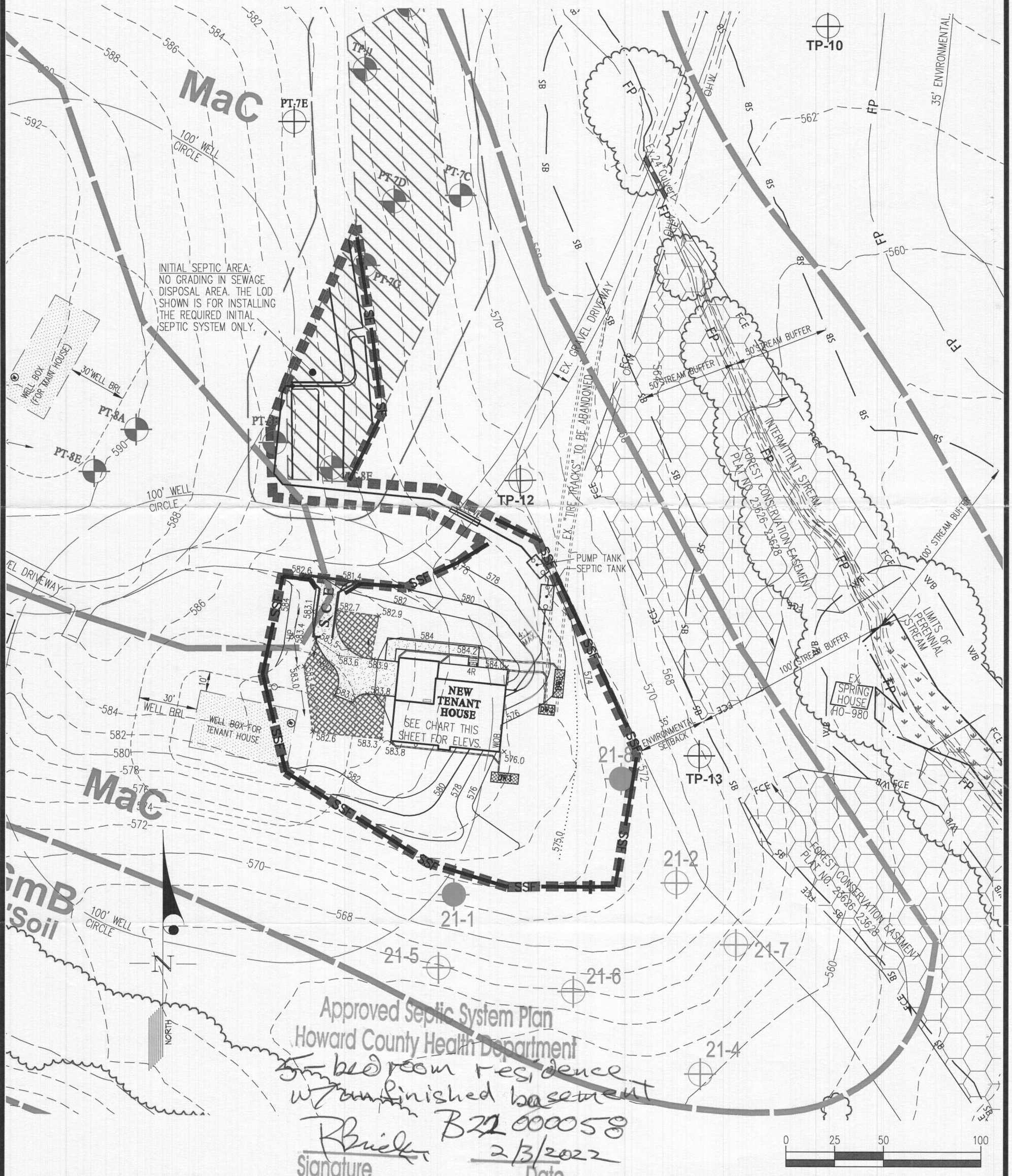


Elevations	House Grading Information for Tenant House
576.50	Basement Slab Elevation (B.S.E.) at top of 4" concrete slab
576.17	Top of Footing
585.17	Top of 9' high Foundation Wall (ToFW)
584.50	Maximum Finished Grade (8" below ToFW)
586.51	First Floor Elevation (F.F.E. = ToFW + single plate + 14" TJI + 5/8" subfloor)
586.0	Front Porch Elevation (at 6" below F.F.E.)
584.28	Bottom of porch steps for 4 risers at 5" ea. (porch elev. 586.0 - 4x5/12 - tread wash at 2% ea.)
584.83	Garage Rear Elevation (Down 4" from ToFW)
3	Number of Risers Needed between F.F.E. & Garage
584.42	Garage Front Elevation (at bottom of 1" weather lip)

