

Maura J. Rossman, M.D., Health Officer

**Demolition Request Form**

(Fill in all blanks)

**Information of Property to be demolished:**

Benjamin & Grace Walker/Peter Chon      7154 Guilford Road Clarksville 21029  
 Current Owner's Name      Property Address

\_\_\_\_\_  
 Subdivision (if applicable)      8  
 Lot #

Peter Chon      35      296  
 All Prior Owners' Names (if requested or known)      Tax Map      Parcel #      Tax ID #

Building a new home in same location  
 Purpose/Reason for Demolition

RE-build new home

Future plans of property after demo (i.e. subdivision, parking lot, re-build new house, etc...)

If a subdivision, SDP# \_\_\_\_\_ Has the structure(s) been deemed unsafe by DILP \_\_\_ YES no NO

**UTILITY RECORDS:**

Property currently connected to public water \_\_\_ YES X NO

Property currently connected to public sewer \_\_\_ YES X NO

Does the property currently have any wells and/or septic systems X YES \_\_\_ NO

→ Explain: Currently operational well and septic system, we just re-perked with Spencer for a new 4 bedroom and all passed.

*\*Note: Any wells and/or septic systems that are to remain may require an approved percolation certification plan under Howard County Code Sec. 3.805*

*\*Note: Any septic systems that are to be abandoned must be done by a septic contractor with documentation of the process.*

*\*Note: All abandoned wells are to be sealed by a well driller licensed by the Maryland State Board of Well Drillers COMAR Sec 26.04.04.11 Abandonment Standards D (3)*

**COMMENTS:**

Cary Cumberland      410-977-2188  
 Applicant's Name (please print)      Applicant's Phone #

cary@vikingcustomhomes.com  
 Applicant's Email      Applicant's Fax #

Cary K Cumberland      04-05-2021  
 Applicant's Signature      Date

(revised 10-25-18 MJD)

4/16 - site visit; Website: [www.hchealth.org](http://www.hchealth.org) Facebook: [www.facebook.com/hocohealth](http://www.facebook.com/hocohealth) Twitter: @HoCoHealth  
 vm to applicant

7/14 - email from Sam (reelk - will be abandoned - 4' dia septic)


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Maura J. Rossman, M.D., Health Officer

## **MEMORANDUM**

Sent via email to [cary@vikingcustomhomes.com](mailto:cary@vikingcustomhomes.com) on 8/12/2021

**TO:** Cary Cumberland

**FROM:** Ryan Rappaport, *LEHS* Well & Septic Program 

**DATE:** August 12, 2021

**RE:** 7154 Guilford Rd. Clarksville, MD 21029  
Map: 35, Grid: 21, Parcel: 296, Lot: 8  
(Demolition of existing house – rebuild new house)

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**This is to advise that the Howard County Health Department recommends issuance of the demolition permit for the above referenced property.**

The existing potable well, permit# HO-73-1424, that was utilized for the above referenced property has been located and sealed according to *COMAR 26.04.04.34*. An abandonment report was submitted by Michael Barlow Well Drilling (MWD 355) to this office which confirms well abandonment completion on 8/10/2021.

The existing septic system on this property was located and properly abandoned by Sams Creek Excavating on 7/20/202, photos of the abandonment and an invoice was also submitted to the Health Department.

**IF ANY WELL OR SEPTIC COMPONENTS ARE FOUND DURING SITE WORK, YOU MUST NOTIFY THIS OFFICE IMMEDIATELY.**

*Cc: File*

**Michael Barlow Well Drilling Service. Inc.**

522 UNDERWOOD LANE  
BEL AIR, MD 21014  
(410) 838-6910  
www.michaelbarlowwelldrilling.com



**INVOICE**

BILL TO  
Viking Custom Homes  
815 Windriver Drive  
Sykesville, MD 21784

INVOICE # <b>097075</b>	DATE <b>08/11/2021</b>	TERMS <b>Due on receipt</b>	DUE DATE <b>08/11/2021</b>
P.O. NUMBER <b>JW</b>	PERMIT NUMBER <b>HO-73-1424</b>		

DATE	DESCRIPTION	QTY	RATE	AMOUNT
08/10/2021	Removal of well pump and abandonment of the existing 125' well at 7154 Guilford Road, Clarksville	1	1,000.00	1,000.00

We appreciate your business

**BALANCE DUE**

**\$1,000.00**

\$35.00 fee for returned checks

A 3% processing fee applies to credit card payments

PayPal secure payments are accepted.  
Please send payment to [katie@mbwd.us](mailto:katie@mbwd.us)

Past due balances are subject to 2% per month late fee.

