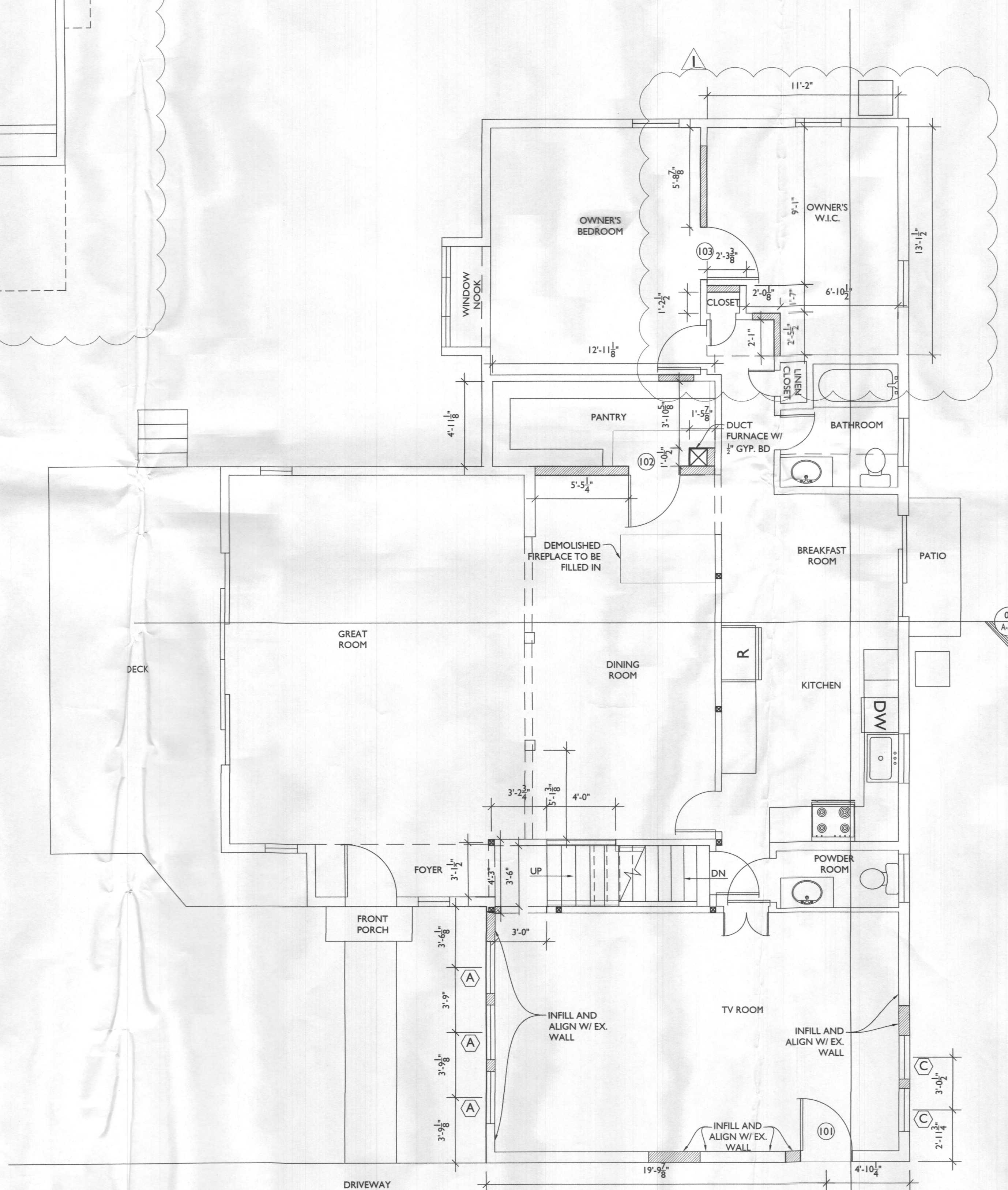
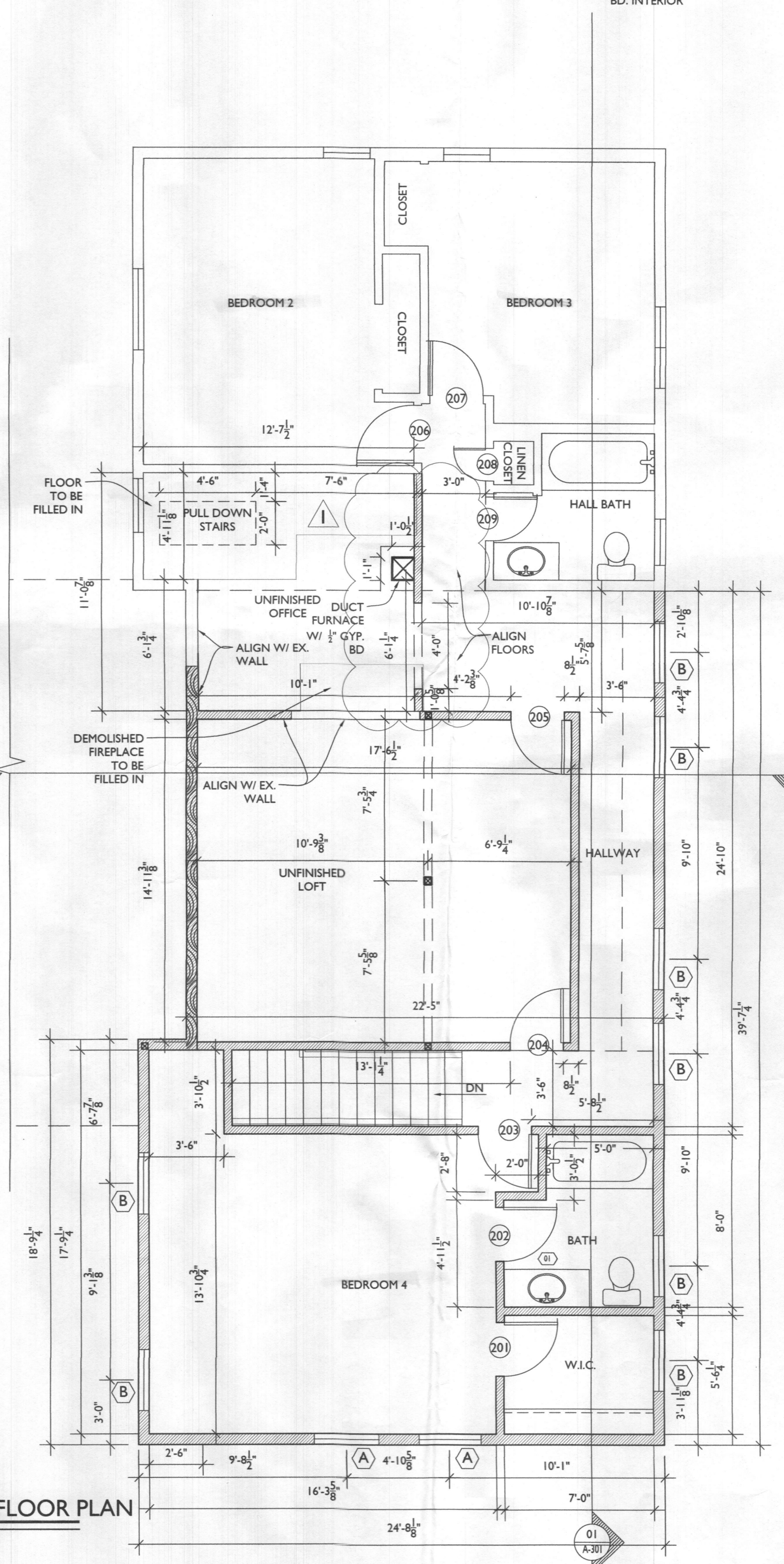


