

PERMIT NUMBER: B

21002996

DATE ACCEPTED:



RESIDENTIAL BUILDING PERMIT APPLICATION

HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES, AND PERMITS

3430 COURT HOUSE DRIVE, ELLICOTT CITY, MD 21043 - PHONE: (410) 313-2455 OPTION #4

www.howardcountymd.gov

BUILDING SITE ADDRESS REQUIRED

Street Address: 1819 DAVIS BRANCH ROAD		Unit:
City: WOODSTOCK	State: MD	Zip Code: 21163
Subdivision/Village/Complex Name: PRESERVE AT MARRIOTT'S RIDGE		SDP/WP/BA #:
Lot: MRs 007	Tax Map:	Parcel:
		Grading Permit #:

DESCRIPTION OF WORK REQUIRED

Existing Use: UNFINISHED BASEMENT Proposed Use: FINISHED BASEMENT Partial Estimated Cost: \$ 40,000

Trade Work to Be Completed (Separate Permits Required): Mechanical (HVACR) Electrical Plumbing None

Finished basement to include full bathroom, existing windows, unfinished mechanical rooms, unfinished storage approximately 1200 sq feet deck second story 16Wx20L with wood steps

PROPERTY OWNER INFORMATION REQUIRED

Owner(s) Name(s) (As it appears on tax records): EUGENE W. CUNNINGHAM, JR		Primary Residence: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Owner's Street Address: 1819 DAVIS BRANCH ROAD		
City: WOODSTOCK	State: MD	Zip Code: 21163
Phone: 410-790-5417	Email: ecunningham@rmmr.com	

APPLICANT NAME REQUIRED - INDIVIDUAL WHO SIGNS THIS APPLICATION

Business Name: HOMEOWNER	Contact Name: EUGENE CUNNINGHAM JR
Street Address: 1819 DAVIS BRANCH ROAD	
City: WOODSTOCK OR (410) 790-5417	State: MD
Phone: 410-960-4764	Email: ecunningham@rmmr.com

CONTRACTOR INFORMATION REQUIRED

Business Name: HOMEOWNER	
Licensee's Name:	License #:
Street Address:	
City:	State:
Phone: 410-790-5417	Email: ecunningham@rmmr.com

ARCHITECT/ENGINEER INFORMATION INDIVIDUAL WHO SIGNED PLANS, IF APPLICABLE

Business Name:	Name:
Street Address:	
City:	State:
Phone:	Email:

BUILDING CHARACTERISTICS REQUIRED

Primary Structure: <input checked="" type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse <input type="checkbox"/> SF Duplex <input type="checkbox"/> Mobile Home <input type="checkbox"/> Multi-Family Dwelling (MF*)	Condo: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Utilities: <input checked="" type="checkbox"/> Electric <input checked="" type="checkbox"/> Gas	Water Supply: <input type="checkbox"/> Public <input checked="" type="checkbox"/> Private (Well)
Heating System: <input type="checkbox"/> Electric <input type="checkbox"/> Natural Gas <input checked="" type="checkbox"/> Propane <input type="checkbox"/> Other:	Roadside Tree Project: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes: #
Sprinkler System: <input type="checkbox"/> NFPA 13 <input type="checkbox"/> NFPA 13R <input checked="" type="checkbox"/> NFPA 13D <input type="checkbox"/> None	Fire Alarm System: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Voice Evac

ADDITIONAL RESIDENTIAL INFORMATION (PLEASE SELECT/COMPLETE ALL THAT APPLY)

Model Name & Options: NOTTINGHAM				
# of Bedrooms (SF): 4	# of efficiency units (MF*):	# of 1 BR (MF*):	# of 2 BR (MF*):	# of 3 BR (MF*):
# Rooms:	# Full Baths: 3	# Half Baths: 1	# Fireplaces: 1	
Garage/Carport Info: <input checked="" type="checkbox"/> Attached Garage <input type="checkbox"/> Detached Garage <input type="checkbox"/> Integral Garage <input type="checkbox"/> Carport <input type="checkbox"/> None				
Basement/Foundation Info: <input checked="" type="checkbox"/> Slab on Grade <input type="checkbox"/> Post & Pier <input checked="" type="checkbox"/> Unfinished Basement <input type="checkbox"/> Finished Basement: <input type="checkbox"/> Full or <input type="checkbox"/> Partial				
1 st Fl Width:	1 st Fl Depth:	2 nd Fl Width:	2 nd Fl Depth:	Bsmt Width: Bsmt Depth:
Energy Method: <input type="checkbox"/> Prescriptive <input type="checkbox"/> Performance <input type="checkbox"/> UA Alternative <input type="checkbox"/> ERI		Gross Area: sq ft	Occupiable Area: sq ft	

AGREEMENT/ DISCALIMER REQUIRED

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

[Signature]

8-2-21

APPLICANT'S ORIGINAL SIGNATURE

DATE SIGNED

FOR OFFICE USE ONLY

CHECKS PAYABLE TO: DIRECTOR OF FINANCE OF HOWARD COUNTY

AGENCIES REQUIRED/APPROVALS:				
<input checked="" type="checkbox"/> PR	<input checked="" type="checkbox"/> DPZ	<input type="checkbox"/> JCD	<input checked="" type="checkbox"/> Health 9/9/2021 RJE	<input type="checkbox"/> SHA <input type="checkbox"/> CID
SUBMITTAL FEES: \$135.00		PAYMENT: 300	ACCEPTED BY: <i>[Signature]</i>	

Approved 6/27/2024
RMC

Menu Save Reset Cancel Help

Record Detail * (This section is required.)

Permit Type	Permit Number	Opened Date
Building/Residential/Misc/Porch	B24002265	06/17/2024

Description of Work

SFD/ CONSTRUCT SHED ROOF OVER EXISTING 20 X 16 DECK. ADD 18 X 10 OPEN DECK

Online BP.
6/21/24

[check spelling](#)

Address * (This section is required.)

Search Reset Clear Get Parcel & Owner

Street #	Street Name	Street Type	
1819	DAVIS BRANCH	RD	
Unit Type	Unit #	X Coordinate	Y Coordinate
--Select--		-76.87201	39.31965
City	State	Zip Code	Primary
WOODSTOCK	MD	21163	Yes

Parcel * (This section is required.)

Search Reset Clear Get Address & Owner

GIS ID *	Parcel	Parcel Area	Land Value	Improved Value	Exemption Value	Plan Area
930156	225,287	1.07	221900	1010500	788600	RURAL

Legal Description

IMPSLOT 7 1.073 A[]1819 DAVIS BRANCH ROAD[]MYRTUE PROPERTY INCL RSB

[check spelling](#)

Block	Lot	Census Tract	Council Dist	Inspection Dist	Supervisor Dist	Map #	DAP Zone
	7	603000	5	6			
Plan Area	State Tax Id	Subdivision Name					
	1403352390	Myrtue Property					
Section	Area	Tax Map					
		11					
Grid	Zoning District	ADC Map					
11-19	RC-DEO	4695-A9					
SDP No.	Final Plan No.	WP File No.					
	F-06-104						
Record Plat No.	WS Contract No.	FDP No.	Primary				
19961-1996			Yes				
Owner Occupied	Year Built	Historic District					
<input type="radio"/> Yes <input type="radio"/> No	2021	<input checked="" type="radio"/> Yes <input type="radio"/> No					
Historic District Registry No.	Stat Area	Flood Plain					
	3-02A	<input type="radio"/> Yes <input checked="" type="radio"/> No					
Building No							

Owner * (This section is required.)

Search Reset Clear

Name *
KANDI

Address Line 1
1819 DAVIS BRANCH RD
Address Line 2

Address Line 3

Mail City
WOODSTOCK
Mail State
MD
Mail Zip Code
21163
Phone
443-909-6119
Primary
Yes
E-mail

Cell Number **Fax Number**

Professionals (This section is not required.)

License # 08010095285	Business Name TIMELESS CONSTRUCTION				
License Type MHIC Ind	First Name DAVID	Middle Name	Last Name BENFER		
Primary Yes	Address Line 1 5364 HESPERUS DRIVE				
	Address Line 2				
	City COLUMBIA		State MD	ZIP Code 21044-0000	
	Phone 1 3016743604	Phone 2	Fax 4432838022		
	E-mail DCBENFER@GMAIL.COM				

Applicant (This section is not required.)