MARYLAND DEPARTMENT OF THE ENVIRONMENT, WATER MANAGEMENT ADMINISTRATION  
1800 Washington Blvd., Baltimore, Maryland 21230 (410) 537-3784

\*\*\*\*\*  
WATER WELL ABANDONMENT-SEALING REPORT FORM  
\*\*\*\*\*

SUBMIT COPIES OF COMPLETED FORM TO:

- \* COUNTY ENVIRONMENT AGENCY (contact MDE, WMA if address needed)
- \* WELL OWNER
- \* MDE, WATER MANAGEMENT ADMINISTRATION, WELL PROGRAM

DATE WELL ABANDONED: Aug 10, 2021 (month/day/year)

\* PERMIT NUMBER OF ABANDONED WELL (if any)

HO - 73 - 1424

\* PERMIT NUMBER OF REPLACEMENT WELL

\* PERSON ABANDONING WELL: Michael Bartow

WELL DRILLERS LICENSE NUMBER: 355

\* OWNER'S NAME: Peter Chan

CIRCLE: MWD / MSD / MGD

\* WELL LOCATION:

COUNTY: HOWARD

NEAREST TOWN: CLARKSVILLE

TAX MAP 35 BLOCK 21 PARCEL 296

SUBDIVISION: CLARKSVILLE MEAD

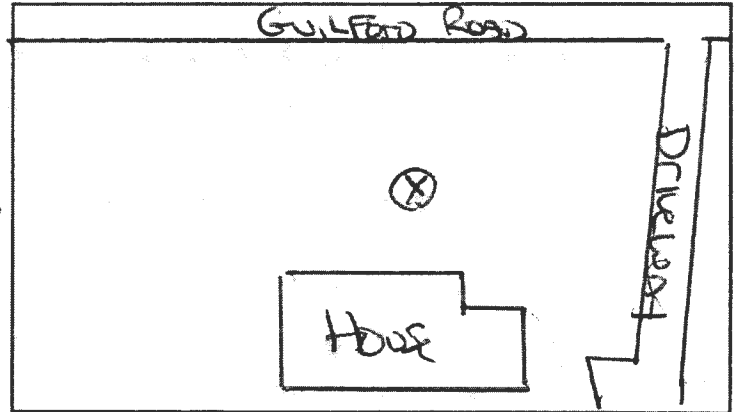
SECTION: \_\_\_\_\_ LOT: 8

NEAREST ROAD: 7154 GUILFORD ROAD

39.18967

76.91150

SITE LOCATION MAP



\* TYPE OF WELL BEING ABANDONED:

- DRILLED  JETTED
- BORED/AUGERED  HAND DUG
- OTHER (specify) \_\_\_\_\_

\* USE CODE:

- DOMESTIC  MUNICIPAL/PUBLIC
- IRRIGATION  INDUSTRIAL
- TEST/OBSERVATION  GEOTHERMAL

\* TYPE OF CASING:

- STEEL  PLASTIC
- CONCRETE  OTHER (specify) \_\_\_\_\_

\* SIZE OF CASING: 6 INCHES IN DIAMETER

\* DEPTH OF WELL: 125 FEET DEEP

\* WAS ANY CASING REMOVED?  YES  NO  
if yes, length removed, in feet: \_\_\_\_\_

\* WAS CASING RIPPED OR PERFORATED?  YES  NO

LOG OF SEALING MATERIAL

MATERIAL	FEET	
	FROM	TO
Cement Grout	125	0
VOLUME OF MATERIAL USED		
2025 lbs Cement		

SIGNATURE - MASTER WELL DRILLER OR SUPERVISING SANITARIAN

355

LICENSE #

CIRCLE: MWD / MSD / MGD

8/11/2021  
DATE

Sams Creek  
2810 Sams Creek Road  
New Windsor, MD 21776

# Invoice

**BILL TO**

Viking  
815 Windriver Drive  
Sykesville, MD 21784

**SHIP TO**

Viking  
7154 Guilford Rd  
Clarksville, MD

INVOICE #	DATE	TOTAL DUE	DUE DATE	TERMS	ENCLOSED
23078	07/21/2021	\$2,300.00	08/20/2021	Net 30	

DESCRIPTION	QTY	RATE	AMOUNT
7/20/2021 Expose existing septic tank Pump Dry, crush & fill with stone Follow line from after tank to absorption system Drywell will be exposed, pumped dry, crushed & filled with stone All inspections and/or reports coordinated with county accordingly Backfill Disturbed septic area	1	2,300.00	2,300.00

Thank you for your business!  
SAMS CREEK  
443-821-4932  
office.samscreek@gmail.com

BALANCE DUE

**\$2,300.00**

## Rappaport, Ryan

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**From:** Sams Creek <sams.creek@aol.com>  
**Sent:** Tuesday, July 20, 2021 4:47 PM  
**To:** Rappaport, Ryan  
**Cc:** cary@vikingcustomhomes.com  
**Subject:** Re: 7154 Guildford Road Clarksville  
**Attachments:** 23078.pdf

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

Hi Ryan-

Please see the attached invoice & photos for the septic system abandonment.