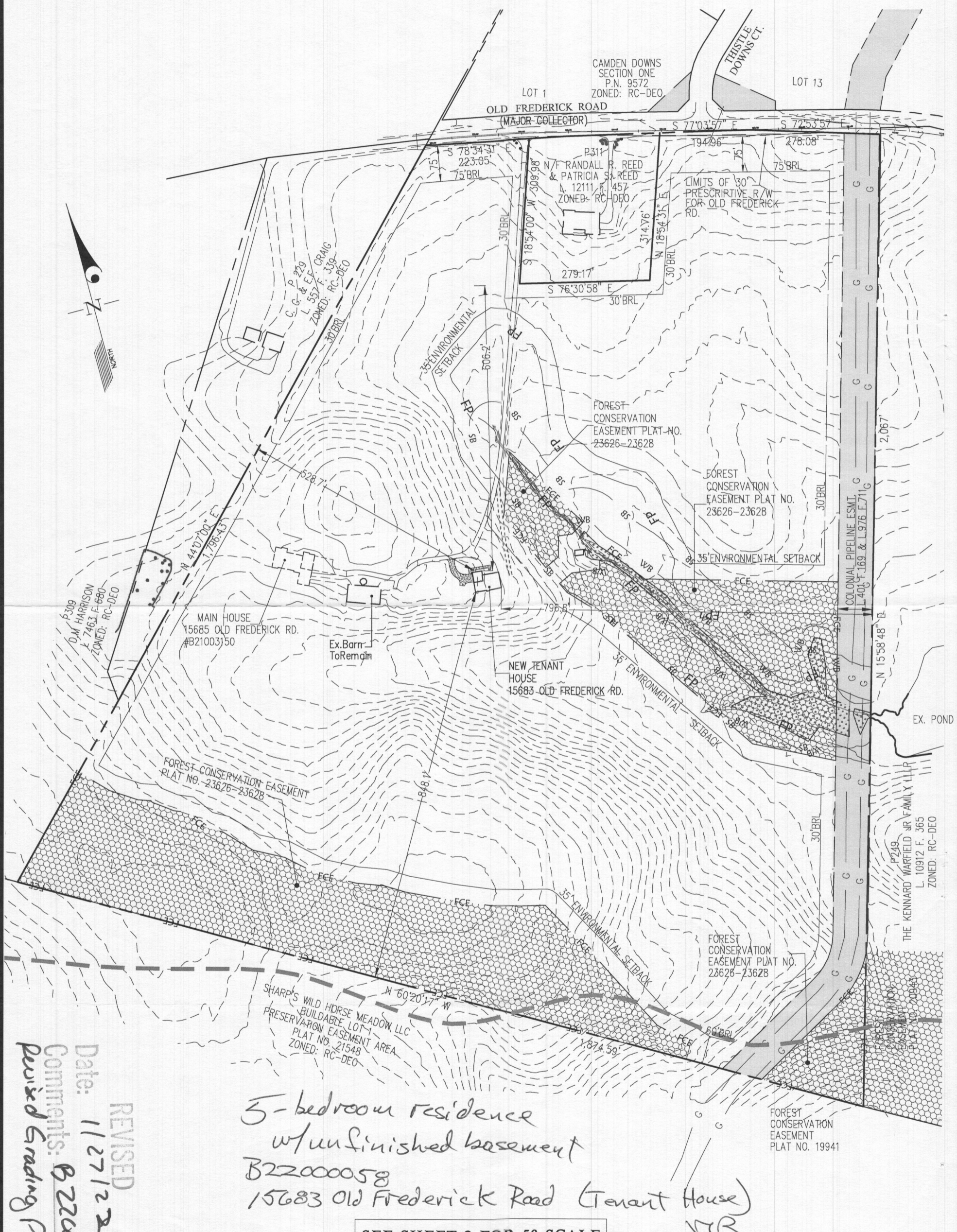
PROPOSED DRYWELL (M-5) SIZE CHART for TENANT HOUSE		
DRYWELL No.	LENGTH x WIDTH	DEPTH OF STONE
DW#1	14' x 5'	5'
DW#2	8' x 5'	5'
DW#3	14' x 5'	5'

B22000058
15683 Old Frederick Rd.



BUILDING PERMIT PLOT PLAN (for Tenant House)

	DES.	PREPARED FOR : OWNER: BRIAN WYNNE 2065 HIGHWAY A1A UNIT 1201 INDIAN HARBOUR BEACH, FLORIDA 32937 wynnebrian65@gmail.com	G. L. W. No.	21020	
	DRN.		Tax Parcel 2	ZONING	RC-DEO
	CHK.		WYNNE PROPERTY TENANT HOUSE (15683 Old Frederick Road) PLAT No. 23626-23628	TAX MAP/GRID	8-1
L:\CADD\DRAWINGS\21020\PLANS BY GLW\GP AND PLOT PLAN\21020_GP_TENANT HOUSE.dwg			DATE	JAN. 2022	
			SCALE	1"=50'	
			SHEET	2 OF 2	



REVISED
 Date: 11/27/22
 Comments: B2200058
 Revised Grading Plan

3-bedroom residence
 w/ unfinished basement
 B2200058
 15683 Old Frederick Road (Tenant House)
 NB

SEE SHEET 2 FOR 50 SCALE

BUILDING PERMIT PLOT PLAN (for Tenant House)

	DES.	PREPARED FOR :	Tax Parcel 2 WYNNE PROPERTY TENANT HOUSE (15683 Old Frederick Road) PLAT No. 23626-23628	G. L. W. No.	21020
	DRN.	OWNER: BRIAN WYNNE 2065 HIGHWAY A1A UNIT 1201 INDIAN HARBOUR BEACH, FLORIDA 32937 wynnebrian65@gmail.com		ZONING	RC-DEO
	CHK.			TAX MAP/GRID	8-1
L:\CADD\DRAWINGS\21020\PLANS BY GLW\GP AND PLOT PLAN\21020_GP_TENANT HOUSE.dwg				DATE	JAN. 2021
				SCALE	1"=200'
				SHEET	1 OF 2

Builders Developers:
50 W. Edmonston Drive
Suite, 405
Rockville, MD 20852
Tel: 301-251-2001
Fax: 301-251-1222



Wynne Residence, Woodbine, MD
15683 Old Frederick Rd, Woodbine, MD 21797

PROFESSIONAL CERTIFICATION

I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.

License No. 24518
Expiration Date: 09-21-2023



JUAN UTRERA
Digitally signed by JUAN UTRERA
Date: 2022.01.03 11:40:38 -05'00'