Search **As Owner** **As Lic. Prof** **As Contact**

Type Applicant	First Name DAVID	MI	Last Name BENFER		
Relationship Applicant	Full Name DAVID BENFER				
Primary Yes	Organization Name TIMELESS CONSTRUCTION				
	Street Address 5364 HESPERUS DRIVE				
	Address Line 2				
	City COLUMBIA		State MD	Zip Code 21044-0000	
	Phone 3016743604	Cell	Fax 4432838022		
	E-mail DCBENFER@GMAIL.COM				

Addtl Info

Est Construction Cost 12000	Housing Units 0	Number of Buildings 0	Public Owned No	
Construction Type 434 - Additions, Alterations and Conversions - Residential				

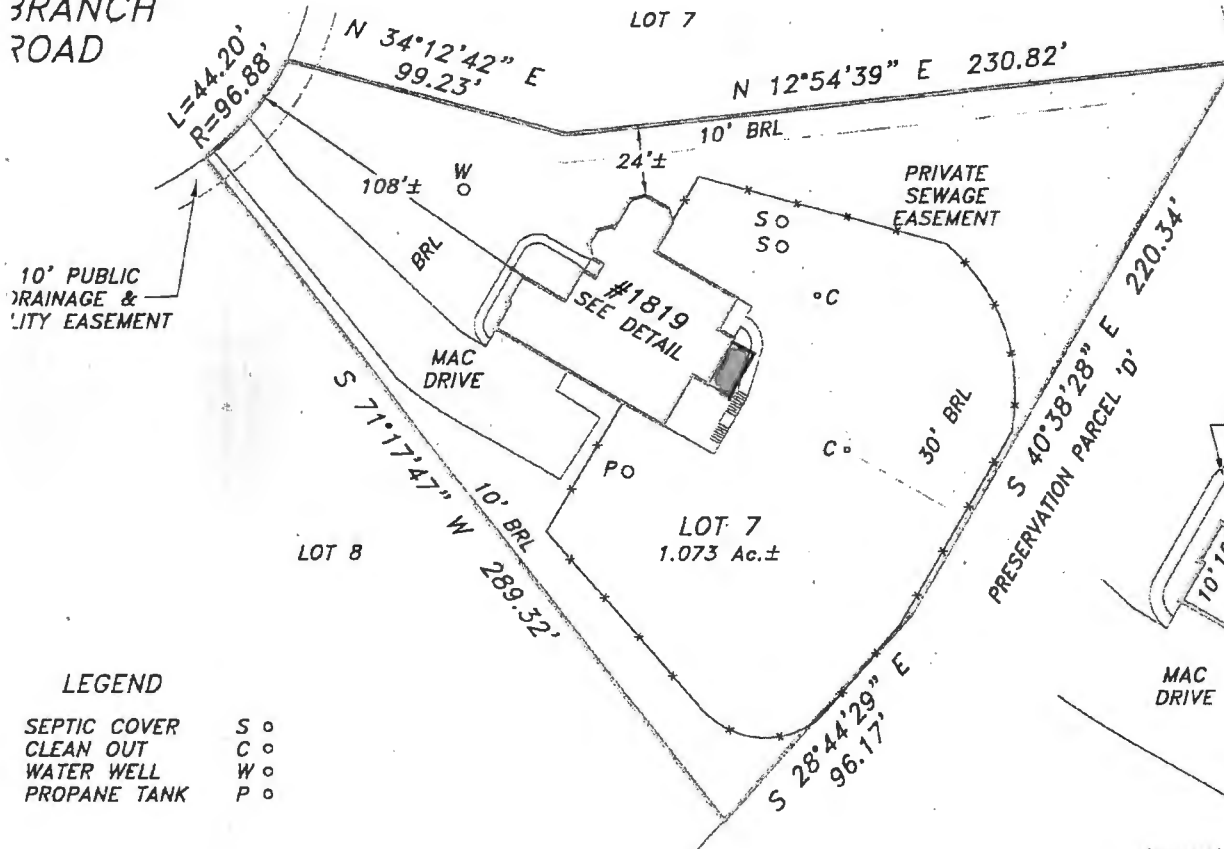
PORCH INFORMATION

PORCH INFORMATION

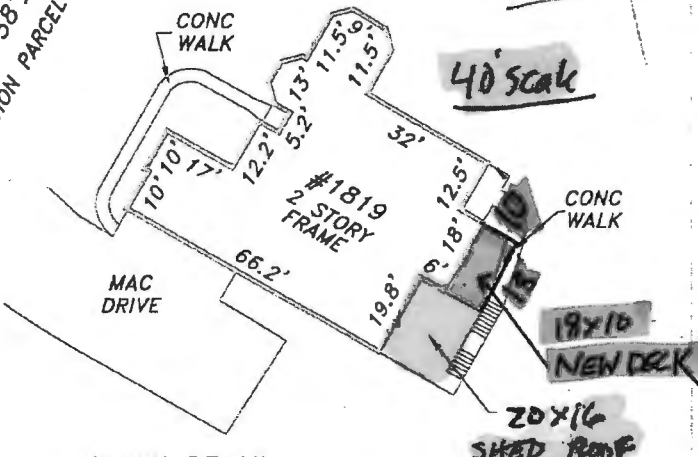
Capital Project-No Fee <input type="radio"/> Yes <input checked="" type="radio"/> No	Capital Project Number (Text)	Fee Exempt <input type="radio"/> Yes <input checked="" type="radio"/> No	Roadside Tree Project Permit <input type="radio"/> Yes <input checked="" type="radio"/> No	Roadside Tree Project Permit # (Text)
Existing Use SFD	Type of Porch Open Porch	Type of Porch Foundation Existing Deck	Total Square Footage 320	SQFT (Number)
Water Supply Private	Sewage Disposal Private	Expiration Date 12/15/2024		

Submit **Cancel**

DAVIS
BRANCH
ROAD



Handwritten notes:
 40' scale
 18x10 NEW DECK
 20x16 SHED ROOF



HOUSE DETAIL
NOT TO SCALE

- LEGEND**
- SEPTIC COVER S ○
 - CLEAN OUT C ○
 - WATER WELL W ○
 - PROPANE TANK P ○

- 1) THE FENCE APPEARS TO LIE AT, NEAR, OR OVER THE PROPERTY LINE.
- 2) THE FENCE APPEARS TO LIE WITHIN THE PRIVATE SEWAGE EASEMENT.

purpose of this drawing is to locate, describe, and represent the positions of buildings and substantial improvements affecting the party shown hereon, being known as:

LOT 7 as shown on the plat entitled "MYRTUE PROPERTY"

recorded among the land records of Howard County, Maryland in Number 23865

I do hereby certify that I either personally prepared or was in responsible charge of the preparation of this drawing and the surveying work reflected in it, in accordance with the provisions of the Code of Maryland Annotated Regulations.

This page is page one of a two page document. The advice found on the affixed seal is an integral part of this drawing, and is not valid without all pages.

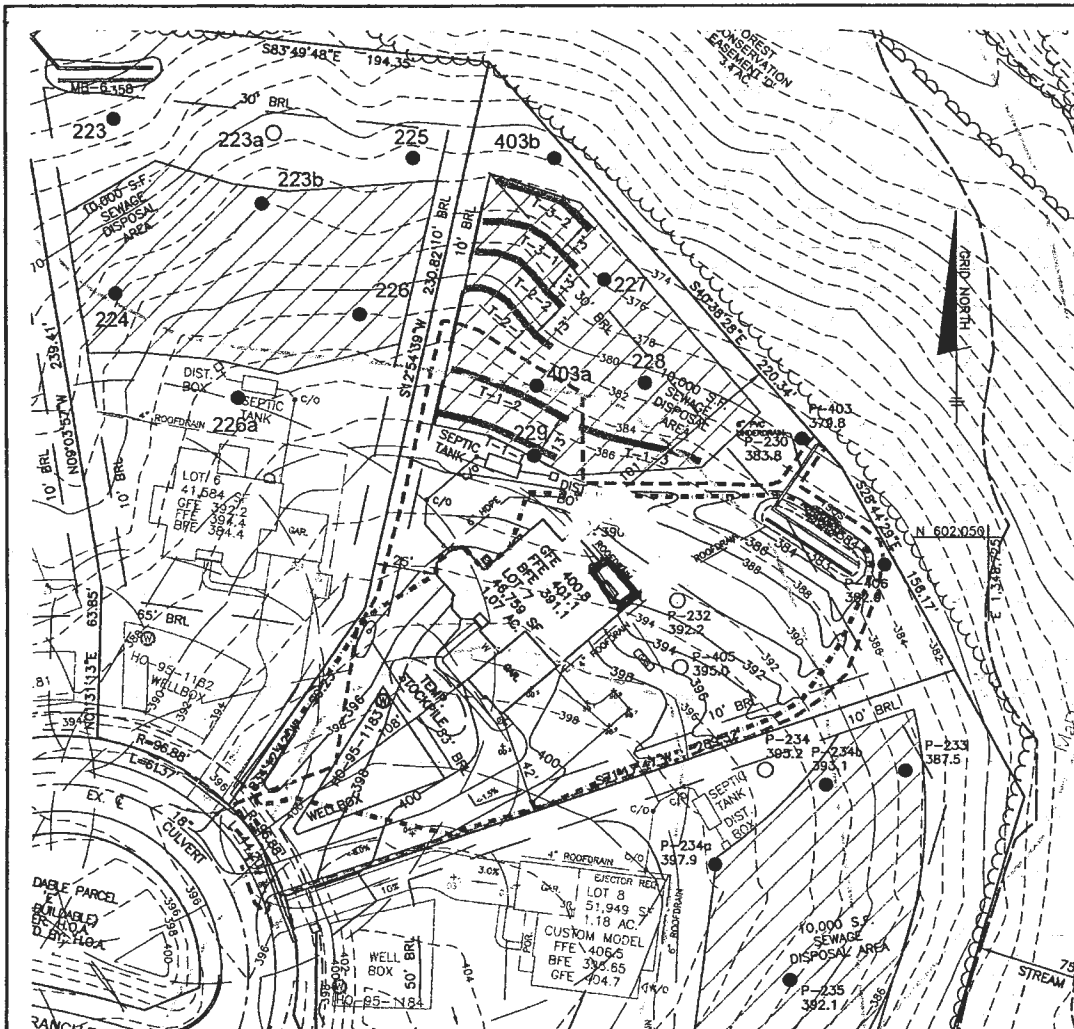


James Carl Hudgins
Property Line Surveyor #96
Expiration Date: 3/11/2024

LOCATION DRAWING
 1819 DAVIS BRANCH ROAD
 3rd ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND

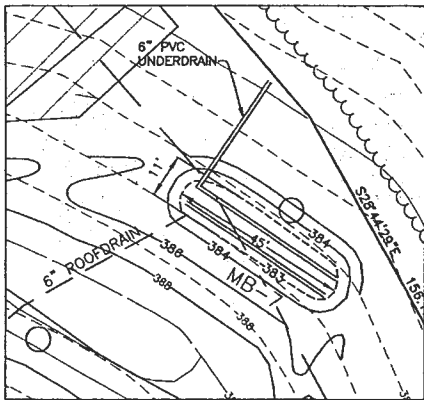
NTT Associates, Inc.
 16205 Old Frederick Rd.
 Mt. Airy, Maryland 21771
 Phone: (410) 442-2031
 Fax: (410) 442-1315
 www.nttsurveyors.com

Scale:	1" = 60'
Date:	7/12/2023
Field By:	CB/KSW
Drawn By:	SCK
File No.:	231301-P
Page No.:	1 of 2



PLAN VIEW
1" = 50'

- LEGEND**
- 400 PROPOSED CONTOURS
 - 398 EXISTING CONTOURS
 - EXISTING PRIVATE SEWAGE AREA
 - PROPOSED PRIVATE SEWAGE AREA
 - EXISTING WELL BOX
 - PROPOSED TREELINE
 - EXISTING TREELINE
 - SOILS MAP SYMBOL
 - SOILS DELINEATION LINE
 - PERC TEST PASSED
 - PERC TEST FAILED

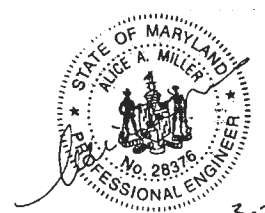


MB-7 DETAIL
1" = 30'

GENERAL NOTES

1. THE LOT SHOWN HEREON WAS RECORDED ON THE PLAN FOR THE MYRTUE PROPERTY, PLAT No. 23865. REFER TO THE PLATS FOR LOT DIMENSIONS, LOT AREAS, ALL EASEMENTS AND CONDITIONS.
2. SEDIMENT AND EROSION CONTROLS WERE APPROVED BY HOWARD SOIL CONSERVATION DISTRICT UNDER GP-20-45.
3. TOPOGRAPHY SHOWN HEREON IS TAKEN FROM THE APPROVED ROAD CONSTRUCTION PLANS F-06-104, PREPARED BY DAFT, McCUNE WALKER, INC. SEPT. 2007 AND REVISED BY BENCHMARK ENGINEERING, INC., DEC. 2015.
4. ALL SEDIMENT AND EROSION CONTROL FEATURES USED ON THIS SITE SHALL COMPLY WITH THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.
5. ALL DRAINAGE AND STORMWATER MANAGEMENT FEATURES USED ON THIS SITE MUST COMPLY WITH THE APPROVED ROAD CONSTRUCTION PLANS EXCEPT AS NOTED.
6. THE EXISTING WELL SHOWN ON THIS PLAN, HO-95-1183, HAS BEEN FIELD LOCATED BY BENCHMARK ENGINEERING, INC., AND IS ACCURATELY SHOWN.
7. THERE ARE NO EXISTING WELLS OR SEPTIC SYSTEMS WITHIN 100' OF THIS PROJECT'S BOUNDARY EXCEPT AS NOTED.
8. ANY CHANGES TO A PRIVATE SEWAGE DISPOSAL AREA OR WELL BOX SHALL REQUIRE A REVISED PERCOLATION CERTIFICATION PLAN.
9. STORMWATER MANAGEMENT FOR THIS LOT IS PROVIDED BY ONE MICRO-BIORETENTION FACILITY (MDS M-6).
10. RAINWATER SHALL BE CONVEYED TO THE MICRO-BIORETENTION WITH 4" OR 6" ROOF LEADERS, AS SHOWN.
11. BOLLARDS ARE REQUIRED FOR THE PROTECTION OF ANY WELL THAT MAY BE INSTALLED WITHIN 10' OF THE DRIVEWAY.

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland. License No. 28376, Expiration Date: 01/01/2021.



3-25-24

ESD STORMWATER MANAGEMENT SUMMARY TABLE

Pe = 1.60	Qe = 0.18	ESDv = 794	Rv = 0.32		
inches	inches	cf			
DA to practice	Imp Area to practice	Af (S.F.)		ESDv	Rev (AC)
Required	Provided	Required	Provided	Pe Provided	Required
2%	2%	2%	2%	2%	2%
DA? PASS	596	626	1.7	198.51	137.10
Ownership	Private				
Depth of Stone:					9 Inches

OWNER/BUILDER:
KEYSTONE CUSTOM HOMES, INC.
227 GRANITE RUN DR.
SUITE 100
LANCASTER, PA 17601
717-464-9060

PROJECT: MYRTUE PROPERTY
LOT 7

LOCATION: TAX MAP: 10, GRID: 24, PARCEL: 225 ZONED: 1819 DAVIS BRANCH ROAD
6TH ELECTION DISTRICT, HOWARD COUNTY, MD, TAX ID #352404

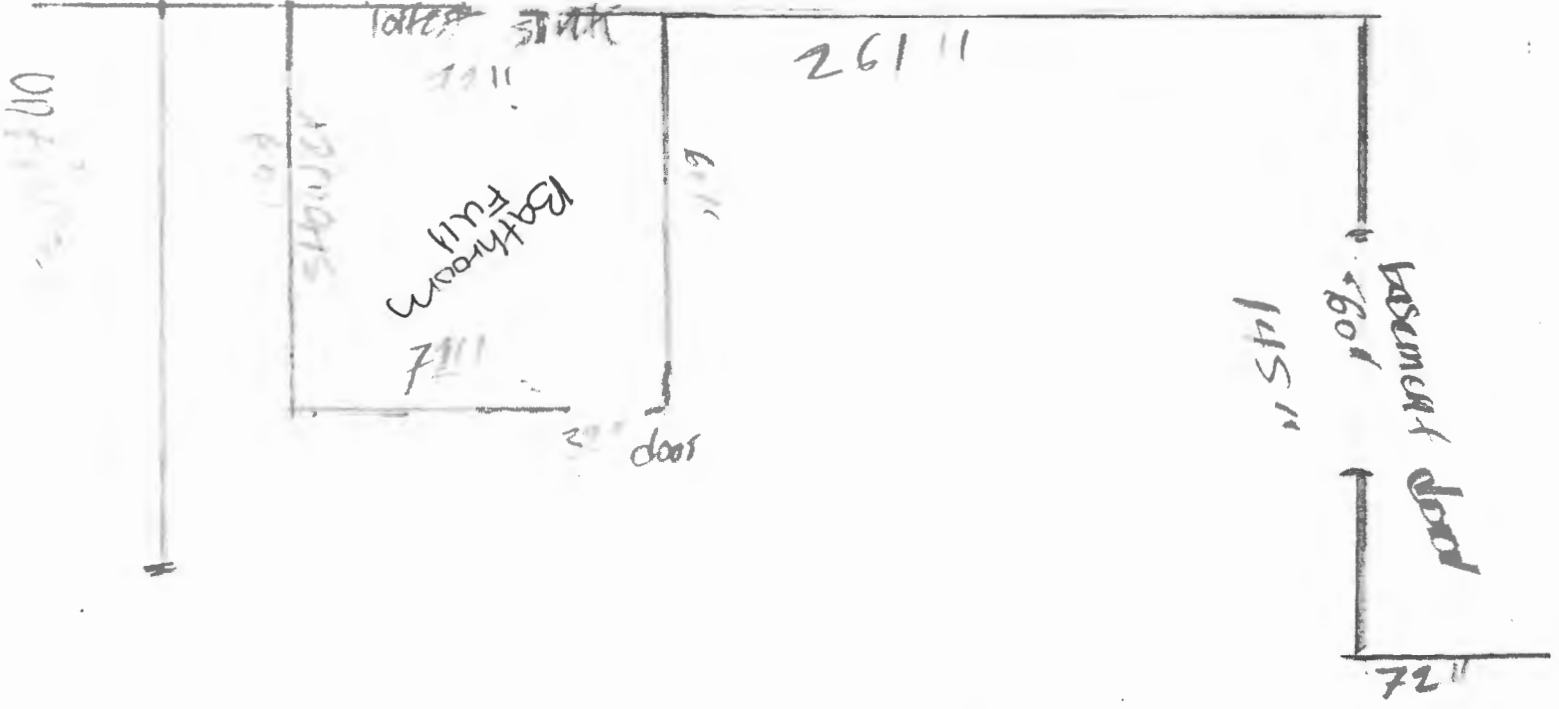
BENCHMARK
ENGINEERS & LAND SURVEYORS & PLANNERS
ENGINEERING, INC.
8480 BALTIMORE NATIONAL PIKE SUITE 315
ELLCOTT CITY, MARYLAND 21043
(P) 410-485-6105 A (F) 410-485-8844
WWW.BE-CMLEENGINEERING.COM