Please let me know if you need anything else at all.











Thanks,  
jessica

## Sams Creek

Phone # (443) 821-4932  
email: [sams.creek@aol.com](mailto:sams.creek@aol.com)  
[www.samscreeksc.com](http://www.samscreeksc.com)

**\*\*\*PLEASE SEND ALL INVOICES TO APSAMSCREEK@GMAIL.COM\*\*\***

-----Original Message-----

From: Rappaport, Ryan <[RRappaport@howardcountymd.gov](mailto:RRappaport@howardcountymd.gov)>  
To: Sams Creek <[sams.creek@aol.com](mailto:sams.creek@aol.com)>  
Cc: cary@vikingcustomhomes.com <[cary@vikingcustomhomes.com](mailto:cary@vikingcustomhomes.com)>  
Sent: Wed, Jul 14, 2021 7:41 am  
Subject: RE: 7154 Guildford Road Clarksville

No problem at all Jessica. Below is the email that I sent to your client. Please read through it and if you have any further questions please let me know.

**From:** Rappaport, Ryan <[RRappaport@howardcountymd.gov](mailto:RRappaport@howardcountymd.gov)>  
**Sent:** Tuesday, April 20, 2021 8:52 AM

To: [cary@vikingcustomhomes.com](mailto:cary@vikingcustomhomes.com)

Subject: DEMO - 7154 Guilford Rd

Hello, Mr. Cumberland, Thank you for returning my call. I had an opportunity to talk to Spencer and got a clearer picture of what's happened so far on the property. There are a few requirements I'll need you to satisfy before the Health Dept can release the approval for the demo. Items are listed below.

1. Proper abandonment of the onsite septic system includes having a sewage hauler pump out all the components of the septic system (septic tank and drywell – if that's the dispersal method – if it's trenches there's no specific abandonment requirement). Have an appropriate contractor crush and fill in (with stone or clean fill dirt) all components (septic tank and drywell) or you can have the septic tank removed from the site as hazardous waste, whichever is fine. Please provide me with a detailed invoice stating that this work was completed. Pictures are always helpful for the record.
2. Have a well driller disconnect the well line from the house and seal and protect the well line or pitless adapter from contaminants and then provide a barrier (snow fencing would work) around the well casing. Please send this detailed invoice to me as well for the Health Dept record. Pics helpful as well.
3. Once I receive these items, I'll conduct a reinspection and if everything looks good you'll get the demo release letter to present to DILP for the permit.

*Ryan Rappaport, LEHS*  
Howard County Health Department  
Bureau of Environmental Health  
8930 Stanford Blvd.  
Columbia, MD. 21045  
Phone 410-313-1781  
Fax 410-313-2648  
[rrappaport@howardcountymd.gov](mailto:rrappaport@howardcountymd.gov)  
[www.co.ho.md.us](http://www.co.ho.md.us)

**From:** Sams Creek <[sams.creek@aol.com](mailto:sams.creek@aol.com)>

**Sent:** Tuesday, July 13, 2021 10:33 AM

**To:** Rappaport, Ryan <[RRappaport@howardcountymd.gov](mailto:RRappaport@howardcountymd.gov)>; Sams Creek <[sams.creek@aol.com](mailto:sams.creek@aol.com)>

**Subject:** 7154 Guildford Road Clarksville

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

Good Morning Ryan-

Cary Cumberland with Viking custom homes reached out to have us abandon the septic at 7154 Guilford Road.

He mentioned you being the project contact thus far. Just wanted to confirm exactly what you needed done before scheduling.

Do you want to coordinate someone being on sight? Do a pre construction? Does anything else need to be done before starting?

Sorry for all the questions, just wanted to confirm or deny if we were good to start.