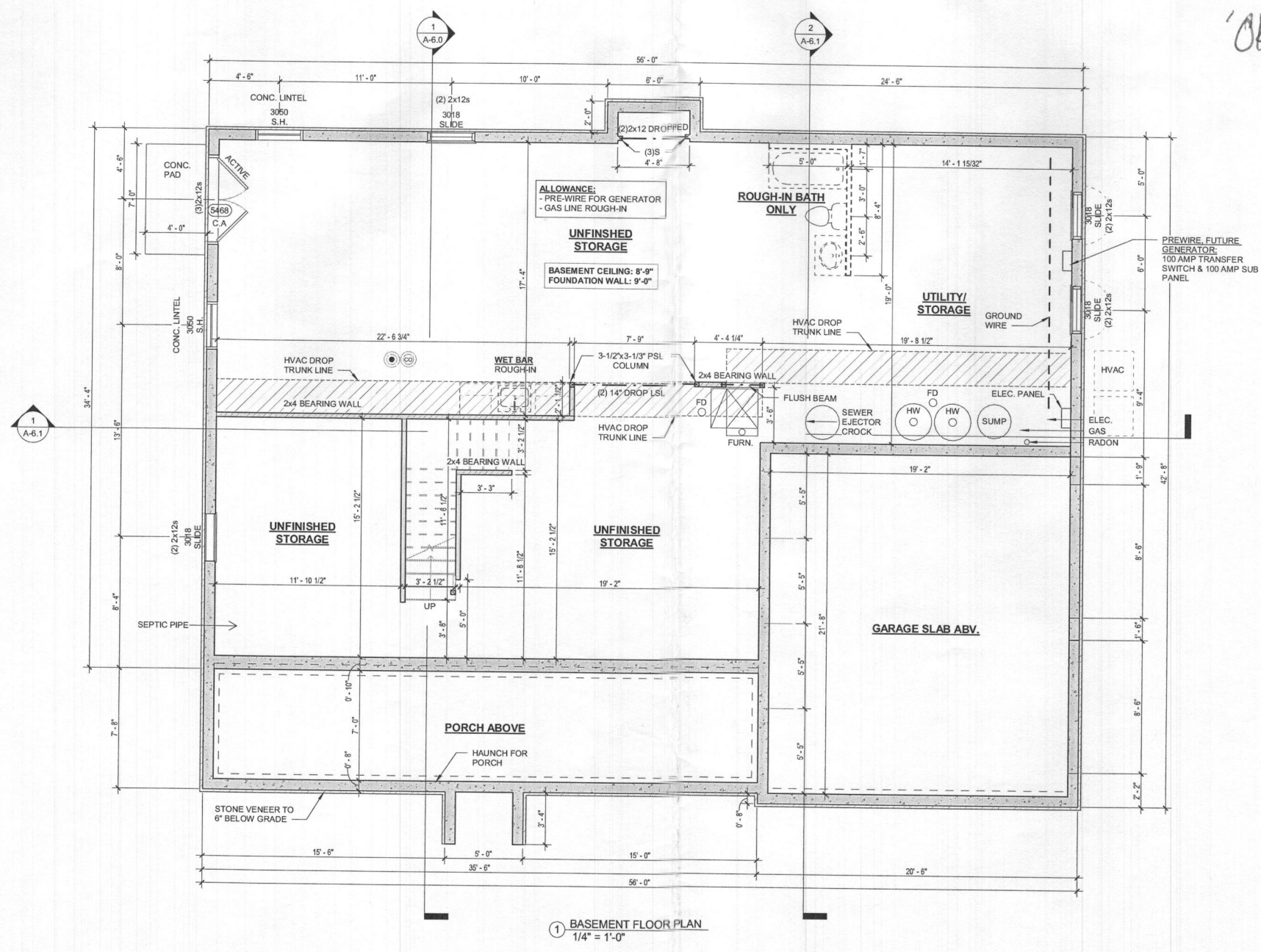
PROJECT PHASE:

PERMIT SET

MODEL: THE CLIFTON
SPEC: CLASSIC 2020
REVISIONS:

DATE: 12/27/2021 1:05:11 PM
DRAWN BY: SO
CHECKED BY: SRB
SHEET NAME:
BASEMENT FLOOR PLAN

SHEET #:
A-1.0



OK RB
2/3/22

LEGEND		BASEMENT:	
	SMOKE ALARM	CEILING HEIGHT:	8'-9" H.
	CARBON MONOXIDE ALARM	WINDOW HEIGHT:	7'-0" H. @ S.H. 9'-0" H. @ SLIDERS
	EXHAUST FAN - VENT TO OUTSIDE	DOOR HEIGHT: (HOLLOW CORE)	6'-8" H.

NOTES:
SEE S-1.0 AND S-1.1 FOR INFORMATION REGARDING FOUNDATION AND CONCRETE WORK.
DRAWING A001 REFERS TO FRAMING INFORMATION ONLY.
REFER TO S-2.0 FOR ALL BEAM AND POST SIZES.

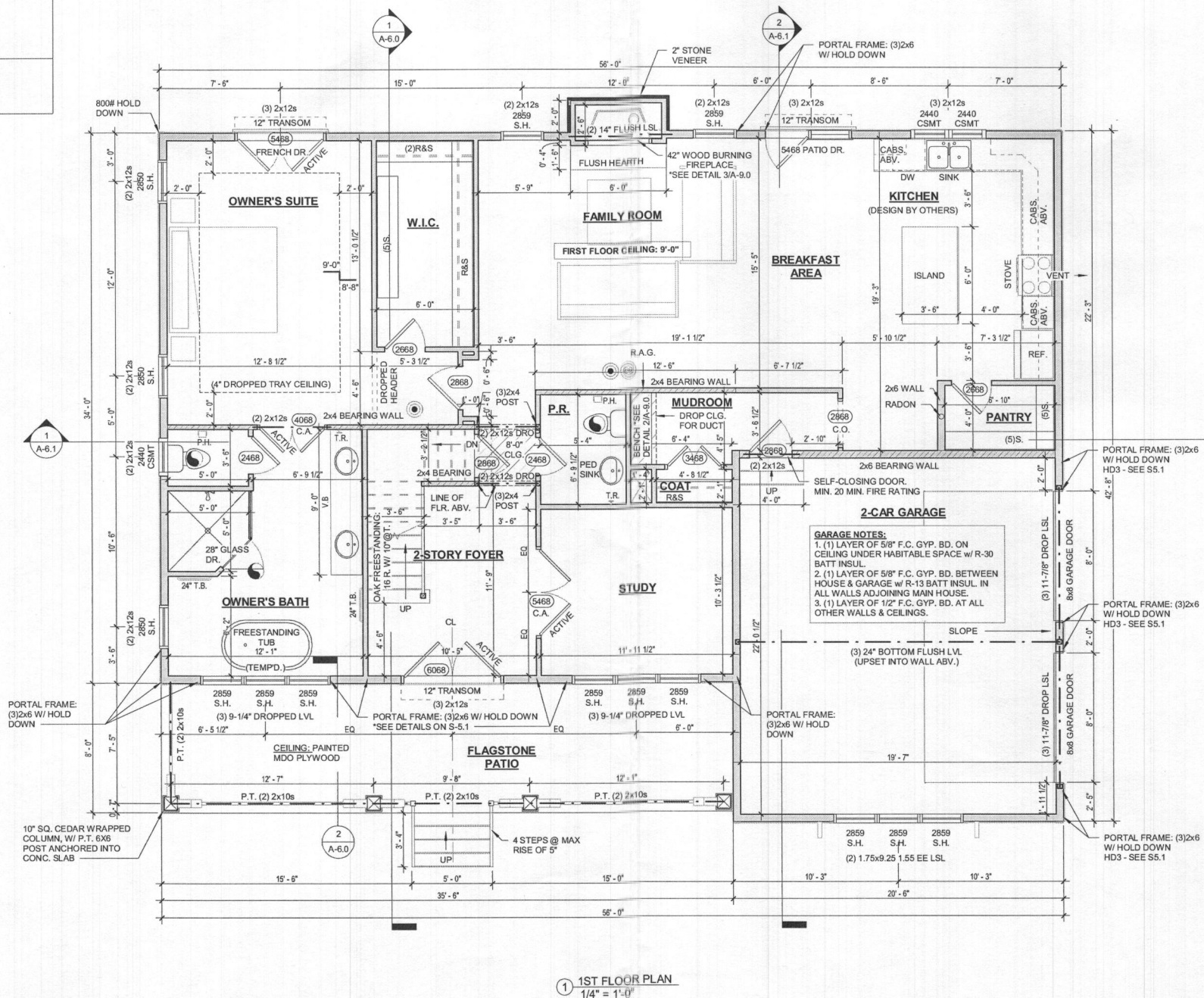
- NOTE:**
- ALL EXTERIOR WALLS TO BE FRAMED WITH 2X6 @ 16" O.C. ALL INTERIOR WALLS TO BE FRAMED WITH 2X6 @ 16" O.C. UNLESS OTHERWISE NOTED.
 - ALL POINT LOADS (ROOF AND BEAMS) TO GO THROUGH FLOORS NO SQUASH BLOCK.
 - SEE FRAMING PLANS FOR BEAMS, HEADERS AND COLUMNS SIZE. (TYPICAL).
 - GARAGE BENEATH HABITABLE ROOMS SHALL HAVE MIN. 5/8" TYPE X GYP BOARD ON CEILING AND 1/2" GYP BOARD ON ALL COMMON WALLS AND BEARING WALLS.
 - ALL EXTERIOR WALL SHEATHING MUST BE NAILED W/ 8d NAILS- ALL EDGES AND CORNERS MUST BE NAILED 2 ROWS 6" O.C. FIELD MUST BE NAILED 1 ROW 12" O.C.