TITLE: BUILDING PERMIT PLAN

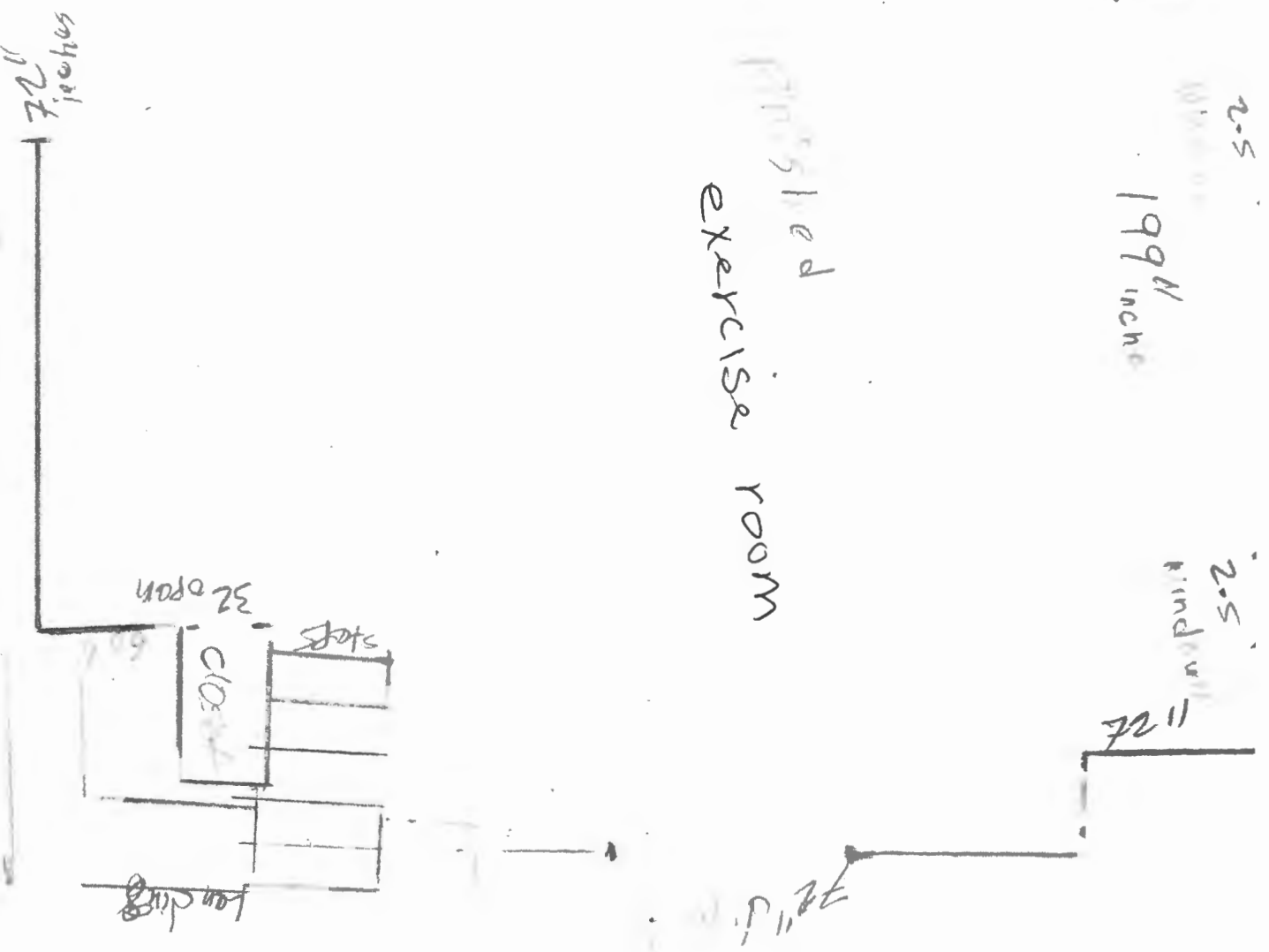
HOUSE TYPE: CUSTOM - KEYSTONE HOMES

DATE: MARCH, 2020 **PROJECT NO.:** 2099

SCALE: AS SHOWN **DRAWING 1 OF 2**

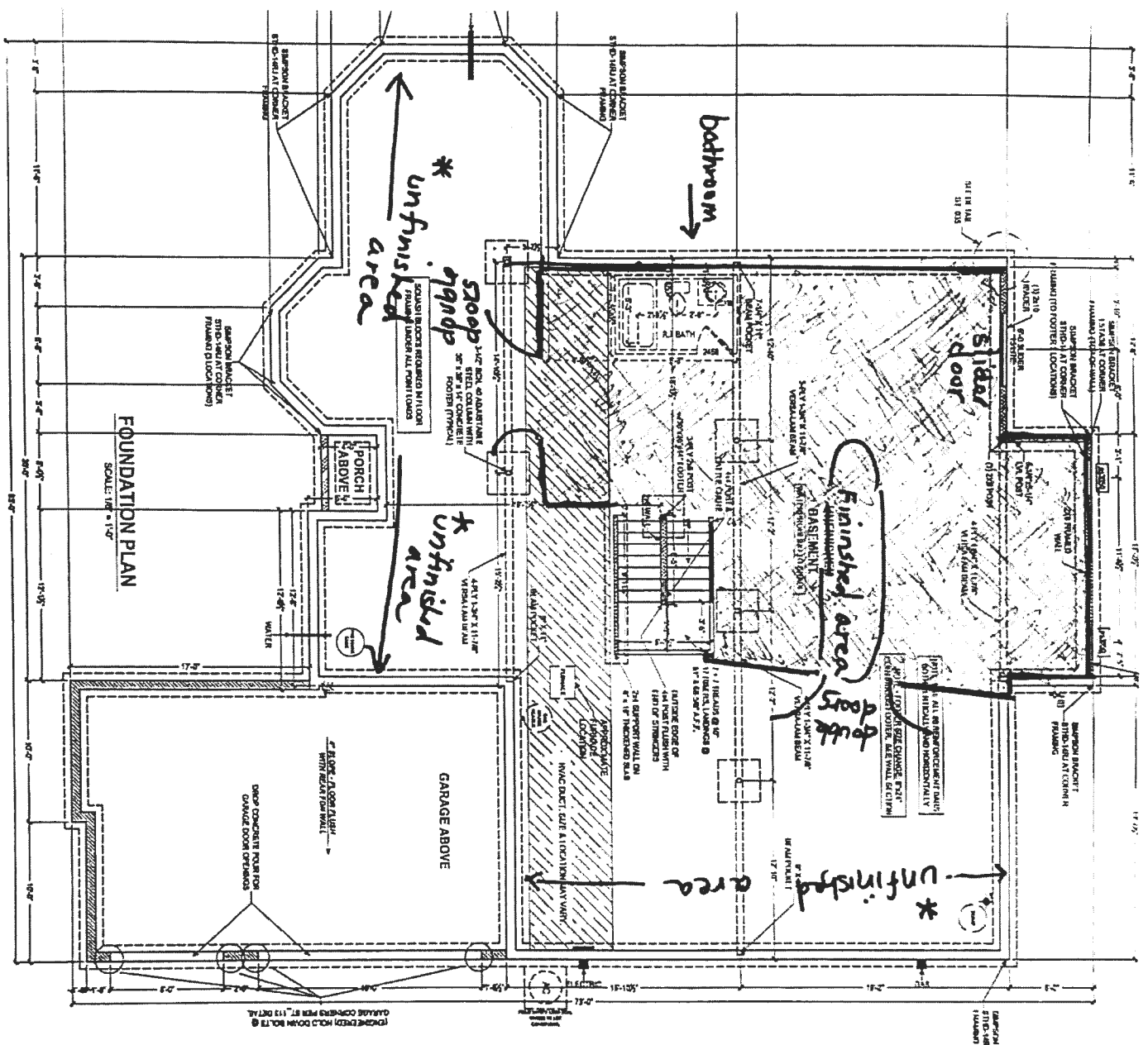


finished
exercise room



UNFINISHED
Attic

Attic



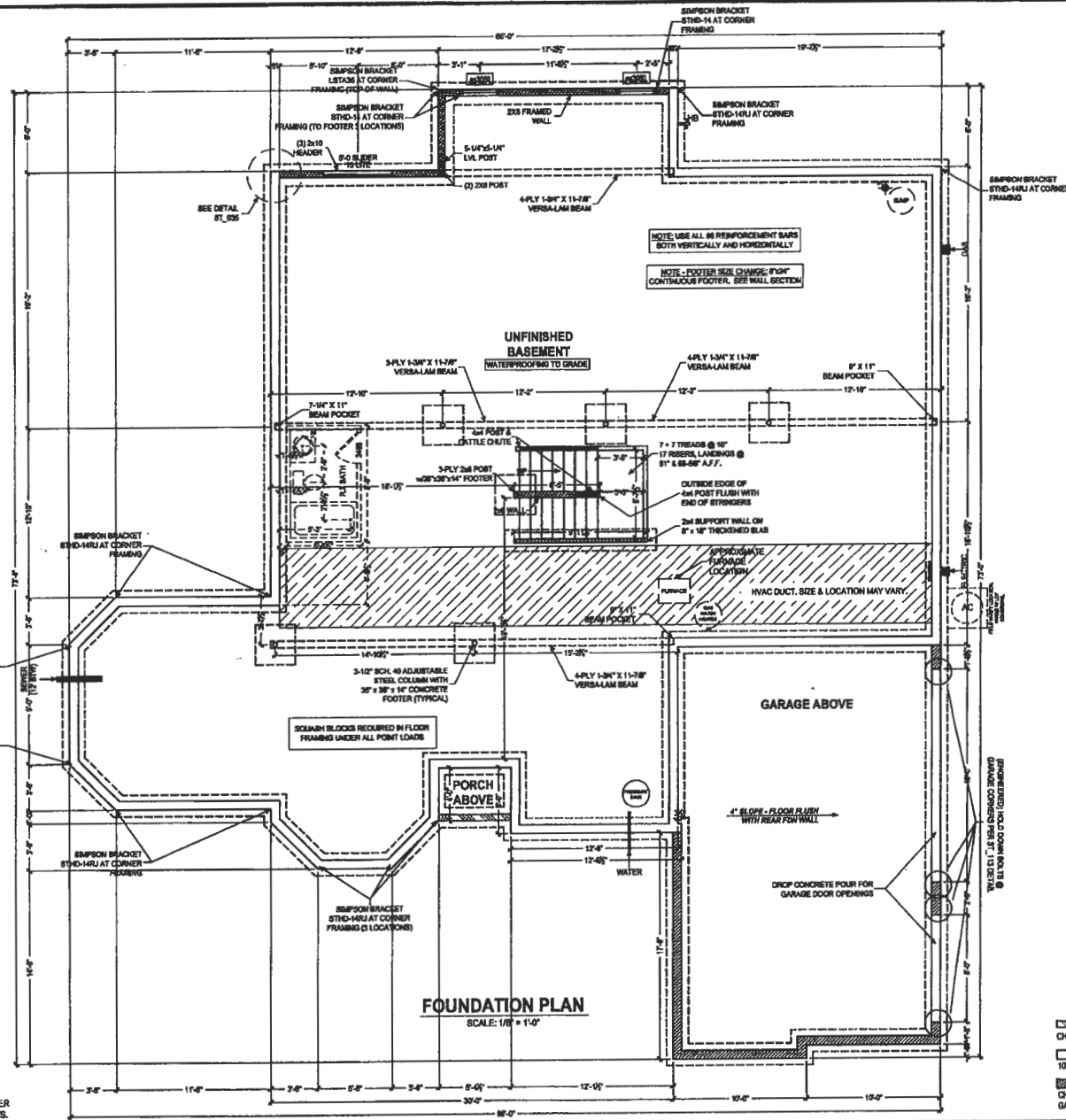
Eugene Cunningham
 1819 Davis Brand Rd
 Woodstock 21163
 MD

Finished area
 Unfinished area

8" THICK POURED CONCRETE WALLS
 CHECK P.O.D. FOR WALL HEIGHT OR FRONT PORCH WALLS
 10'-0" HIGH MAIN HOUSE WALLS STANDARD
 CHECK P.O.D. FOR WALL HEIGHT OR CHAM. SPACE AND GARAGE WALLS

P1.2 an h 10	DRAWN BY: EWEAVER	SHEET DESCRIPTION: FOUNDATION PLAN MODEL: MRs007 CUNNINGHAM	<p> KEYSTONE CUSTOM HOMES 222 GRANITE RUN DRIVE, SUITE 102, LANCASTER, PA 17601 PHONE: (717) 464-8082 • FAX: (717) 735-2034 • KeystoneCustomHomes.com </p>
	DATE: DEC 5 2019 SCALE: AS NOTED PROJECT: P1.2	CHECKED BY: EWEAVER	FOUNDATION PLAN MODEL: MRs007 CUNNINGHAM

NOTE TO HOMEOWNER(S):
 LOCATIONS SHOWN FOR HVAC, PLUMBING, AND OTHER MECHANICAL
 ITEMS WILL BE USED IF POSSIBLE. ACTUAL PLACEMENT OF FURNACE, WATER
 HEATER, SUMP PIT, ETC. MAY VARY DUE TO INDIVIDUAL SITE REQUIREMENTS.



FOUNDATION PLAN
 SCALE: 1/8" = 1'-0"

= 6" THICK POURED CONCRETE WALLS
 CHECK P.D. FOR WALL HEIGHT OF FRONT PORCH WALLS
 = 8" THICK POURED CONCRETE WALLS
 10'-0" HIGH MAIN HOUSE WALLS STANDARD
 = 6" THICK POURED CONCRETE WALLS
 CHECK P.D. FOR WALL HEIGHT OF CRAWL SPACE AND
 GARAGE WALLS