**1 BASEMENT FLOOR PLAN**  
A102 SCALE: 1/8"=1'-0"



**2 FIRST FLOOR PLAN**  
A102 SCALE: 1/4"=1'-0"



**3 SECOND FLOOR PLAN**  
A102 SCALE: 1/4"=1'-0"

LINE TYPE KEY:  
 NEW WALL [Solid line with thick stroke]  
 EXIST. WALL [Thin solid line]  
 ABOVE LINE [Dashed line]  
 FDN. WALL [Cross-hatched pattern]  
 DEMO WALL [Dashed line with thick stroke]

TYPICAL WALL CONSTRUCTION U.N.O.  
 TYP. INT. WALL CONSTR.: 2x4 WD STUDS U.N.O. @ 16" O.C. W/ 1/2" GYP. BD. EACH SIDE  
 TYP. EXT. WALL CONSTR.: 2x4 WD STUDS U.N.O. @ 16" O.C. R-5 RIGID BOARD EXT. R-20 CLOSED CELL SPRAY INS. 7/16 OSB SHEATHING, BUILDING PAPER, SIDING, & 1/2" GYP. BD. INTERIOR



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STAMP  
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NOTE: THESE DRAWINGS ARE THE PROPERTY OF TRANSFORMING ARCHITECTURE AND, AS SUCH, MAY NOT BE RE-USED OR REPRODUCED, EITHER WHOLLY OR IN PART, WITHOUT PRIOR WRITTEN CONSENT OF TRANSFORMING ARCHITECTURE.

PROJECT PHASE  
**PERMIT**

PROJECT TITLE  
**THE MAYS RESIDENCE**  
 7081 Pindell School Road  
 Fulton, MD 20759