Thanks,  
jessica

**Sams Creek**

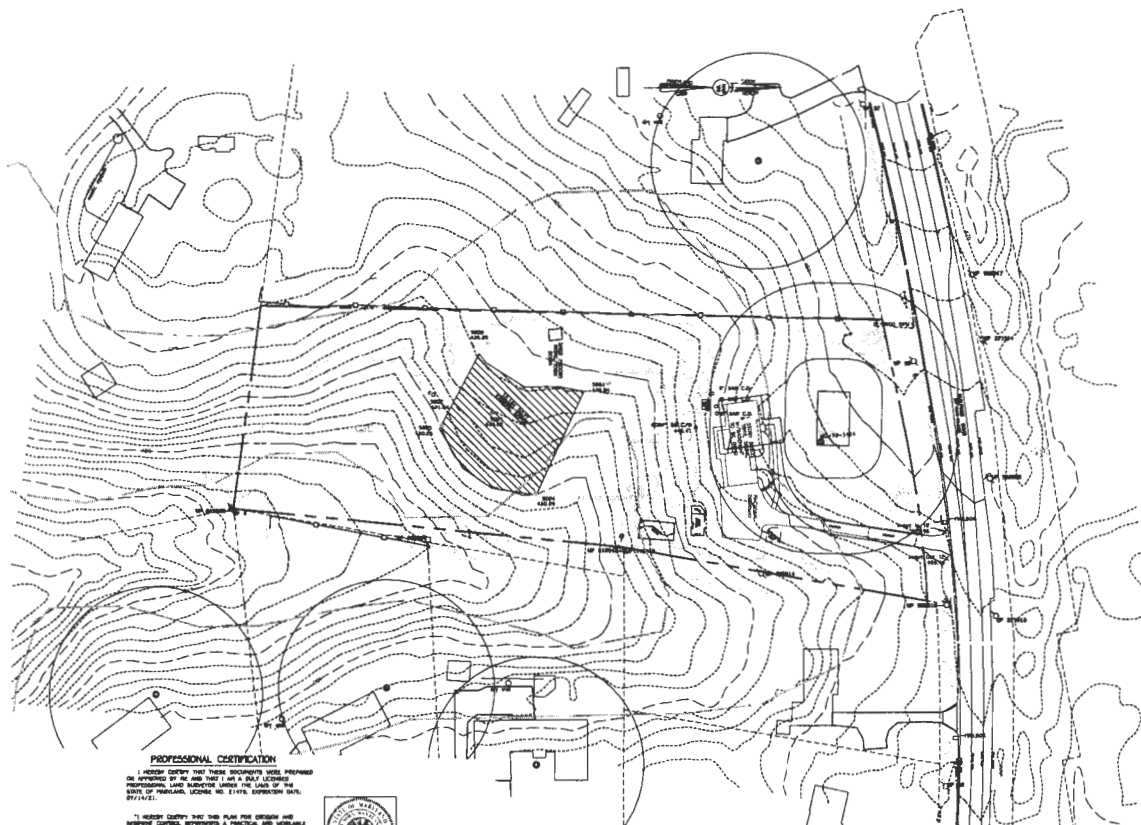
Phone # (443) 821-4932

**SOILS LEGEND**

NO.	SYMBOL	CLASS	THICKNESS
1	(Symbol)	Class 1	1" - 2"
2	(Symbol)	Class 2	2" - 4"
3	(Symbol)	Class 3	4" - 8"



VICINITY MAP  
SCALE: 1" = 100'



**PROFESSIONAL CERTIFICATION**

I, ROBERT COOPER, being duly sworn, depose and say that the above described site plan was prepared by me and that I am a duly licensed Professional Land Surveyor under the laws of the State of Maryland, License No. 17178, Commission Date 07/11/21.

I, ROBERT COOPER, being duly sworn, depose and say that I am a duly licensed Professional Engineer under the laws of the State of Maryland, License No. 17178, Commission Date 07/11/21.



**ROBERT COOPER & PARTNERS, INC.**  
Professional Land Surveyors  
1100 W. BELT ROAD, SUITE 100  
BETHESDA, MD 20814  
TEL: 301-461-1100

DATE: JAN 2024

SIMPLIFIED ENVIRONMENTAL  
CONCEPT PLAN  
**CLARKSVILLE MEADOWS**  
LOT B  
7154 GUILFORD ROAD

**OWNER/BUILDER**  
JESSE T. COOPER  
1100 W. BELT ROAD  
BETHESDA, MD 20814

ZONED: RM-1600 PLAT NO.: 3799  
100' WIDE ROAD 30' SIDE SETBACK  
10' ELECTION DISTRICT HOWARD COUNTY, MARYLAND  
SCALE: AS SHOWN DATE: FEBRUARY 22, 2024  
SHEET OF 2