BASEMENT:
TOTAL: 1,645 S.F.
(GROSS)

ROOM	FLOORING	BASE*	CHAIR RAIL	CROWN	NOTES
FAMILY ROOM	H	1x6	-	YES	
DINING ROOM	H	1x6	YES	YES	
MUDROOM	T	1x6	-	-	
POWDER ROOM (P.R.)	H	1x6	-	-	
OWNER'S SUITE	H	1x6	-	YES	
OWNER'S SUITE - W.I.C.	H	1x6	-	-	
OWNER'S BATH	T	1x6	-	-	
FOYER / HALL	H	1x6	-	-	
STUDY	H	1x6	-	YES	
KITCHEN / BREAKFAST AREA	H	1x6	-	-	
PANTRY	H	1x6	-	-	

LEGEND: C: CARPET
T: TILE
H: HARDWOOD

*SEE DETAIL 1/A-9.0 FOR TRIM DETAILS
*1x6 BASE - REFERS TO A 5-1/4" O.G. COMBO BASEBOARD
*UNFINISHED BASEMENT - BRUSHED CONC. FLOOR FINISH



LEGEND	1ST FLOOR:
SMOKE ALARM	CEILING HEIGHT: 9'-0" H.
CARBON MONOXIDE ALARM	WINDOW HEIGHT: 7'-10" H.
EXHAUST FAN - VENT TO OUTSIDE	DOOR HEIGHT: (HOLLOW CORE) 6'-8" H.

NOTES:

*SEE S-1.0 AND S-1.1 FOR INFORMATION REGARDING FOUNDATION AND CONCRETE WORK. DRAWING A001 REFERS TO FRAMING INFORMATION ONLY.

*REFER TO S-3.0 FOR ALL BEAM AND POST SIZES.

*PLEASE SEE S-5.1 FOR 2-STORY FAMILY ROOM ENGINEERING WALL DETAIL.

*PLEASE SEE S-5.1 FOR 2-STORY FOYER ENGINEERING WALL DETAIL.

*PLEASE SEE S-5.0 FOR STRAP LOCATIONS

NOTE:

- ALL EXTERIOR WALLS TO BE FRAMED WITH 2X6 @ 16" O.C. ALL INTERIOR WALLS TO BE FRAMED WITH 2X6 @ 16" O.C. UNLESS OTHERWISE NOTED.
- ALL POINT LOADS (ROOF AND BEAMS) TO GO THROUGH FLOORS NO SQUASH BLOCK.
- SEE FRAMING PLANS FOR BEAMS, HEADERS AND COLUMNS SIZE. (TYPICAL).
- GARAGE BENEATH HABITABLE ROOMS SHALL HAVE MIN. 5/8" TYPE X GYP BOARD ON CEILING AND 1/2" GYP BOARD ON ALL COMMON WALLS AND BEARING WALLS.
- ALL EXTERIOR WALL SHEATHING MUST BE NAILED W/ 8b NAILS- ALL EDGES AND CORNERS MUST BE NAILED 2 ROWS 6" O.C. FIELD MUST BE NAILED 1 ROW 12" O.C.

FIRST FLOOR:
1,640 S.F. (INTERIOR)
455 S.F. (GARAGE)
TOTAL: 2,095 S.F.
284 S.F. (PORCH)

Builders Developers:
 50 W. Edmonston Drive
 Suite 405
 Rockville, MD 20852
 Tel: 301-251-2001
 Fax: 301-251-1222

CLASSIC HOMES
 of MARYLAND

Wynne Residence, Woodbine, MD
 15683 Old Frederick Rd, Woodbine, MD 21797

PROFESSIONAL CERTIFICATION

I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.

License No. 24518
 Expiration Date: 09-21-2023

JUAN UTRERA
 Digitally signed by JUAN UTRERA
 Date: 2022.01.03 11:44:23 -05'00'