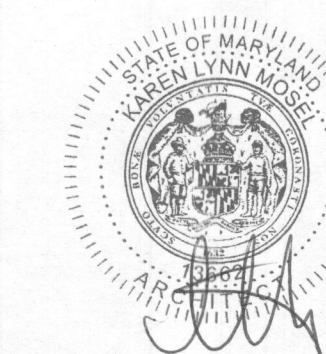
REVISIONS

SYMBOL	DATE	ISSUED FOR
1	01/30/2023	HEALTH DEPT REVIEW

PROJECT NUMBER 20-526  
 DATE 01/09/2023  
 SCALE AS NOTED

DRAWING TITLE  
**FLOOR PLANS**

SHEET NUMBER  
**A-102**



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PROJECT NAME

**PERMIT**

PROJECT TITLE

**THE MAYS RESIDENCE**

7081 Pindell School Road  
 Fulton, MD 20759

REVISIONS

SYMBOL	DATE	ISSUED FOR
1	01/30/2023	HEALTH DEPT REVIEW

PROJECT NUMBER 20-526

DATE 01/09/2023

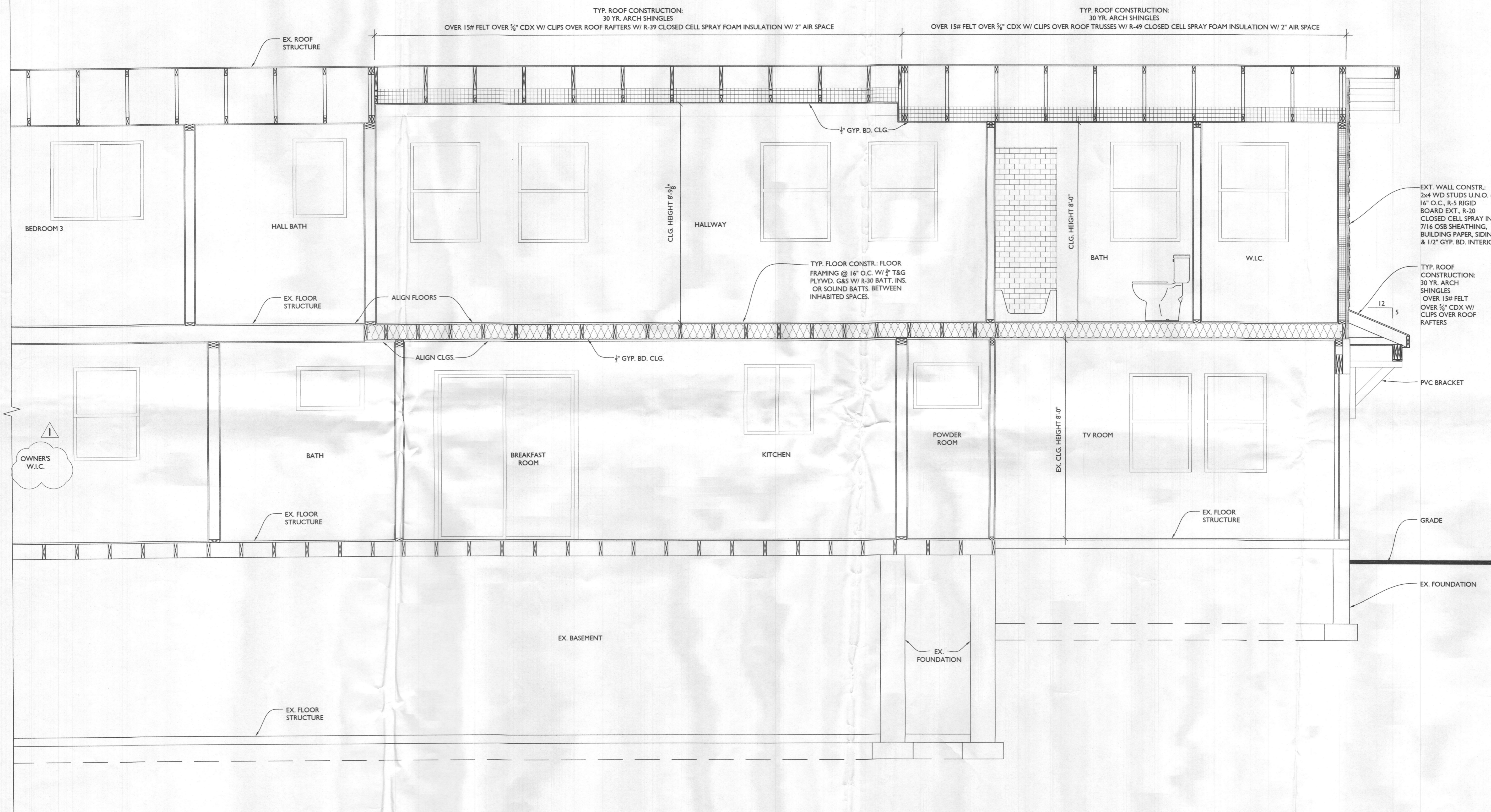
SCALE AS NOTED

DRAWING TITLE

**BUILDING SECTION B**

SHEET NUMBER

**A-301**



**SECTION B**  
 SCALE: 1/2"=1'-0"

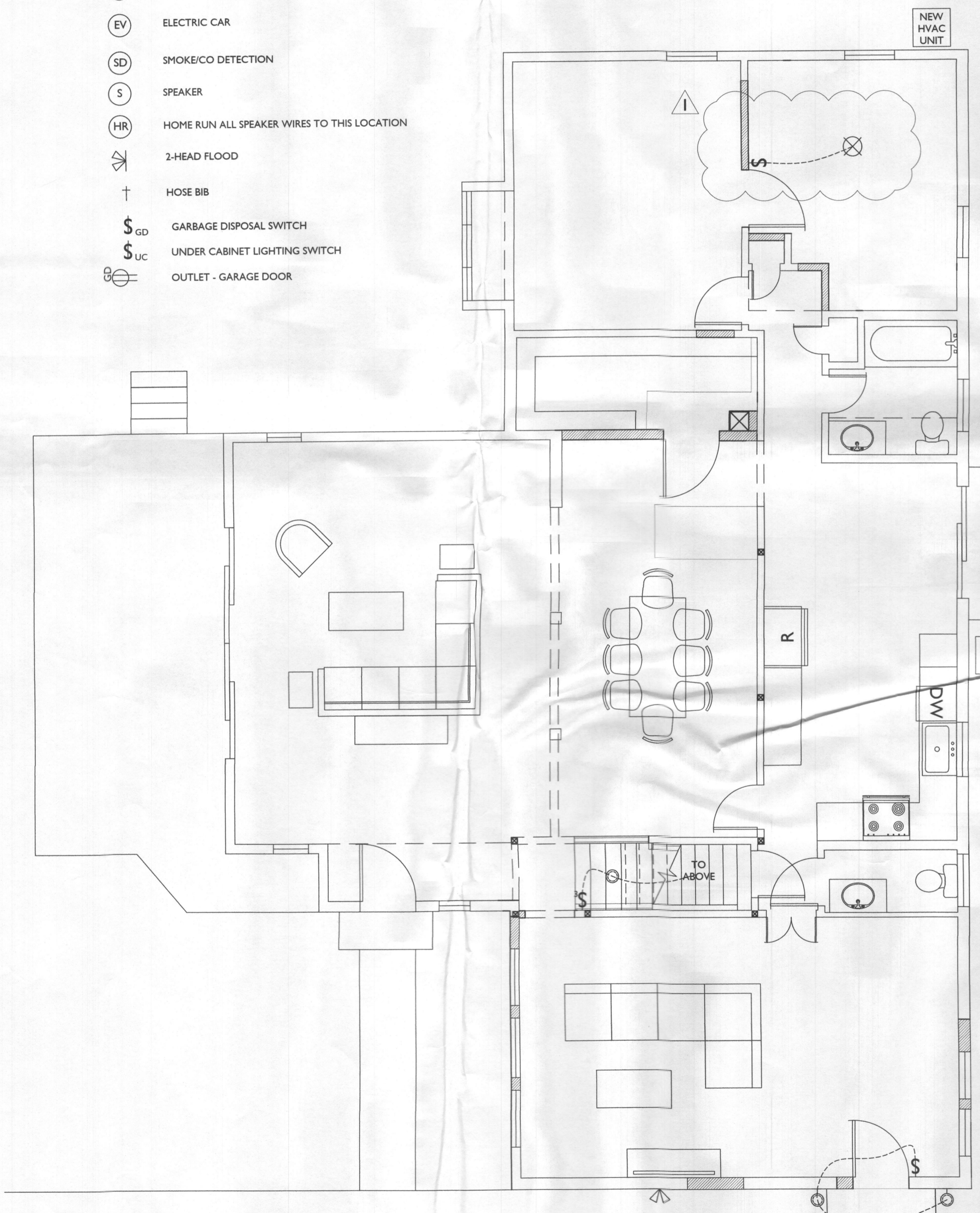
- LINE TYPE KEY:
- NEW WALL
  - EXIST. WALL
  - ABOVE LINE
  - FDN. WALL
  - DEMO WALL

TYPICAL WALL CONSTRUCTION U.N.O.  
 TYP. INT. WALL CONSTR.: 2x4 WD STUDS U.N.O. @ 16" O.C. W/ 1/2" GYP. BD. EACH SIDE  
 TYP. EXT. WALL CONSTR.: 2x4 WD STUDS U.N.O. @ 16" O.C., R-5 RIGID BOARD EXT., R-20 CLOSED CELL SPRAY INS., 7/16 OSB SHEATHING, BUILDING PAPER, SIDING, & 1/2" GYP. BD. INTERIOR

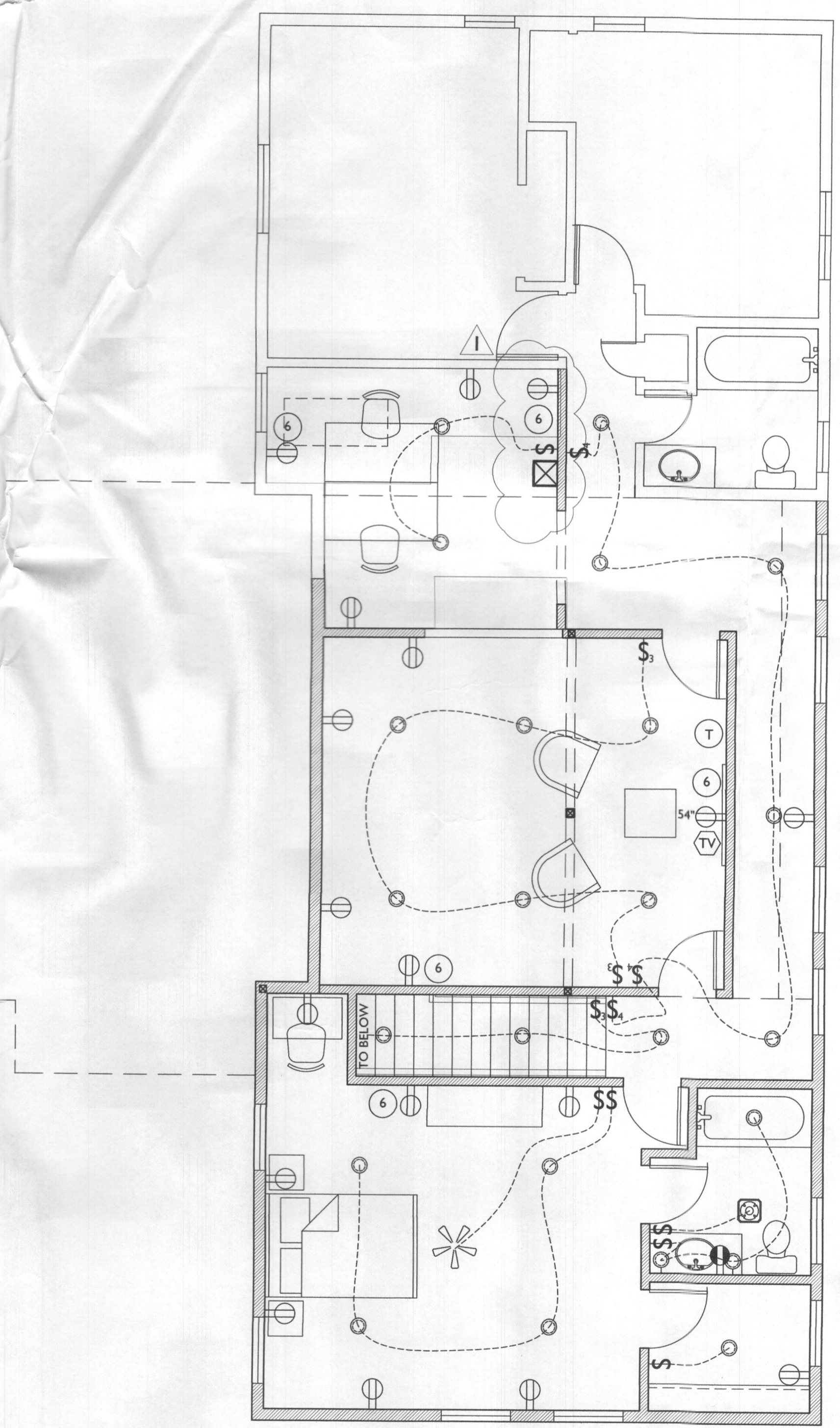
- ELECTRICAL LEGEND**
- SWITCH
  - OUTLET
  - GFI OUTLET
  - 6" RECESSED LED CLG. LIGHT
  - LED WALL MOUNT FIXTURE
  - LED CLG. FIXTURE
  - EXHAUST FAN
  - QUIET CLG. FAN W/ LIGHT (OSCI)
  - CABLE TV
  - THERMOSTAT
  - CAT 6 LINE
  - FLOOR OUTLET
  - ELECTRIC CAR
  - SMOKE/CO DETECTION
  - SPEAKER
  - HOME RUN ALL SPEAKER WIRES TO THIS LOCATION
  - 2-HEAD FLOOD
  - HOSE BIB
  - GARBAGE DISPOSAL SWITCH
  - UNDER CABINET LIGHTING SWITCH
  - OUTLET - GARAGE DOOR