The information shown on this drawing is the property of the design professional and is not to be used for any other project without the written consent of the design professional. The design professional is not responsible for any errors or omissions on this drawing. The design professional is not responsible for any construction methods or materials used in the construction of the project. The design professional is not responsible for any conditions or circumstances that may arise during the construction of the project.

KEYSTONE CUSTOM HOMES
 227 GRANITE RUN DRIVE, SUITE 100, LANCASTER, PA, 17601
 PHONE: (717) 464-4000 • FAX: (717) 706-5204 • www.keystonecustomhomes.com

FOUNDATION PLAN
 MODEL: MRS007
 CUNNINGHAM

ISSUED: DEC 5 2019
 SCALE: AS NOTED
 DRAWN BY: EWEAVER

SHEET NO.
P1.2
 PLAN ID:
 anh10

PERMIT NUMBER: B2120589

DATE ACCEPTED:



RESIDENTIAL BUILDING PERMIT APPLICATION

HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES, AND PERMITS
3430 COURT HOUSE DRIVE, ELLICOTT CITY, MD 21043 - PHONE: (410) 313-2455 OPTION #4
www.howardcountymd.gov

BUILDING SITE ADDRESS REQUIRED

Street Address: 1819 Davis Branch Road			
City: Woodstock	State: MD	Unit:	Zip Code: 21163
Subdivision/Village/Complex Name:		SDP/WP/BA #:	
Lot:	Tax Map:	Parcel:	Grading Permit #:

DESCRIPTION OF WORK REQUIRED

Existing Use:	Proposed Use: Install Inground Fiberglass Pool	Estimated Cost: \$92.00
Trade Work to Be Completed (Separate Permits Required): <input type="checkbox"/> Mechanical (HVACR) <input type="checkbox"/> Electrical <input type="checkbox"/> Plumbing <input type="checkbox"/> None		
INSTALL A 40' X 16' INGROUND FIBERGLASS SWIMMING POOL, DEPTH, 6'4"		
Fence will be installed to code by another contractor, Licensed Electrician and Plumber to file permits for their work.		