PROJECT PHASE:
PERMIT SET

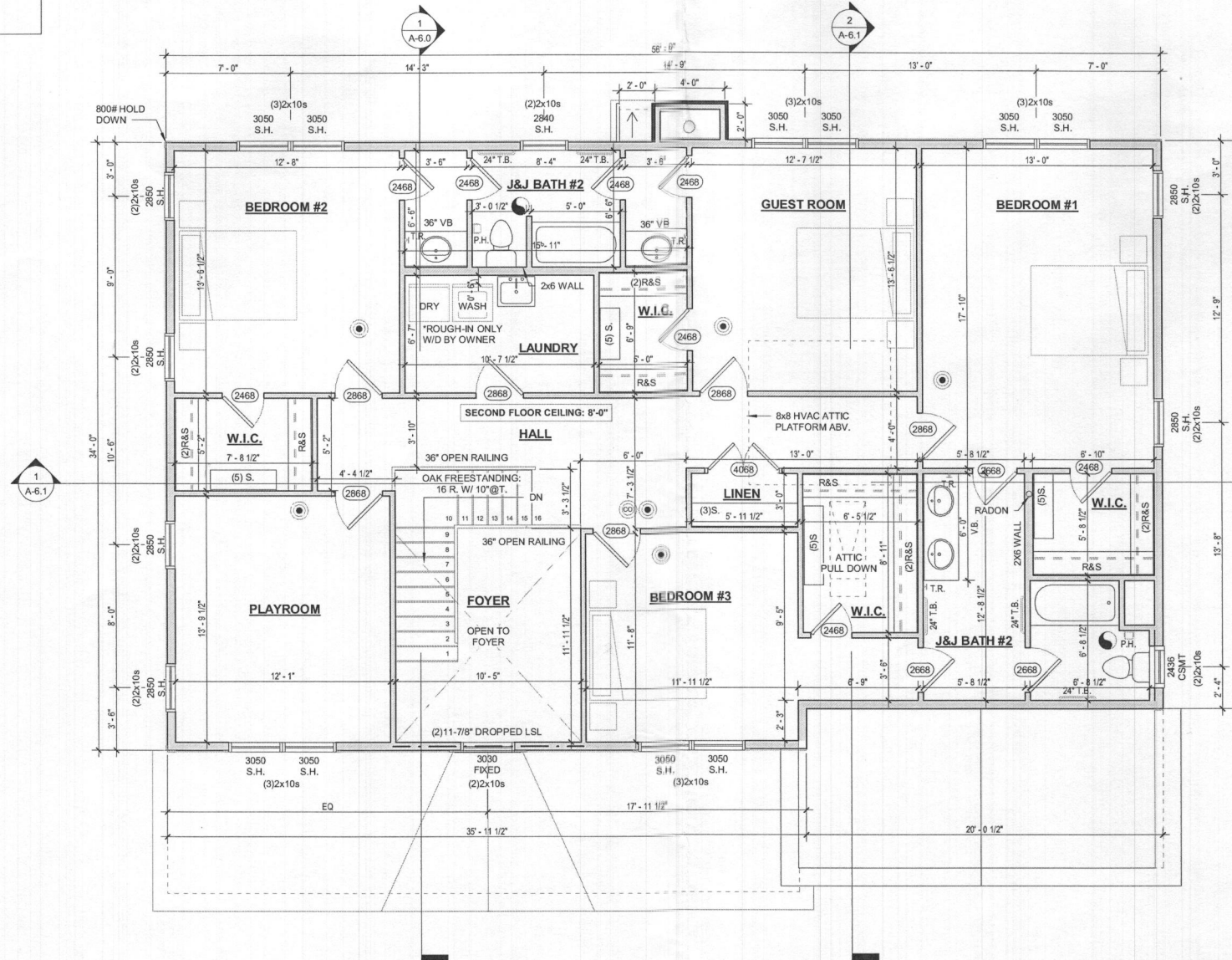
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 SPEC: CLASSIC 2020
 REVISIONS:

DATE: 12/27/2021 1:05:14 PM
 DRAWN BY: SO
 CHECKED BY: SRB
 SHEET NAME: FIRST FLOOR PLAN
 SHEET #: A-2.0

ROOM:	FLOORING:	BASE:	CHAIR RAIL:	CROWN:	NOTES:
BEDROOM #1, #2 & #3	C	1x6	-	-	
GUEST ROOM	C	1x6	-	-	
ALL W.I.C.'s	C	1x6	-	-	
PLAYROOM	C	1x6	-	-	
J&J BATHs	T	1x6	-	-	
HALL	C	1x6	-	-	
LAUNDRY	T	1x6	-	-	

LEGEND: C: CARPET
T: TILE
H: HARDWOOD

*SEE DETAIL 1/A-9.0 FOR TRIM DETAILS
*1x6 BASE - REFERS TO A 5-1/4" O.G. COMBO BASEBOARD
*UNFINISHED BASEMENT - BRUSHED CONC. FLOOR FINISH



1 2ND FLOOR PLAN
1/4" = 1'-0"

OK
RB
2/3/22

LEGEND

●	SMOKE ALARM
⊙	CARBON MONOXIDE ALARM
⊖	EXHAUST FAN - VENT TO OUTSIDE

2ND FLOOR:

CEILING HEIGHT:	8'-0" H.
WINDOW HEIGHT:	6'-8" H.
DOOR HEIGHT: (HOLLOW CORE)	6'-8" H.

NOTES:

SEE S-1.0 AND S-1.1 FOR INFORMATION REGARDING FOUNDATION AND CONCRETE WORK. DRAWING A001 REFERS TO FRAMING INFORMATION ONLY.

REFER TO S-3.1 FOR ALL BEAM AND POST SIZES.

- NOTE:
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 - ALL POINT LOADS (ROOF AND BEAMS) TO GO THROUGH FLOORS NO SQUASH BLOCK.
 - SEE FRAMING PLANS FOR BEAMS, HEADERS AND COLUMNS SIZE. (TYPICAL).
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SECOND FLOOR:
1,710 S.F. (INTERIOR)
150 S.F. (OPEN TO BELOW)
TOTAL: 1,860 S.F.

Builders Developers:
50 W. Edmanston Drive
Suite 405
Rockville, MD 20852
Tel: 301-251-2001
Fax: 301-251-1222

CLASSIC HOMES
of MARYLAND

Wynne Residence, Woodbine, MD
15683 Old Frederick Rd, Woodbine, MD 21797

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Expiration Date: 09-21-2023

JUAN UTRERA
Digitally signed by JUAN UTRERA
Date: 2022.01.03 11:40:52 -05'00'