- ELECTRICAL NOTES:**
1. REQUESTED OUTLETS SPECIFIED NOTED ON ELEC. LAYOUT. ALL OTHER OUTLETS PER CODE PER CODE @ 18"H, 42" H ABOVE COUNTERTOPS UNLESS OTHERWISE NOTED.
  2. MOUNT LIGHT SWITCHES @ 42" H. MAX. ROCKER-TYPE
  3. PROVIDE HARD-WIRED SMOKE DETECTORS PER CODE
  4. EXHAUST FANS W/ HUMIDISTAT (MAX. 7 SONE), EXHAUST TO EXTERIOR
  5. HINGE SWITCHES IN ALL CLOSETS U.N.O.
  6. ALL FIXTURES ON DIMMERS
  7. CAT 6 HUB TO BE REPLACED
  8. HARDWIRED SMOKE DETECTOR W/ INTERNAL BATTERY & CARBON MONOXIDE DETECTOR (COMBINED UNIT) TO BE INSTALLED IN ACCORDANCE WITH SECTION R315 OF THE 2018 IRC
  9. LED RECESSED LIGHTS SPECS:  
 2700K-2900K FOR LIVING ROOMS & BEDROOMS  
 2900K-3500K FOR KITCHEN, OFFICE AND BASEMENTS

- HVAC NOTES:**
1. EXISTING HVAC SYSTEM TO SERVICE BASEMENT AND FIRST FLOOR
  2. NEW HVAC SYSTEM TO SERVICE SECOND FLOOR TO BE INSTALLED W/ NEW HEAT PUMP (TO BE LOCATED IN EX. ATTIC)
  3. ADD NEW HVAC CONDENSER UNIT TO THE LEFT SIDE OF HOUSE
  4. NEW THERMOSTAT TO BE ADDED ON SECOND FLOOR WHERE INDICATED



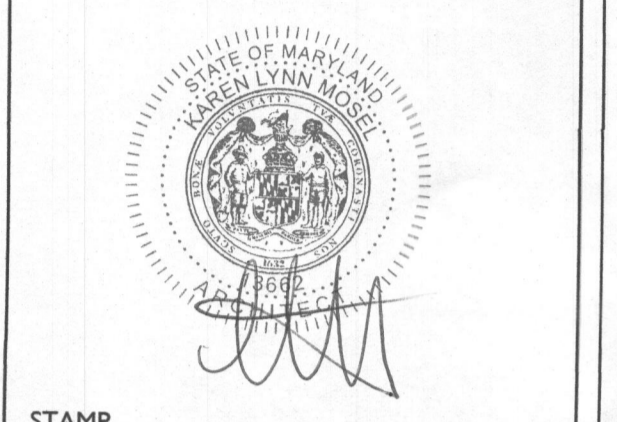
**FIRST FLOOR ELECTRICAL PLAN**  
 SCALE: 1/4"=1'-0"



**SECOND FLOOR ELECTRICAL PLAN**  
 SCALE: 1/4"=1'-0"



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PROJECT PHASE  
**PERMIT**

PROJECT TITLE  
**THE MAYS RESIDENCE**  
 7081 Pindell School Road  
 Fulton, MD 20759

**REVISIONS**

SYMBOL	DATE	ISSUED FOR
1	02/01/2023	HEALTH DEPT REVIEW

PROJECT NUMBER: 20-526  
 DATE: 01/09/2023  
 SCALE: AS NOTED

DRAWING TITLE  
**ELECTRICAL PLANS**

SHEET NUMBER  
**E-100**





**SCOPE OF WORK**

DEMO EX. FIREPLACE AND STAIR TO SECOND FLOOR. RENOVATE 117 sqft ON FIRST FLOOR TO CONVERT EX. BEDROOM ON FIRST FLOOR TO OWNER'S W.I.C. AND ADD A PANTRY.

ADD 679 sqft SECOND FLOOR ADDITION FOR NEW EN SUITE HALLWAY AND NEW STAIR TO SECOND FLOOR. RENOVATE 320 sqft OF SECOND FLOOR FOR LOFT AND OFFICE.

EX. BASEMENT GROSS SQFT 1,466 SQFT  
EX. FIRST FLOOR GROSS SQFT 1,884 SQFT  
EX. SECOND FLOOR GROSS SQFT 762 SQFT  
SECOND FLOOR ADDITION SQFT 679 SQFT  
TOTAL GROSS SQFT 4,791 SQFT

NO FOOTPRINT CHANGE.

**RESIDENTIAL NOTES & SPECIFICATIONS**

- GENERAL CONSTRUCTION NOTES
- THESE STRUCTURAL NOTES AND SPECIFICATIONS SHALL BE CONSIDERED PART OF THE FINAL DESIGN PACKAGE (INCLUDING CONSTRUCTION DRAWINGS) FOR THE PROJECT SPECIFICALLY DESCRIBED ABOVE. NEITHER THE STRUCTURAL NOTES NOR THE DRAWINGS ALONE ARE SUFFICIENT IN DESCRIBING A COMPLETE DESIGN.
  - DO NOT SCALE DRAWINGS. WRITTEN DIMENSION ON DRAWINGS SHALL GOVERN. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS AND SHALL NOTIFY THE OFFICE OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN ON THESE DRAWINGS. SHOP DRAWINGS MUST BE SUBMITTED TO THE OWNER/ARCHITECT BEFORE PROCEEDING WITH FABRICATION OF ASSEMBLIES. STEEL STAIRS, ROOF AND/OR FLOOR TRUSSES.
  - WHERE THERE IS CONFLICT BETWEEN DRAWINGS, SPECIFICATIONS OR DETAILS, THE CONTRACTOR SHALL CONTACT THE ARCHITECT FOR CLARIFICATION.
  - PROVIDE TRANSITION STRIPS AT ALL CHANGES IN FLOOR FINISHES.
  - ALL CLOSETS ARE TO HAVE THE SAME FINISH AS THE ADJOINING ROOM UNLESS OTHERWISE NOTED.
  - PROVIDE PLUMBING FIXTURE ACCESS PANEL AT EACH TUB AND SHOWER ENCLOSURE AS REQUIRED BY LOCAL JURISDICTION.
  - PROVIDE HANDRAILS 34"-38" ABOVE NOSINGS ON ALL STAIRS. PROVIDE GUARDRAILS AT RAISED FLOORS, BALCONIES, ETC. 30" OR MORE ABOVE GRADE OR FLOOR BELOW. GUARDS SHALL BE MINIMUM 42" HIGH AND HAVE CLOSURES SPACED TO PREVENT PASSAGE OF A 4" SPHERE.
  - PROVIDE NOMINAL 2X FLOOR BLOCKING AT EVERY FLOOR INTERVAL, BULKHEAD AND CHASE. IF OPEN WEB FLOOR TRUSSES ARE UTILIZED, PROVIDE 1/2" GB DRAGTOPPING, NOT TO EXCEED 1,000 SF.
  - PROVIDE A MINIMUM 64"-8" HEAD CLEARANCE FOR ALL STAIRS. STAIR RISERS SHALL NOT EXCEED 7-1/2" AND TREADS SHALL BE AT LEAST 10-1/2".
  - PROVIDE SOFFIT VENTS, RIDGE VENTS, OR GABLE END VENTS AS SHOWN ON THE DRAWINGS. MAINTAIN MINIMUM 1/100 FREE VENTILATION FOR HORIZONTALLY PROJECTED ROOF AREA. INSTALL PLASTIC OR CARDBOARD BAFFLES IN EACH TRUSS/RAFTER BAY TO MAINTAIN FREE AIR FLOW.
  - MECHANICAL, PLUMBING AND ELECTRICAL CONTRACTORS SHALL BE REQUIRED TO SEAL ALL PENETRATIONS IN FLOORS AND EXTERIOR WALLS CAUSED BY THEIR TRADES.
  - ROUGH CARPENTRY CONTRACTORS SHALL SEAL ALL PANEL BUTT JOINTS AND PLATES AT FLOORS, CEILINGS, WINDOWS, DOOR FLANGES AND JAMBS.
  - WEATHERING PENETRATION SHALL BE PATCHED AND REPAIRED TO MANUFACTURER'S SPECIFICATIONS.
  - SLOPE ALL EXTERIOR PLATFORMS, PORCHES, WALKS AND GARAGE SLABS 1/8" IN 12" TO DRAIN, OR AS NOTED ON PLANS.
  - PROVIDE TERMITE PROTECTION INCLUDING SOIL TREATMENT BY LICENSED EXTERMINATOR.