PROPERTY OWNER INFORMATION REQUIRED

Owner(s) Name(s) (As it appears on tax records): CUNNINGHAM EUGENE W JR TRUSTEE		Primary Residence: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Owner's Street Address: 1819 DAVIS BRANCH RD		
City: WOODSTOCK	State: MD	Zip Code: 21163
Phone: (410) 790-5417	Email: ecunningham@rmmr.com	

APPLICANT NAME REQUIRED - INDIVIDUAL WHO SIGNS THIS APPLICATION

Business Name: Estrada Painting LLC		Contact Name: Edin Estrada
Street Address: 5706 Emory Rd.		
City: Upperco	State: MD	Zip Code: 21155
Phone: (410) 375-7329	Email: greenberrypools@gmail.com	

CONTRACTOR INFORMATION REQUIRED

Business Name: Estrada Painting LLC	
Licensee's Name: Edin Estrada	License #: 110263
Street Address: 5706 Emory Rd.	
City: Upperco	State: MD
Phone: (410) 375-7329	Email: greenberrypools@gmail.com

ARCHITECT/ENGINEER INFORMATION INDIVIDUAL WHO SIGNED PLANS, IF APPLICABLE

Business Name:	Name:
Street Address:	
City:	State:
Phone:	Email:

BUILDING CHARACTERISTICS REQUIRED

Primary Structure: <input checked="" type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse <input type="checkbox"/> SF Duplex <input type="checkbox"/> Mobile Home <input type="checkbox"/> Multi-Family Dwelling (MF*)	Condo: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Utilities: <input checked="" type="checkbox"/> Electric <input type="checkbox"/> Gas	Water Supply: <input type="checkbox"/> Public <input checked="" type="checkbox"/> Private (Well)
Sewage Disposal: <input type="checkbox"/> Public <input checked="" type="checkbox"/> Private (Septic)	
Heating System: <input type="checkbox"/> Electric <input type="checkbox"/> Natural Gas <input checked="" type="checkbox"/> Propane <input type="checkbox"/> Other:	Roadside Tree Project: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes: #
Fire Sprinkler System: <input type="checkbox"/> NFPA 13 <input type="checkbox"/> NFPA 13R <input type="checkbox"/> NFPA 13D <input type="checkbox"/> None	Fire Alarm System: <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Voice Evac

ADDITIONAL RESIDENTIAL INFORMATION (PLEASE SELECT/COMPLETE ALL THAT APPLY)

Model Name & Options:				
# of Bedrooms (SF):	# of efficiency units (MF*):	# of 1 BR (MF*):	# of 2 BR (MF*):	# of 3 BR (MF*):
Rooms:	# Full Baths:	# Half Baths:	# Fireplaces:	
Garage/Carport Info: <input type="checkbox"/> Attached Garage <input type="checkbox"/> Detached Garage <input type="checkbox"/> Integral Garage <input type="checkbox"/> Carport <input type="checkbox"/> None				
Basement/Foundation Info: <input type="checkbox"/> Slab on Grade <input type="checkbox"/> Post & Pier <input type="checkbox"/> Unfinished Basement <input type="checkbox"/> Finished Basement: <input type="checkbox"/> Full or <input type="checkbox"/> Partial				
1st Fl Width:	1st Fl Depth:	2nd Fl Width:	2nd Fl Depth:	Bsmt Width:
Bsmt Depth:	Energy Method: <input type="checkbox"/> Prescriptive <input type="checkbox"/> Performance <input type="checkbox"/> UA Alternative <input type="checkbox"/> ERI		Gross Area: _____ sq ft	Occupiable Area: _____ sq ft

AGREEMENT/DISCLAIMER REQUIRED

I, THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

APPLICANT'S ORIGINAL SIGNATURE: Edin Estrada DATE SIGNED: 2/8/2021

FOR OFFICE USE ONLY CHECKS PAYABLE TO: DIRECTOR OF FINANCE OF HOWARD COUNTY

PERMITS REQUIRED/APPROVALS:					
PR _____	<input checked="" type="checkbox"/> DPZ _____	<input checked="" type="checkbox"/> FED _____	<input checked="" type="checkbox"/> Health _____	<input type="checkbox"/> SHA _____	<input type="checkbox"/> CID _____
SUBMITTAL FEES:		PAYMENT:		ACCEPTED BY: <u>J.P. Bx</u>	

PERMIT NUMBER: B 20001282

DATE ACCEPTED:



RESIDENTIAL BUILDING PERMIT APPLICATION

HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES, AND PERMITS
3430 COURT HOUSE DRIVE, ELLICOTT CITY, MD 21043 - PHONE: (410) 313-2455 OPTION #4
www.howardcountymd.gov

BUILDING SITE ADDRESS REQUIRED

Street Address: 1819 Davis Branch Road		Unit:
City: Woodstock	State: MD	Zip Code: 21163
Subdivision/Village/Complex Name: Myrtue Property		SDP/WP/BA #:
Lot: 7	Tax Map: 10, Grid 24	Parcel: 225
Grading Permit #:		

DESCRIPTION OF WORK REQUIRED

Existing Use: Vacant improved lot	Proposed Use: SFD	Estimated Cost: \$573,800.00
Trade Work to Be Completed (Separate Permits Required): <input checked="" type="checkbox"/> Mechanical (HVACR) <input checked="" type="checkbox"/> Electrical <input checked="" type="checkbox"/> Plumbing <input type="checkbox"/> None		

PROPERTY OWNER INFORMATION REQUIRED

Owner(s) Name(s) (As it appears on tax records): Sonshine MD, LP		Primary Residence: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Owner's Street Address: 227 Granite Run Drive, Suite 100		
City: Lancaster	State: PA	Zip Code: 17601
Phone: (717) 464-9060	Email: billb@keystonecustomhome.com	

APPLICANT NAME REQUIRED - INDIVIDUAL WHO SIGNS THIS APPLICATION

Business Name: Keystone Custom Homes		Contact Name: Gregg Reinsmith
Street Address: 227 Granite Run Drive, Suite 100		
City: Lancaster	State: PA	Zip Code: 17601
Phone: (717) 719-1362	Email: greinsmith@keystonecustomhome.com	

CONTRACTOR INFORMATION REQUIRED

Business Name: Keystone Custom Homes		License #: MHBR# 2937 (exp 12/01/2021)
Street Address: 227 Granite Run Drive, Suite 100		
City: Lancaster	State: PA	Zip Code: 17601
Phone: (717) 719-1362	Email: greinsmith@keystonecustomhome.com	

ARCHITECT/ENGINEER INFORMATION INDIVIDUAL WHO SIGNED PLANS, IF APPLICABLE

Business Name: Paul B. Elser, P.E.		Name: Paul Elser
Street Address: 227 Granite Run Drive, Suite 100		
City: Lancaster	State: PA	Zip Code: 17601
Phone: (717) 719-1370	Email: pelser@keystonecustomhome.com	

BUILDING CHARACTERISTICS REQUIRED

Primary Structure: <input checked="" type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse <input type="checkbox"/> SF Duplex <input type="checkbox"/> Mobile Home <input type="checkbox"/> Multi-Family Dwelling (MF*)		Condo: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Utilities: <input checked="" type="checkbox"/> Electric <input type="checkbox"/> Gas	Water Supply: <input type="checkbox"/> Public <input checked="" type="checkbox"/> Private (Well)	Sewage Disposal: <input type="checkbox"/> Public <input checked="" type="checkbox"/> Private (Septic)
Heating System: <input checked="" type="checkbox"/> Electric <input type="checkbox"/> Natural Gas <input type="checkbox"/> Propane <input type="checkbox"/> Other:		Roadside Tree Project: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes: #
Sprinkler System: <input type="checkbox"/> NFPA 13 <input type="checkbox"/> NFPA 13R <input checked="" type="checkbox"/> NFPA 13D <input type="checkbox"/> None		Fire Alarm System: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Voice Evac

ADDITIONAL RESIDENTIAL INFORMATION (PLEASE SELECT/COMPLETE ALL THAT APPLY)

Model Name & Options: Nottingham Manor					
# of Bedrooms (SF): 4	# of efficiency units (MF*):	# of 1 BR (MF*):	# of 2 BR (MF*):	# of 3 BR (MF*):	
# Rooms: 17	# Full Baths: 3	# Half Baths: 1	# Fireplaces: 1		
Garage/Carport Info: <input checked="" type="checkbox"/> Attached Garage <input type="checkbox"/> Detached Garage <input type="checkbox"/> Integral Garage <input type="checkbox"/> Carport <input type="checkbox"/> None					
Basement/Foundation Info: <input type="checkbox"/> Slab on Grade <input type="checkbox"/> Post & Pier <input checked="" type="checkbox"/> Unfinished Basement <input type="checkbox"/> Finished Basement: <input checked="" type="checkbox"/> Full or <input type="checkbox"/> Partial					
1 st Fl Width: 65	1 st Fl Depth: 73	2 nd Fl Width: 50	2 nd Fl Depth: 72	Bsmt Width: 65	Bsmt Depth: 73
Energy Method: <input checked="" type="checkbox"/> Prescriptive <input type="checkbox"/> Performance <input type="checkbox"/> UA Alternative <input type="checkbox"/> ERI		Gross Area: 8,312 sq ft	Occupiable Area: 8,290 sq ft		