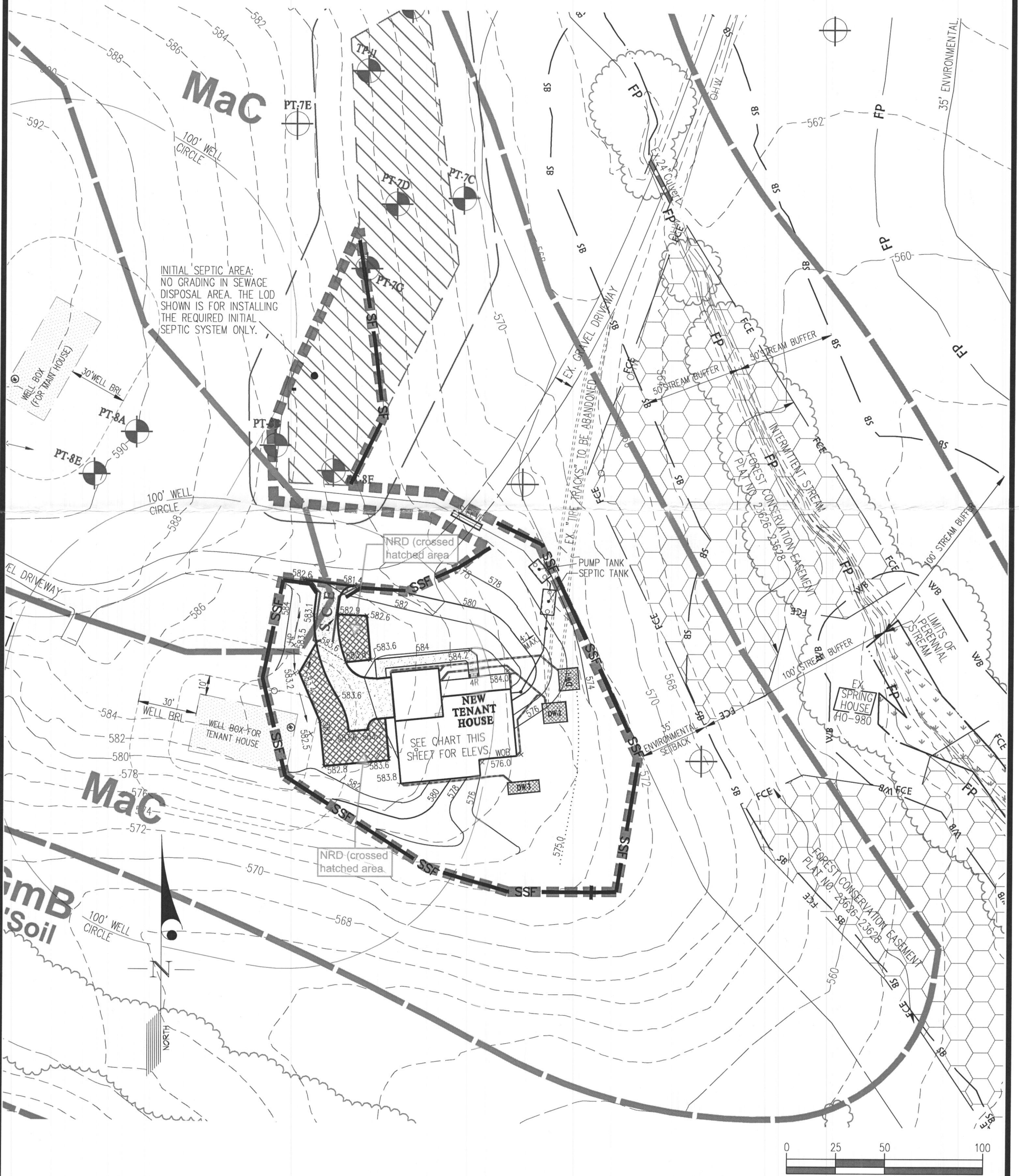
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PERMIT SET

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SPEC:	CLASSIC 2020
REVISIONS:	
DATE:	12/27/2021 12:28:54 PM
DRAWN BY:	SO
CHECKED BY:	SRB
SHEET NAME:	SECOND FLOOR PLAN
SHEET #:	A-3.0

Elevations		House Grading Information for Tenant House	
576.50	Basement Slab Elevation (B.S.E.) at top of 4" concrete slab		
576.17	Top of Footing		
585.17	Top of 9' high Foundation Wall (ToFW)		
584.50	Maximum Finished Grade (8" below ToFW)		
586.51	First Floor Elevation (F.F.E. = ToFW + single plate + 14" TJI + 5/8" subfloor)		
586.0	Front Porch Elevation (at 6" below F.F.E.)		
584.28	Bottom of porch steps for 4 risers at 5" ea. (porch elev. 586.0 - 4x5/12 - tread wash at 2% ea.)		
584.83	Garage Rear Elevation (Down 4" from ToFW)		
3	Number of Risers Needed between F.F.E. & Garage		
584.42	Garage Front Elevation (at bottom of 1" weather lip)		

PROPOSED DRYWELL (M-5) SIZE CHART for TENANT HOUSE		
DRYWELL No.	LENGTH x WIDTH	DEPTH OF STONE
DW#1	11' x 10'	5'
DW#2	12' x 10'	5'
DW#3	15' x 6'	5'



BUILDING PERMIT PLOT PLAN (for Tenant House)



DES.
DRN.
CHK.

PREPARED FOR :