**SPECIFICATIONS - GENERAL CONDITIONS**

- ALL WORK SHALL CONFORM TO ALL LOCAL AND NATIONAL ORDINANCES & BUILDING CODES APPLICABLE TO THIS PROJECT, INCLUDING BUT NOT LIMITED TO INTERNATIONAL RESIDENTIAL CODE - 2021.
- DIMENSIONS GIVEN ON SCHEDULES ARE NOMINAL. CONTRACTOR AND MANUFACTURERS ARE TO COORDINATE ALL DIMENSIONS CONCERNING DOORS, PANELS, WINDOWS, EQUIPMENT, ETC. AND THEIR OPENINGS PRIOR TO FABRICATION AND CONSTRUCTION.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, GRADES, BOUNDARIES, EASEMENTS AND CONSTRUCTION BEFORE PROCEEDING WITH THE WORK AND REPORT IMMEDIATELY ANY DISCREPANCIES TO THE ARCHITECT AND/OR OWNER.
- DESIGN STANDARDS  
USE GROUP: RESIDENTIAL  
CONST. TYPE: TWO STORY WOOD FRAME W/ BRICK & SIDING.  
5. DESIGN LOADS (IRC TABLE 301.5)  
WIND LOAD: ± 15  
ROOF LIVE LOAD: 40 PSF WIND SPEED: 115 MPH  
GROUND SNOW LOAD: 40 PSF IMPORT FACTOR: "C"  
FLOOR LIVE LOAD (F.F.): 40 PSF EXP. FACTOR: 1  
FLOOR LIVE LOAD (S.F.): 30 PSF SEISMIC DESIGN CAT.: B  
ATTIC LIVE LOAD (ATTIC): 20 PSF WEATHERING: SEVERE  
GARAGE LIVE LOAD: 50 PSF ZONE: 4A  
DEAD LOAD: 15 PSF  
GUARD RAILS: 200 LBS. FORCE IN ANY DIRECTION  
SOIL BEARING: ASSUMED 2,000 PSF FROST LINE DEPTH - 30"  
TERMITE: VERY HEAVY DECA: VERY HEAVY  
RADON RESISTANT CONSTRUCTION REQD.: YES
- CONCRETE  
1. CONCRETE FOR THIS PROJECT SHALL BE NORMAL WEIGHT (145 PCF) AND CONCRETE WORK SHALL CONFORM TO AMERICAN CONCRETE INSTITUTE (ACI) STANDARD 318-99.  
2. CONCRETE SHALL HAVE MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3000 PSI.  
3. ALL REINFORCING BAR SHALL BE GRADE 60 (FY=60,000 PSI)  
4. ALL INTERIOR CONCRETE SLABS SHALL BE 4" THICK AND HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3000 PSI WITH 6X6 - W14 AT W14 W/4 AND BE POURED OVER A 5X6 (6) MIL POLY VAPOR BARRIER OVER 4" POROUS GRANULAR FILL.  
5. ALL INTERIOR CONCRETE SLABS 30" OR GREATER IN ANY DIMENSION SHALL HAVE CONTROL JOINTS.  
6. ALL EXTERIOR CONCRETE SLABS SHALL BE AIR ENTRAINED (AIR CONTENT BETWEEN 5% AND 7%) INCLUDING THE GARAGE SLAB. AND HAVE 4" GRANULAR FILL MIN BELOW CONCRETE SLAB.  
7. WHERE PORCH (NOT MONOLITHICALLY POURED), PATIO OR OTHER CONCRETE FLAT WORK ABUTS AN EXISTING CONCRETE SLAB PROVIDE A 1/2" ASPHALT IMPREGNATED FIBER BOARD EXPANSION JOINT.  
8. ALL REINFORCING SHALL CONFORM TO SPECIFICATIONS FOR DEFORMED BILLET STEEL BARS FOR CONCRETE REINFORCEMENT (ASTM 1415-04). WELDED WIRE FABRIC SHALL CONFORM TO LATEST ASTM A-185.  
9. REINFORCEMENT FOR THE ANCHORAGE OF CONNECTING WORK, IF NOT CONTINUOUS, AND REINFORCEMENT FOR TEMPERATURE AND ALL OTHER PURPOSES NOT SPECIFICALLY PROVIDED, SHALL LAP 30 BAR DIAMETERS OR 18" MINIMUM AT ALL SPLICES, OR SHALL HAVE DOWELS OF THE SAME BAR SIZE AND SPACING AS THAT OF REINFORCING TO BE SPLICED OR WORK TO BE CONNECTED.  
10. MINIMUM CONCRETE PROTECTION FOR REINFORCEMENT:  
CONCRETE DEPOSITED AGAINST GROUND 3"  
FORMED CONCRETE IN CONTACT WITH GROUND 2"  
FORMED CONCRETE NOT IN CONTACT WITH GROUND 1 1/2"

- PREPARATION FOR SLAB
- REMOVE ALL VEGETATION AND TOP SOIL CONTAINING ORGANIC MATERIALS FROM THE ENTIRE AREA TO BE COVERED BY THE BUILDING.
  - IF FILL IS REQUIRED TO RAISE SLAB, SCARIFY THE SUB GRADE TO A DEPTH OF 6" AND RECOMPACT TO A MINIMUM DENSITY OF 92% AND A MAXIMUM OF 98% OF STANDARD PROCTOR DENSITY (ASTM D-698) WITH A MOISTURE CONTENT AT OR SLIGHTLY ABOVE OPTIMUM.
  - INSTALL FILL IN LOOSE LIFTS OF 8" THICK AND UNIFORMLY COMPACTED AS IN THE NOTE ABOVE.
  - FILL MATERIALS SHALL BE VERY SANDY TO CLAYEY SAND WITH A PLASTICITY INDEX (PI) BETWEEN 2 AND 15.
- FOUNDATION PERIMETER INSULATION
- INSTALL EXPANDED RIGID CELL POLYSTYRENE FOAM BORDER FIB SPEC HH-1542B. DENSITY 2.1 LBS PER CU. FT. "R" VALUE PER 1" THICKNESS - 5.41

- STAIR:
- MAX R: 7 1/2"  
MIN T: 10"

**SHEET INDEX**

A-100	PROJECT NOTES, SCHEDULES, & DEMO PLANS
A-101	FOUND. FLOOR FRAMING, ROOF FRAMING & ROOF PLANS
A-102	FLOOR PLANS
A-103	LATERAL BRACING PLANS AND ELEVATIONS
A-200	EXTERIOR ELEVATIONS
A-300	BUILDING SECTION A
A-301	BUILDING SECTION B
E-100	ELECTRICAL PLANS

