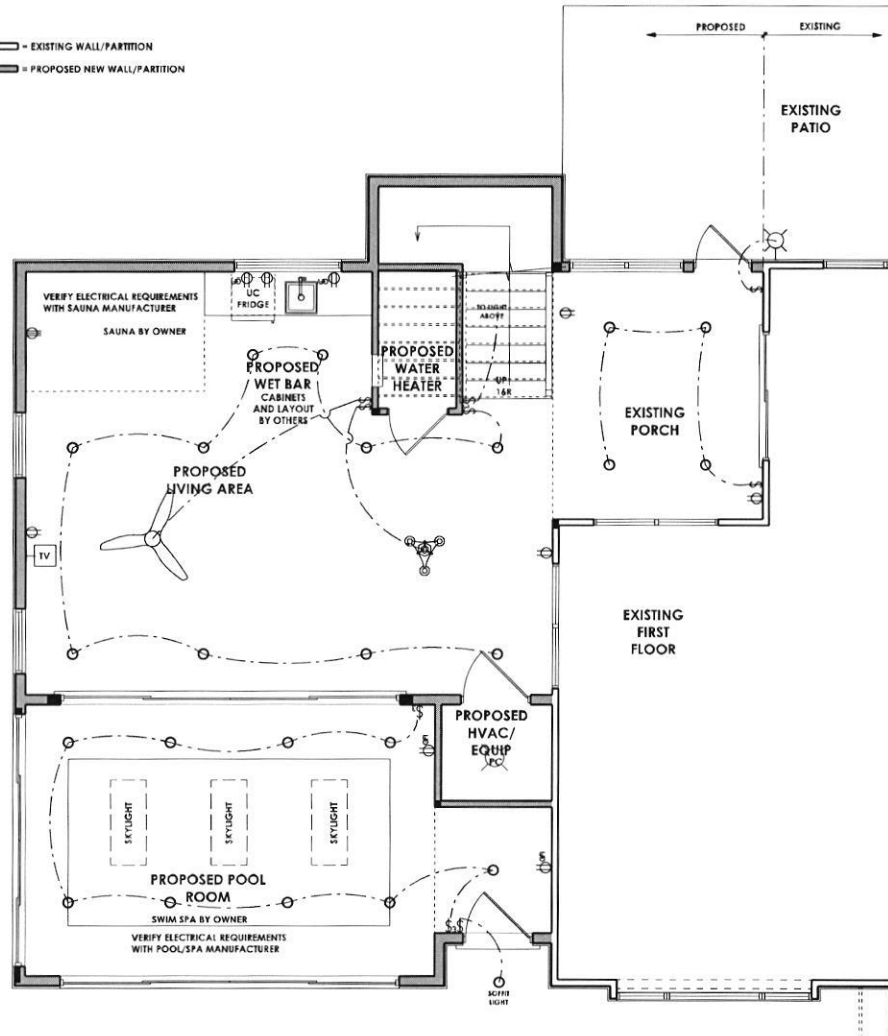


## SECOND FLOOR

### ELECTRICAL NOTES

- 1) SEE FLOOR PLANS FOR TYP. NOTES AND DIMENSIONS
- 2) BASEMENT WINDOW AND DOOR LOCATIONS AND SIZES TO BE DETERMINED AT PRECON.
- 3) ALL LOCATIONS FOR HVAC, SUMP PUMPS, ROUGH-INS, H/W/H, A/H AND OTHER FEATURES ARE SUBJECT TO BUILDER DISCRETION ON SITE
- 4) PROVIDE SMOKE DETECTORS AS REQ'D BY LOCAL CODE, WIRED TO A NEARBY CIRCUIT (WITH BATTERY BACK-UP) AND INTERCONNECTED FOR SIMULTANEOUS ACTIVATION.
- 5) THESE DRAWINGS ARE SCHEMATIC ONLY. THE ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND INSTALLATION OF ALL ELECTRICAL SYSTEMS. ALL ELECTRICAL WORK SHALL MEET THE REQUIREMENTS OF THE NATIONAL ELECTRICAL CODE, THE LOCAL POWER COMPANY AND ALL APPLICABLE CODES. FIXTURES AND APPARATUS ARE SELECTED BY THE BUILDER AND SHALL BE UL APPROVED.

— = EXISTING WALL/PARTITION  
 — = PROPOSED NEW WALL/PARTITION



## FIRST FLOOR

ELECTRICAL LEGEND			
⊕	DUPLEX RECEPT	⊙	CEILING MOUNT LIGHT FIXTURE
⊕	GROUND FAULT	⊙	CEILING LIGHT FULL CHAIN
⊕	CIRCUIT INTERRUPTER	⊙	RECESSED LIGHT FIXTURE
⊕	DUPLEX OUTLET HALF SWITCHED	⊙	BALL MOUNTED LIGHT FIXTURE
⊕	20 VOLT DUPLEX OUTLET	⊙	FLUORESCENT LIGHT FIXTURE
⊕	DUPLEX OUTLET # 42" A.F.P.	⊙	CEILING FAN
⊕	SINGLE POLE SWITCH	⊙	TELEPHONE
⊕	3-WAY SWITCH	⊙	TELEVISION
⊕	4-WAY SWITCH	⊙	THERMOSTAT
⊕	DIMMER SWITCH	⊙	DOOR CHIME
⊕	SMOKE DETECTOR		
⊕	BATH FAN 50 CFM		