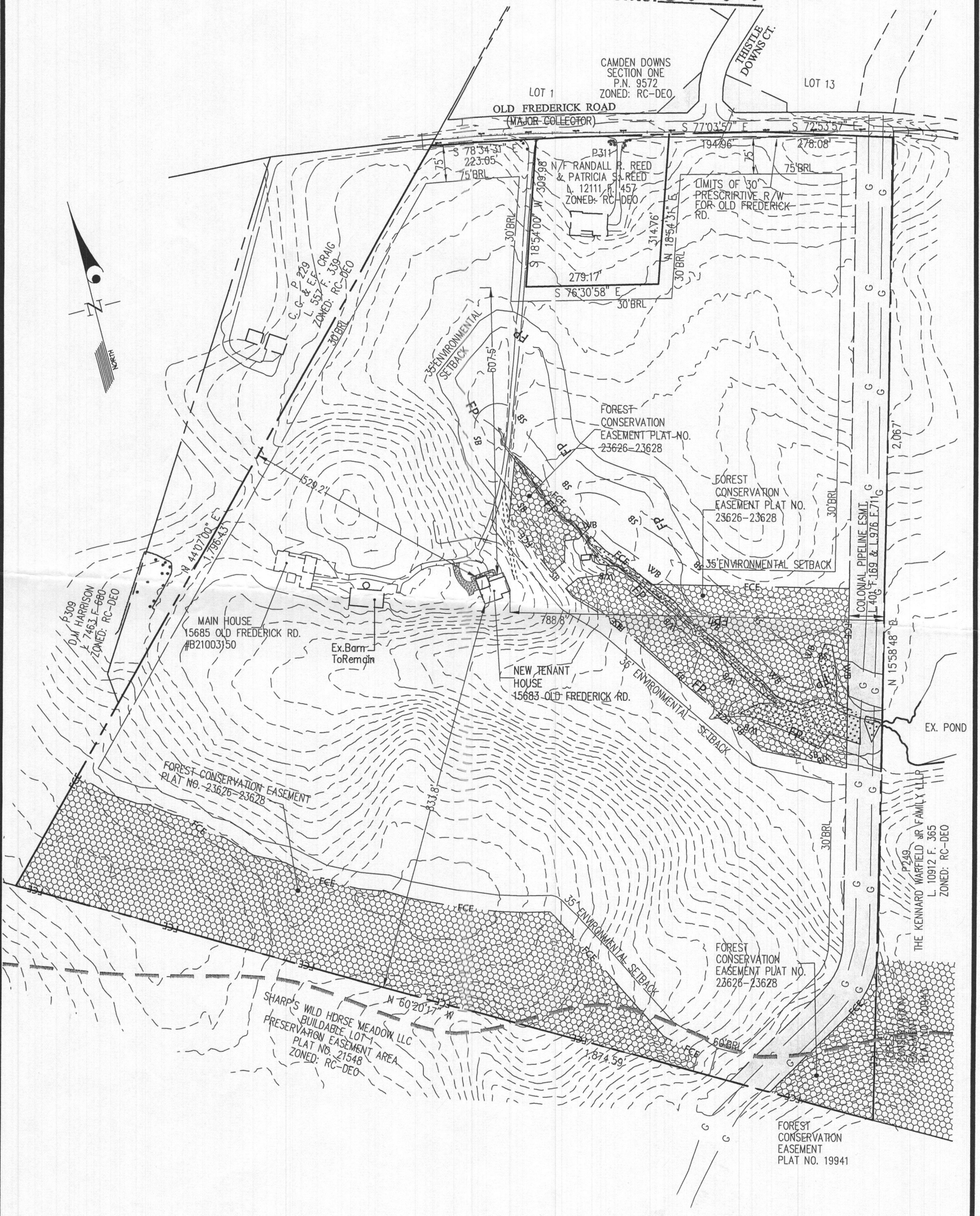
OWNER:
BRIAN WYNNE
2065 HIGHWAY A1A UNIT 1201
INDIAN HARBOUR BEACH,
FLORIDA 32937
wynnebrian65@gmail.com

Tax Parcel 2
WYNNE PROPERTY
TENANT HOUSE (15683 Old Frederick Road)
PLAT No. 23626-23628

G. L. W. No.	21020
ZONING	RC-DEO
TAX MAP/GRID	8-1
DATE	MAY 2022
SCALE	1"=50'
SHEET	2 OF 2

15683 Old Frederick Rd

REVISED
 Date: 5/19/22
 Comments: B22000058



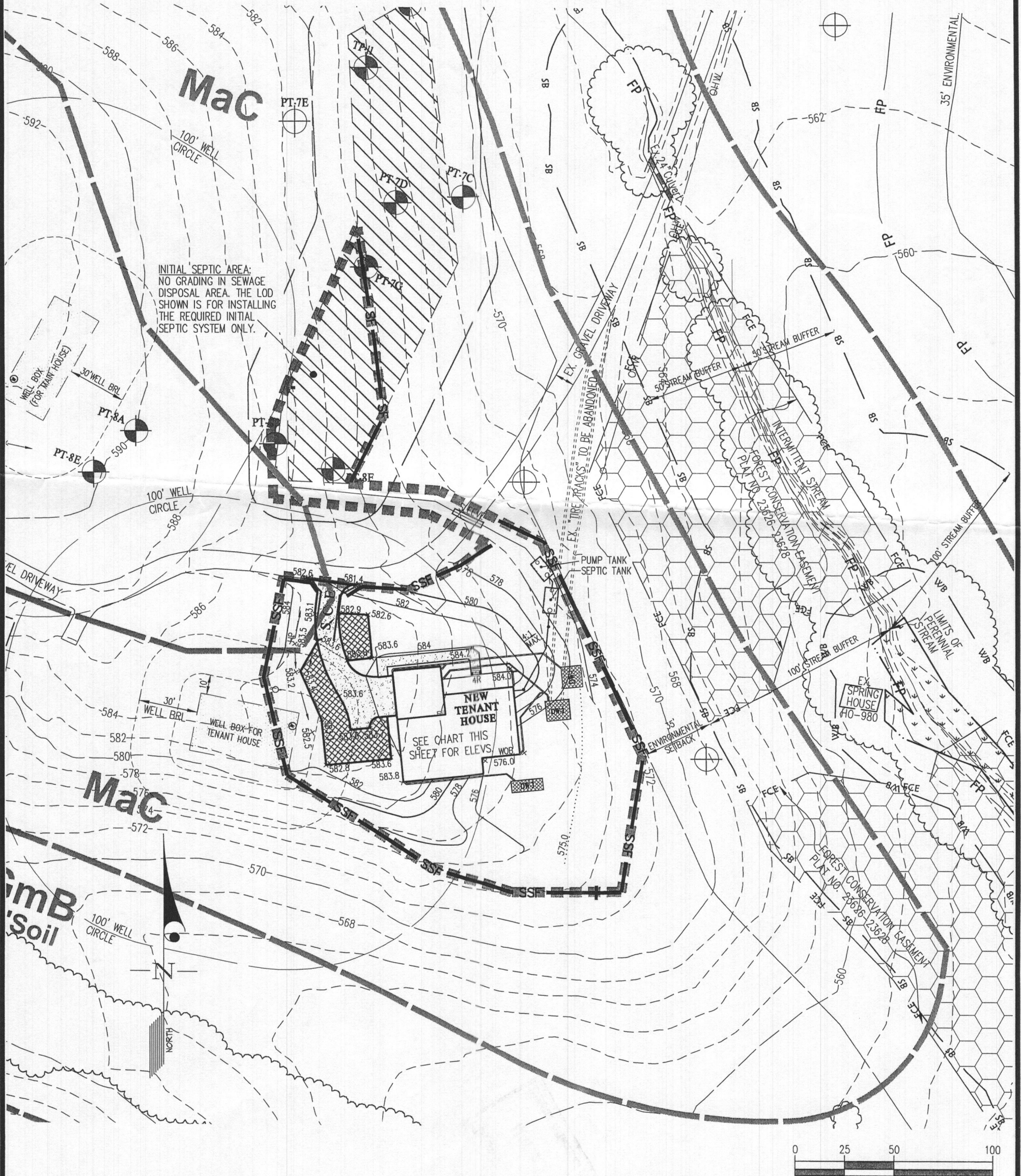
SEE SHEET 2 FOR 50 SCALE

BUILDING PERMIT PLOT PLAN (for Tenant House)