AGREEMENT/ DISCALIMER REQUIRED

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

APPLICANT'S ORIGINAL SIGNATURE

DATE SIGNED
04/14/2020

FOR OFFICE USE ONLY

CHECKS PAYABLE TO: DIRECTOR OF FINANCE OF HOWARD COUNTY

AGENCIES REQUIRED/APPROVALS:

<input checked="" type="checkbox"/> PR	<input checked="" type="checkbox"/> DPZ	<input checked="" type="checkbox"/> DED	<input checked="" type="checkbox"/> Health	<input type="checkbox"/> SHA	<input type="checkbox"/> CID
SUBMITTAL FEES:		PAYMENT:		ACCEPTED BY:	

Enlarged Detail for Measurements of Pool and Retaining Wall
Layout for Building Permit 1819 Davis Branch Road

20' radius indicating
pool will be distanced
from SDA

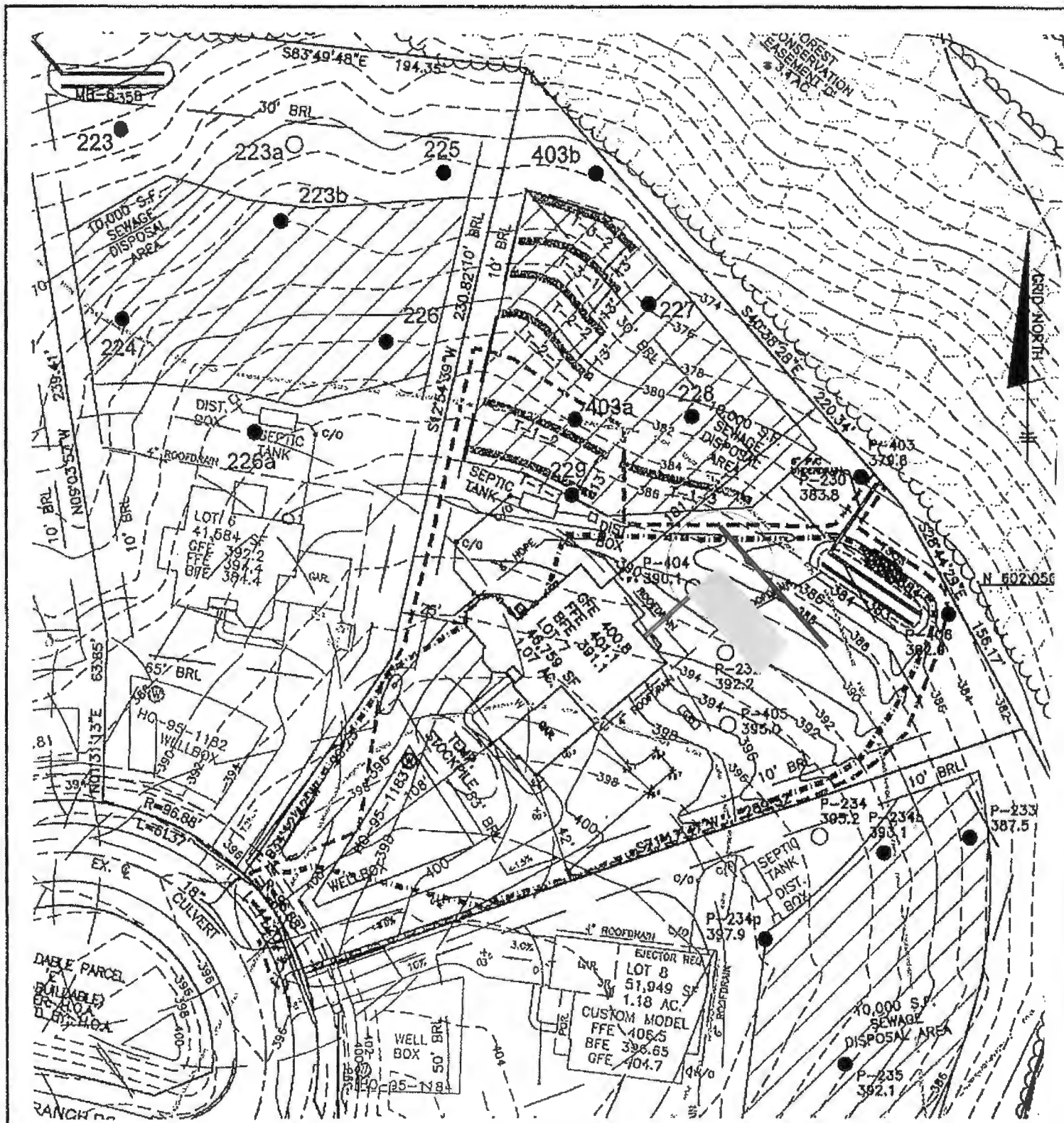
Pool 22' from
house wall

Corner of pool
5'4" from this
corner of house

40' x 16' pool

60' retaining wall, 10'
from pool





PLAN VIEW
1" = 50'

ESD STORMWATER MANAGEMENT SUMMARY TABLE

Pe= 1.60		Inches		Qe= 0.18		Inches		ESDv= 0.794		ft		Rv= 0.32	
Practice	#	DA to practice	Imp Area to practice	Required Af (s.f.)	Provided Af (s.f.)	2% DA?	Required	Provided	Pe Provided	Required	Provided	Rev (AC)	
(M-6) Micro-Bioretention	#7	18,522	5,588	370	457	PASS	596	626	1.7	198.51	137.1		
											Depth of Stone:	9 Inche	

Bricker, Robert

From: Bricker, Robert
Sent: Tuesday, March 9, 2021 3:12 PM
To: greenberrypools@gmail.com
Subject: Fw: 1819 Davis Branch Road_pool proposal

Dear Mr. Estrada,

I have assigned a status of 'On Hold' to the proposal for an in-ground pool and retaining wall at 1819 Davis Branch Road. The proposed retaining wall crosses a swale which is designed to convey stormwater away from the residence. The proposed retaining wall then ends within a few feet of the sewage disposal area (SDA) uphill from an existing wastewater distribution trench. The release of a concentrated runoff flow around the end of the wall or from any part of the wall above the SDA cannot occur within 25 feet of the SDA.

If you wish to continue with the position of the retaining wall in the current proposal, I will require that you submit a supplement plan to the Department of Inspections Licenses and Permits in support of your Plot Plan. The content of the supplement must include topographic representation of proposed grading, and the locations of the drains that release water from behind the wall.

Be advised that grading in the SDA is prohibited.

Respectfully,

Robert Bricker, REHS/RS, L.E.H.S.

From: Bricker, Robert <RBricker@howardcountymd.gov>
Sent: Monday, March 8, 2021 10:26 AM
To: greenberrypools@gmail.com <greenberrypools@gmail.com>
Subject: 1819 Davis Branch Road_pool proposal

Dear Mr Estrada, I am reviewing your proposal for installing an inground pool and retaining wall at 1819 Davis Branch Road. I am concerned for how runoff and groundwater are being re-directed as a result of the proposed location for the retaining wall. I am requesting that you send me a diagram of how the surface water flow and the subsurface drainage behind the wall are being directed.

Robert Bricker, REHS/RS, L.E.H.S.

Howard County Health Department
Bureau of Environmental Health
Well & Septic Program
8930 Stanford Boulevard
Columbia, MD 21045
410.313.2691 (Office)
rbricker@howardcountymd.gov



CONFIDENTIALITY NOTICE

This message and the accompanying documents are intended only for the use of the individual or entity to which they are addressed and may contain information that is privileged, confidential, or exempt from disclosure under

Enlarged Detail for Measurements of Pool and Retaining Wall
Layout for Building Permit 1819 Davis Branch Road