**STRUCTURAL STEEL NOTES**

- MATERIALS  
STRUCTURAL STEEL AND PLATE ASTM A36  
UNFINISHED BOLTS ASTM A307  
HIGH-STRENGTH BOLTS ASTM A325  
WELDING ELECTRODES ASTM 1233, CLASS E70
- BEAM TO BEAM AND COLUMN CONNECTIONS SHALL BE AISC STANDARD (FULL DEPTH) WHERE REACTIONS EXCEED MINIMUM CONDITIONS, THE APPROPRIATE CONNECTIONS SHALL BE DETERMINED BY FABRICATOR (CONTRACTOR)
- ALL MAJOR CONNECTIONS SHALL BE HIGH STRENGTH FRICTION BOLTS OR WELDS OF EQUAL STRENGTH. ANCHOR BOLTS SHALL BE UNFINISHED BOLTS.
- STEEL WORK SHALL BE FABRICATED AND ERRECTED IN ACCORDANCE WITH LATEST AISC SPECIFICATIONS.
- SUBMIT SHOP DRAWINGS FOR ALL STEEL WORK.
- STEEL LINTELS - FOR ALL OPENINGS AND RECESSES IN STONE OR BRICK FACED WALLS NOT SPECIFICALLY DETAILED, PROVIDE ONE STEEL ANGLE FOR EACH 4 INCHES OF WALL THICKNESS. STEEL ANGLES TO HAVE MINIMUM BEARING OF 4" AT EACH END. HORIZONTAL LEG SHALL BE 3 1/2" UNLESS OTHERWISE SHOWN.
- LINTEL SCHEDULE (UNLESS NOTED OTHERWISE ON PLANS) NOTE ALL LINTELS ARE TO RECEIVE SHOP APPLIED CORROSION PROTECTION.
- STEEL BEAM POCKETS, SIZE AS INDICATED ON PLANS. BEAMS SHALL HAVE A MINIMUM BEARING OF 4" IN LENGTH MEASURED PARALLEL TO THE BEAM UPON SOLID MASONRY NOT LESS THAN 4" IN THICKNESS OR UPON A METAL BEARING PLATE OF ADEQUATE DIMENSIONS TO DISTRIBUTE THE LOAD SAFELY. AREA AROUND BEAM TO RECEIVE PARGE FINISH.
- 2x BEAM PLATE IS ANCHORED TO STEEL BEAM WITH 3/8" DIAMETER STEEL BOLTS OR EQUIVALENT POWER ACTIVATED FASTENERS AT 48" O.C. FASTENERS TO BE LOCATED A NEAR TO CENTER OF BEAM AS POSSIBLE.
- STEEL BEAMS SHALL HAVE A MINIMUM BEARING OF 4 INCHES IN CONCRETE POCKETS AND A MINIMUM BEARING OF 3 INCHES ON STEEL COLUMNS. STEEL BEAMS SHALL BE CENTERED OVER COLUMNS BELOW.

- MASONRY
- MASONRY VENEER SHALL BE ATTACHED TO THE SUPPORTING WALL WITH CORROSION RESISTANT METAL TIES. EACH TIE SHALL BE 24" ON CENTER HORIZONTALLY AND SHALL SUPPORT NOT MORE THAN 1/4 SQUARE FEET OF WALL AREA. ADDITIONAL METAL TIES SHALL BE PROVIDED AROUND ALL WALL OPENINGS GREATER THAN 16". THESE TIES SHALL BE SPACED NOT MORE THAN 3' ON CENTER AND PLACED WITHIN 12" OF THE WALL OPENING.
  - CONCRETE MASONRY UNITS SHALL MEET ASTM C-90 GRADE A, 28 DAYS OLD BEFORE INSTALLATION. MINIMUM NET COMPRESSIVE STRENGTH OF BLOCK TO BE 2000 PSI.
  - CARE AND PROPER MEASURES SHALL BE EMPLOYED TO PREVENT ANY SUPER IMPOSED LOADS (I.E. WIND LOADS, SHOVING OR OTHER LATERAL FORCES) FROM BUILDING OR DISTURBING FINISHED MASONRY WALLS BY WAY OF SHORING, BRACING OR OTHER MEANS AS SITE REQUIRES.
  - USE TYPE "M" MORTAR FOR MASONRY ABOVE GRADE IN CONTACT WITH EARTH.
  - USE TYPE "N" MORTAR FOR EXTERIOR, ABOVE GRADE LOAD BEARING OR NON-LOAD BEARING MASONRY WALLS AND FOR OTHER AREAS IF NOT OTHERWISE NOTED. EXCEPTION - MASONRY CONSTRUCTION REQUIRING HEAVY MORTAR SHALL HAVE A REFRACTORY AIR SETTING MORTAR.
  - BRICK VENEER TO BE INSTALLED WITHIN 3/16" DIA W/EP HOLES SPACED AT A MAXIMUM OF 24" O.C. HORIZONTALLY.

- HEADERS
- ALL HEADERS ARE TO BE DOUBLE 2X12 UNLESS SPECIFICALLY NOTED OTHERWISE.
- WOOD FRAMING
- UNLESS OTHERWISE NOTED, ALL INTERIOR PARTITIONS TO BE CONSTRUCTED WITH 2X4 STUDS, 16" O.C. WITH DOUBLE TOP PLATE MINIMUM 2X12 HEADER/LINTELS AT ALL OPENINGS IN BEARING OR EXTERIOR WALLS. SHEATHING TO BE 1/2" CDX PLYWOOD OR OSB.
  - ALL FRAMING LUMBER SHALL BE SPF No. 1/No. 2 AND HAVE A MINIMUM ALLOWABLE EXTREME FIBER BENDING STRESS OF 875 PSI AND A MINIMUM MODULUS OF ELASTICITY OF 1,400,000 PSI.
  - ALL FLOOR DECKS ARE TO BE GLUED TO SUPPORTING BEAMS AND JOIST WITH PL-400 ADHESIVE AS MANUFACTURED BY "CONTECH" OR APPROVED EQUAL.
  - ALL WOOD BEAMS MADE OF TWO OR MORE MEMBERS SHALL BE GLUED WITH PL-400 ADHESIVE AND NAILED TOGETHER @ 12"
  - ALL WOOD POSTS MADE UP OF MULTIPLE PIECES SHALL BE GLUED WITH PL-400 ADHESIVE AND NAILED @ 12" O.C. BOTH SIDES.
  - DIRECTLY UNDER PARTITIONS WHICH RUN TO JOISTS (AND ARE OTHERWISE UNSUPPORTED) INSTALL DOUBLE JOISTS.
  - ALL RAFTERS AND JOISTS SHALL HAVE WOOD OR METAL CROSSBRACING AT 8' O.C. OR AT CENTER OF SPAN WHICHEVER IS LESS.
  - CONTINUOUS LOAD PATH - STEEL HARDWARE CONNECTORS TO GUARD AGAINST UPLIFT FORCES SHALL BE INSTALLED FROM THE FOUNDATIONS TO THE ROOF RAFTERS AT ALL STUDS. THESE SHALL INCLUDE BUT ARE NOT LIMITED TO FOUNDATION CONNECTORS, FLOOR TO FLOOR CONNECTORS, AND ROOF RAFTER HURRICANE CONNECTORS/ANCHORS.
  - MINIMUM BEARING FOR WOOD JOIST, RAFTERS AND BEAMS SHALL BE 3 1/2" ON WOOD AND 4" ON MASONRY.
  - INSTALL ALL WOOD JOIST HANGER & WOOD BEAM HANGER CONNECTIONS AS FOLLOWS:  
JOIST HANGER MIN. CAPACITY - 800#  
BEAM HANGER MIN. CAPACITY - 3500#
  - INSTALL MINIMUM DOUBLE STUDS AT JAMBS OF ALL OPENINGS IN WALLS OR AS SHOWN ON PLAN.
  - ALL MANUFACTURED TRUSSES ARE TO BE IN ACCORDANCE WITH ASCE 7-95.
  - FOUNDATION ANCHORAGE SILL PLATES AND WALLS SUPPORTED DIRECTLY ON CONT. FOUNDATIONS SHALL BE ANCHORED ACCORDING TO IRC R403.1.6.
  - ALL SILL PLATES AND LUMBER IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED SOUTHERN YELLOW PINE.