	DES.	PREPARED FOR : OWNER: BRIAN WYNNE 2065 HIGHWAY A1A UNIT 1201 INDIAN HARBOUR BEACH, FLORIDA 32937 wynnebrian65@gmail.com	Tax Parcel 2	G. L. W. No.	21020
	DRN.		WYNNE PROPERTY TENANT HOUSE (15683 Old Frederick Road) PLAT No. 23626-23628	ZONING	RC-DEO
	CHK.			TAX MAP/GRID	8-1
L:\CADD\DRAWINGS\21020\PLANS BY GLW\GP AND PLOT PLAN\21020_GP_TENANT HOUSE.dwg			DATE	MAY 2022	
			SCALE	1"=200'	
			SHEET	1 OF 2	

Elevations	House Grading Information for Tenant House
576.50	Basement Slab Elevation (B.S.E.) at top of 4" concrete slab
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DW#1	11' x 10'	5'
DW#2	12' x 10'	5'
DW#3	15' x 6'	5'



BUILDING PERMIT PLOT PLAN (for Tenant House)

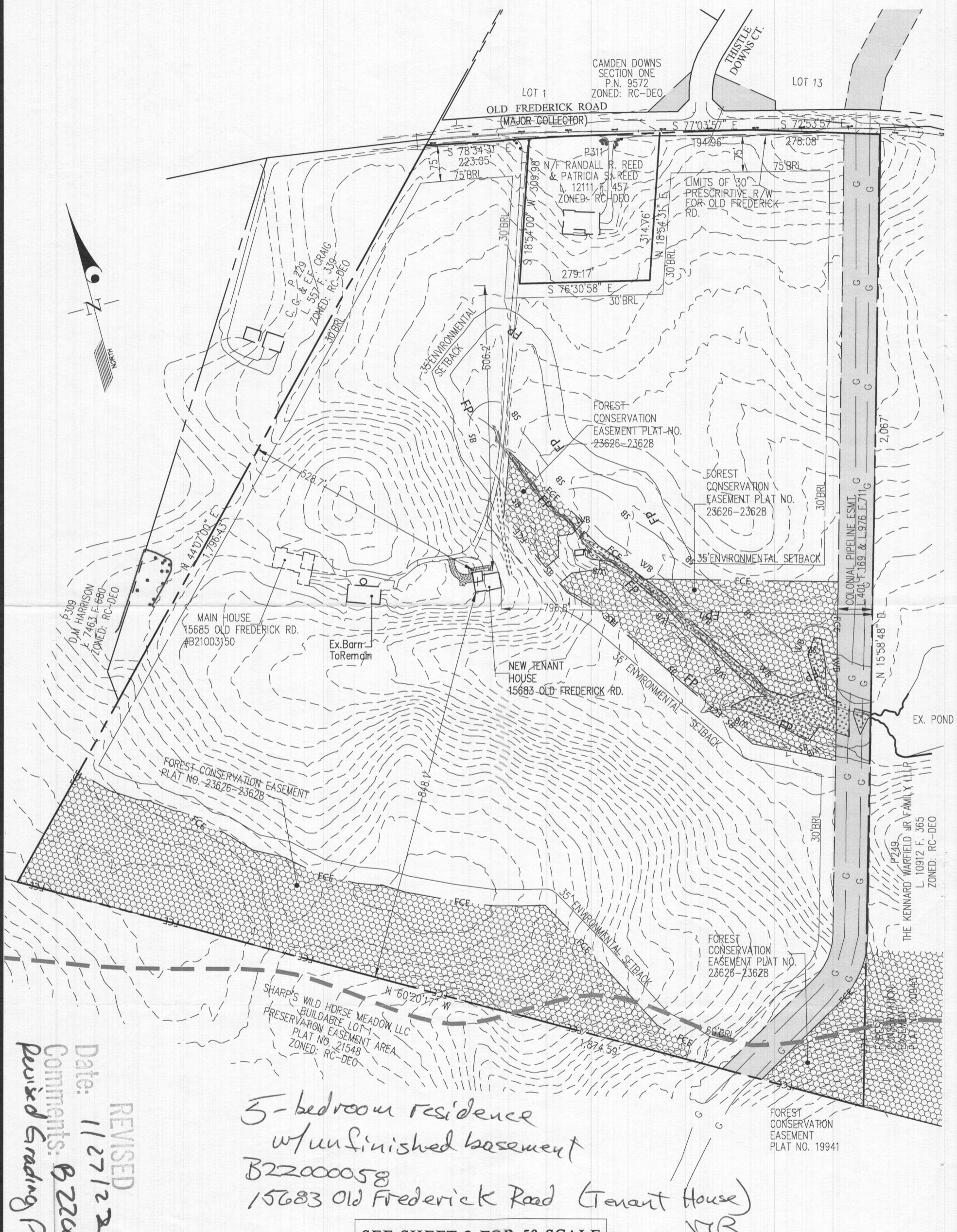


DES. _____
 DRN. _____
 CHK. _____

PREPARED FOR :
 OWNER:
 BRIAN WYNNE
 2065 HIGHWAY A1A UNIT 1201
 INDIAN HARBOUR BEACH,
 FLORIDA 32937
 wynnebrian65@gmail.com

Tax Parcel 2
WYNNE PROPERTY
 TENANT HOUSE (15683 Old Frederick Road)
 PLAT No. 23626-23628

G. L. W. No.	21020
ZONING	RC-DEO
TAX MAP/GRID	8-1
DATE	MAY 2022
SCALE	1"=50'
SHEET	2 OF 2



Date: 11/27/22
 Comments: B2200058
 Revised Grading Plan
REVISED

3-bedroom residence
 w/ unfinished basement
 B2200058
 15683 Old Frederick Road (Tenant House)

SEE SHEET 2 FOR 50 SCALE

BUILDING PERMIT PLOT PLAN (for Tenant House)

	DES.	PREPARED FOR :	G. L. W. No.	21020	
	DRN.	OWNER: BRIAN WYNNE 2065 HIGHWAY A1A UNIT 1201 INDIAN HARBOUR BEACH, FLORIDA 32937 wynnebrian65@gmail.com	Tax Parcel 2 WYNNE PROPERTY TENANT HOUSE (15683 Old Frederick Road) PLAT No. 23626-23628	ZONING	RC-DEO
	CHK.			TAX MAP/GRID	8-1
			DATE	JAN. 2021	
			SCALE	1"=200'	
			SHEET	1 OF 2	