- FINISHES
- ALL FINISHES SHALL BE CLASS C OR BETTER WITH A FLAME SPREAD OF 76-200 OR BETTER AND A SMOKE DEVELOPED INDEX OF 0-50.
- AIR LEAKAGE
- BUILDING THERMAL ENVELOPE - THE BUILDING THERMAL ENVELOPE SHALL BE DURABLY SEALED TO LIMIT INFILTRATION. THE SEALING METHODS BETWEEN DISSIMILAR MATERIALS SHALL ALLOW FOR DIFFERENTIAL EXPANSION AND CONTRACTION. THE FOLLOWING SHALL BE CAULKED, GASKETED, WEATHER STRIPPED OR OTHERWISE SEALED WITH AN AIR BARRIER MATERIAL, SUITABLE FILM OR SOLID MATERIAL.
- ALL JOINTS, SEAMS AND PENETRATIONS.
  - SITE-BUILT WINDOWS, DOORS AND SKYLIGHTS.
  - OPENINGS BETWEEN WINDOW AND DOOR ASSEMBLIES AND THEIR RESPECTIVE JAMBS AND FRAMING.
  - UTILITY PENETRATIONS
  - DROPPED CEILINGS OR CHASES ADJACENT TO THE THERMAL ENVELOPE.
  - KNEE WALLS.
  - WALLS AND CEILINGS SEPARATING A GARAGE FROM CONDITIONED SPACES.
  - BEHIND TUBS AND SHOWERS ON EXTERIOR WALLS.
  - COMMON WALLS BETWEEN DWELLING UNITS.
  - ATTIC ACCESS OPENINGS.
  - RIM JOIST JUNCTION.
  - OTHER SOURCES OF INFILTRATION.

**ROOM FINISH SCHEDULE**

ROOM NAME	FLOOR	WALLS	CEILING	TRIM	REMARKS										
						HARDWOOD FLOOR	CERAMIC TILE	CARPET	CONCRETE	EX. TO REMAIN	UNFINISHED	PAINTED GYP. BD.	EX. TO REMAIN	UNFINISHED	PAINTED GYP. BD.
OWNER'S W.I.C.		X													
FOYER			X												
TV ROOM		X													
PANTRY		X													
UNFINISHED LOFT			X												
UNFINISHED OFFICE			X												
HALLWAY		X													
BEDROOM 4		X													
W.I.C.		X													
BATH		X													

**DOOR SCHEDULE**

NO.	SIZE	INT/EXT	SADDLE	LABEL	REMARKS
101	3/0x6/8	EXT	YES		SINGLE DOOR - SEE ELEVATION
102	3/0x6/8	INT	NO		SINGLE DOOR
103	3/0x6/8	INT	NO		SINGLE DOOR
201	2/6x6/8	INT	NO		SINGLE DOOR - SOLID CORE
202	2/6x6/8	INT	NO		SINGLE DOOR - SOLID CORE
203	2/6x6/8	INT	NO		SINGLE DOOR - SOLID CORE
204	2/6x6/8	INT	NO		SINGLE DOOR - SOLID CORE
205	2/6x6/8	INT	NO		SINGLE DOOR - SOLID CORE
206	2/6x6/8	INT	NO		SINGLE DOOR - SOLID CORE, FIT TO EX. OPENING, V.I.F.
207	2/6x6/8	INT	NO		SINGLE DOOR - SOLID CORE, FIT TO EX. OPENING, V.I.F.
208	1/6x6/8	INT	NO		SINGLE DOOR - SOLID CORE, FIT TO EX. OPENING, V.I.F.
209	2/0x6/8	INT	NO		SINGLE DOOR - SOLID CORE, FIT TO EX. OPENING, V.I.F.

**WINDOW SCHEDULE**

TYPE	MAT.	SIZE	OPERATION	REMARKS
A	VINYL	3/0x5/0	DOUBLE HUNG	
B	VINYL	2/10x4/0	DOUBLE HUNG	
C	VINYL	2/6x4/0	DOUBLE HUNG	

**CABINET SCHEDULE**

NO.	DESIGNATION	W-D-H	TYPE	REMARKS	EXTENDED STYLE TO BE TRIMMED AS NECESSARY
01	6VSD	48-21-34.5	VANITY	VANITY SINK BASE W/ SIX DRAWERS	

CABINET DOOR COLOR:  
CABINET DOOR STYLE:  
CABINET DOOR EDGE:  
CABINET DRAWER STYLE:

**HEADER SCHEDULE (U.N.O.)**

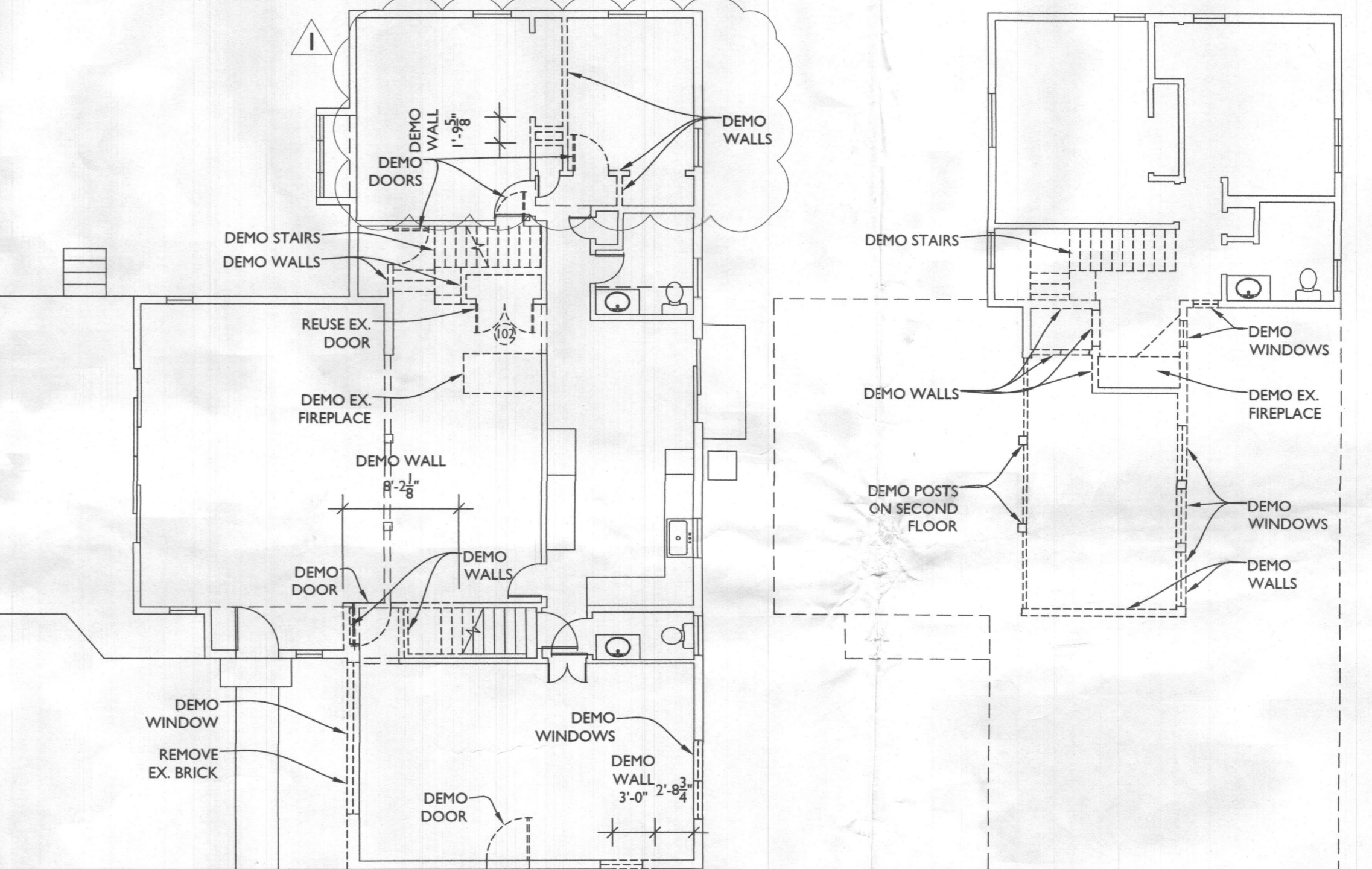
OPENING SIZE	HEADER SIZE
OPENINGS UP TO 3'	(2) 2x10
OPENINGS GREATER THAN 3' UP TO 6'	(2) 1.75 x 9.50 2.0E LVL
OPENINGS GREATER THAN 6' UP TO 8'	(2) 1.75 x 11.875 2.0E LVL
OPENINGS GREATER THAN 8' SEE FRAMING PLAN	

**STEEL LINTEL SCHEDULE (U.N.O.)**

STEEL ANGLE SIZE	# STORIES ABOVE	# OF 1/2" REBARS
3 x 3 x 1/4	NONE	TWO
6'-0" 3'-6"	ONE	3'-0"
4 x 3 x 1/4	ONE	5'-0"
6 x 3-1/2 x 1/4	ONE	8'-0"
2 - 6 x 3-1/2 x 1/4	TWO	11'-0"

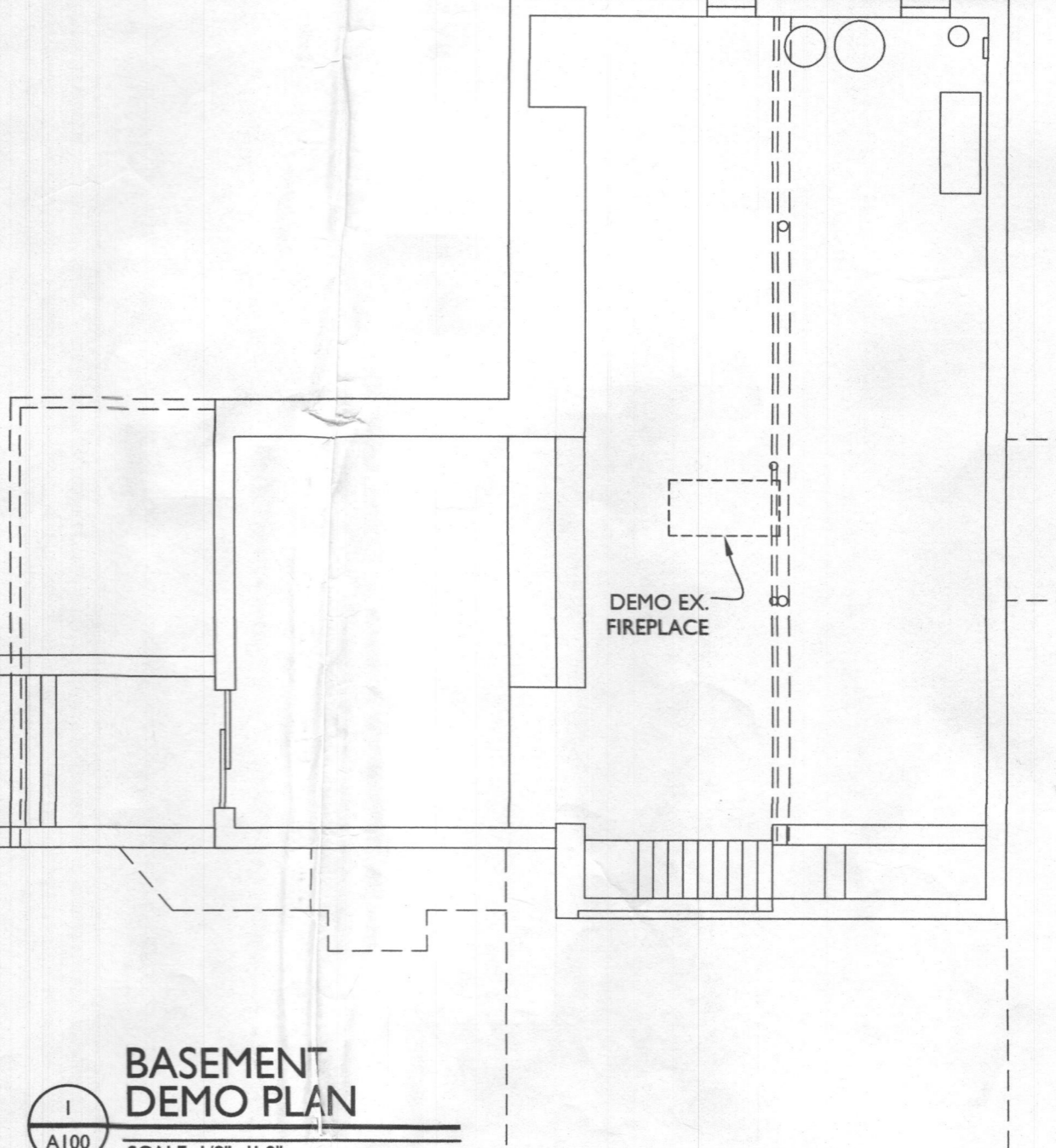
**REINFORCED CONCRETE AND MASONRY FOUNDATION WALLS**

MAX. WALL HT. (FT.)	MAX. UNBALANCED BACKFILL HT.	MIN. VERT. REINFORCEMENT SIZE & SPACING FOR 10" NOMINAL WALL THICKNESS		
		GW,GC,SW & SP SOILS	GM, GC, SM, SM-SC & ML SOILS	SC, MH, ML-CL & INORG. CL SOILS
9	5	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 48" O.C.
	6	#4 @ 56" O.C.	#4 @ 40" O.C.	#4 @ 32" O.C.
	7	#4 @ 56" O.C.	#5 @ 48" O.C.	#6 @ 48" O.C.
	8	#4 @ 56" O.C.	#6 @ 48" O.C.	#4 @ 16" O.C.
	9	#5 @ 40" O.C.	#6 @ 40" O.C.	#7 @ 40" O.C.
9	5	#4 @ 48" O.C.	#4 @ 48" O.C.	#5 @ 48" O.C.
	6	#4 @ 48" O.C.	#5 @ 48" O.C.	#6 @ 48" O.C.
	7	#5 @ 48" O.C.	#6 @ 48" O.C.	#6 @ 32" O.C.
	8	#5 @ 40" O.C.	#6 @ 32" O.C.	#6 @ 24" O.C.
	9	#6 @ 40" O.C.	#6 @ 24" O.C.	#6 @ 16" O.C.
10	7'-4"	#4 @ 72" O.C.	#5 @ 72" O.C.	#6 @ 72" O.C.
	8'-0"	#5 @ 72" O.C.	#6 @ 72" O.C.	#6 @ 64" O.C.
	8'-8"	#5 @ 72" O.C.	#7 @ 72" O.C.	#6 @ 48" O.C.
	9'-4"	#6 @ 72" O.C.	#6 @ 48" O.C.	#6 @ 40" O.C.
	10'-0"	#6 @ 64" O.C.	#6 @ 40" O.C.	#6 @ 32" O.C.



**FIRST FLOOR DEMO PLAN**  
SCALE: 1/8"=1'-0"

**SECOND FLOOR DEMO PLAN**  
SCALE: 1/8"=1'-0"



**BASEMENT DEMO PLAN**  
SCALE: 1/8"=1'-0"



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STATE OF MARYLAND  
LICENSED PROFESSIONAL ARCHITECT  
NUMBER 13662, EXPIRATION 10-22-2023.

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**PERMIT**

PROJECT PHASE  
**THE MAYS RESIDENCE**  
PROJECT TITLE  
7081 Pindell School Road  
Fulton, MD 20759

**REVISIONS**

SYMBOL	DATE	ISSUED FOR
1	01/30/2023	HEALTH DEPT REVIEW

PROJECT NUMBER	20-526
DATE	01/09/2023
SCALE	AS NOTED
DRAWING TITLE	PROJECT NOTES, SCHEDULES, + DEMO PLANS
SHEET NUMBER	A-100