B21000589

20' radius indicating
pool will be distanced
from SDA

Pool 22' from
house wall

Corner of pool
5'4" from this
corner of house

40' x 16' pool

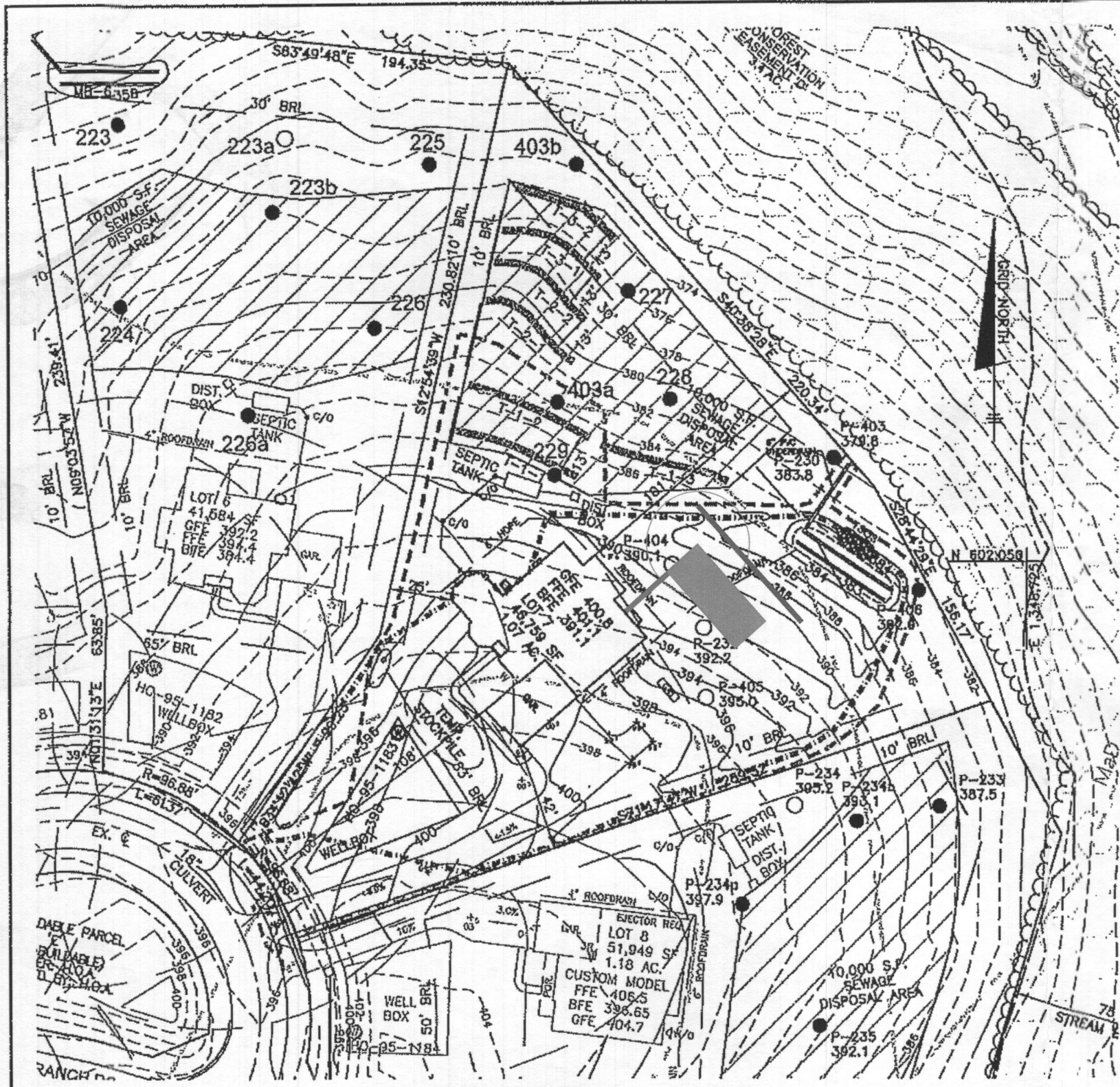
60' retaining wall
from pool

B21000589

Where does
water go?

Wall (dam)
crosses
swale



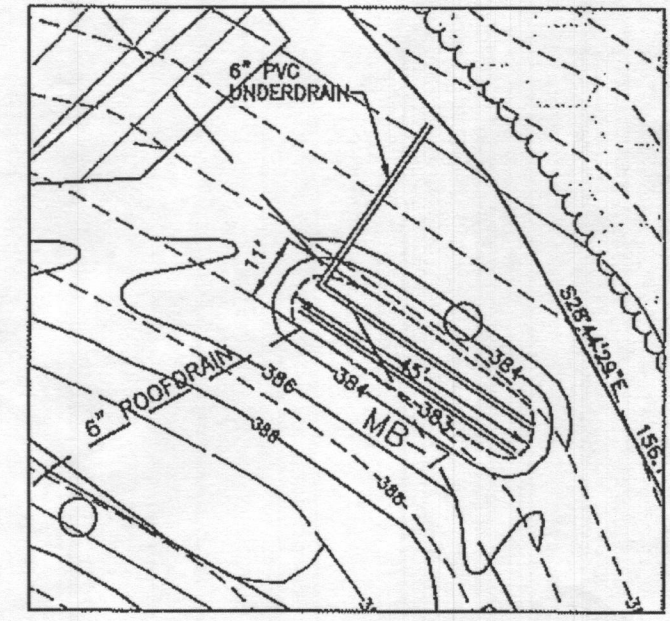


PLAN VIEW
1" = 50'

- LEGEND**
- 400, 398, 400, 398 PROPOSED CONTOURS
 - EXISTING CONTOURS
 - EXISTING PRIVATE SEWAGE AREA
 - PROPOSED PRIVATE SEWAGE AREA
 - EXISTING WELL BOX
 - PROPOSED TREELINE
 - EXISTING TREELINE
 - SOILS MAP SYMBOL
 - SOILS DELINEATION LINE
 - PERC TEST PASSED
 - PERC TEST FAILED

GENERAL NOTES

1. THE LOT SHOWN HEREON WAS RECORDED ON THE PLAT FOR THE MYRTUE PROPERTY, PLAT No. 23865, REFER TO THE PLATS FOR LOT DIMENSIONS, LOT AREAS, ALL EASEMENTS AND CONDITIONS.
2. SEDIMENT AND EROSION CONTROLS WERE APPROVED BY HOWARD SOIL CONSERVATION DISTRICT UNDER GP-20-45.
3. TOPOGRAPHY SHOWN HEREON IS TAKEN FROM THE APPROVED ROAD CONSTRUCTION PLANS F-06-104, PREPARED BY DAFT, McCUNE WALKER, INC. SEPT. 2007 AND REVISED BY BENCHMARK ENGINEERING, INC., DEC. 2015.
4. ALL SEDIMENT AND EROSION CONTROL FEATURES USED ON THIS SITE SHALL COMPLY WITH THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.
5. ALL DRAINAGE AND STORMWATER MANAGEMENT FEATURES USED ON THIS SITE MUST COMPLY WITH THE APPROVED ROAD CONSTRUCTION PLANS EXCEPT AS WAIVED.
6. THE EXISTING WELL SHOWN ON THIS PLAN, HO-95-1183, HAS BEEN FIELD LOCATED BY BENCHMARK ENGINEERING, INC., AND IS ACCURATELY SHOWN.
7. THERE ARE NO EXISTING WELLS OR SEPTIC SYSTEMS WITHIN 100' OF THIS PROJECT'S BOUNDARY EXCEPT AS NOTED.
8. ANY CHANGES TO A PRIVATE SEWAGE DISPOSAL AREA OR WELL BOX SHALL REQUIRE A REVISED PERCOLATION CERTIFICATION PLAN.
9. STORMWATER MANAGEMENT FOR THIS LOT IS PROVIDED BY ONE MICRO-BIORETENTION FACILITY (MDE M-6).
10. RAINWATER SHALL BE CONVEYED TO THE MICRO-BIORETENTION WITH 4" OR 6" ROOF LEADERS, AS SHOWN.
11. BOLLARDS ARE REQUIRED FOR THE PROTECTION OF ANY WELL THAT MAY BE INSTALLED WITHIN 10' OF THE DRIVEWAY.



MB-7 DETAIL
1" = 30'

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 28376, Expiration Date: 01/01/2021.



3.25.26

ESD STORMWATER MANAGEMENT SUMMARY TABLE												
Pe= 1.60		Qc= 0.18		ESD= 794		Rv= 0.32						
Inches		Inches		cf								
Practice	#	DA to practice	Imp Area to practice	Af (s.f.) Required	Af (s.f.) Provided	2% DA? Required	ESDv Provided	Pe Provided	Rev (AC) Required	Rev (AC) Provided	Ownership	
(M-6) Micro-Bioretention	#7	18,522	5,588	370	457	PASS	596	626	1.7	198.51	137.10	Private
									Depth of Stone: 9 Inches			

OWNER/BUILDER:
KEYSTONE CUSTOM HOMES, INC.
227 GRANITE RUN DR.
SUITE 100
LANCASTER, PA 17601
717-484-9060

PROJECT: MYRTUE PROPERTY
LOT 7

LOCATION: TAX MAP: 10, GRID: 24, PARCEL: 225 ZONED:
1819 DAVIS BRANCH ROAD
6TH ELECTION DISTRICT, HOWARD COUNTY, MD, TAX ID #352404

TITLE: BUILDING PERMIT PLAN

HOUSE TYPE: CUSTOM - KEYSTONE HOMES

DATE: MARCH, 2020 **PROJECT NO.:** 2099

SCALE: AS SHOWN **DRAWING 1 OF 2**

BENCHMARK
ENGINEERS & LAND SURVEYORS & PLANNERS
ENGINEERING, INC.
8480 BALTIMORE NATIONAL PIKE & SUITE 315
ELLCOTT CITY, MARYLAND 21043
(P) 410-465-8105 & (F) 410-465-8844
WWW.BEI-CVLENGINEERING.COM

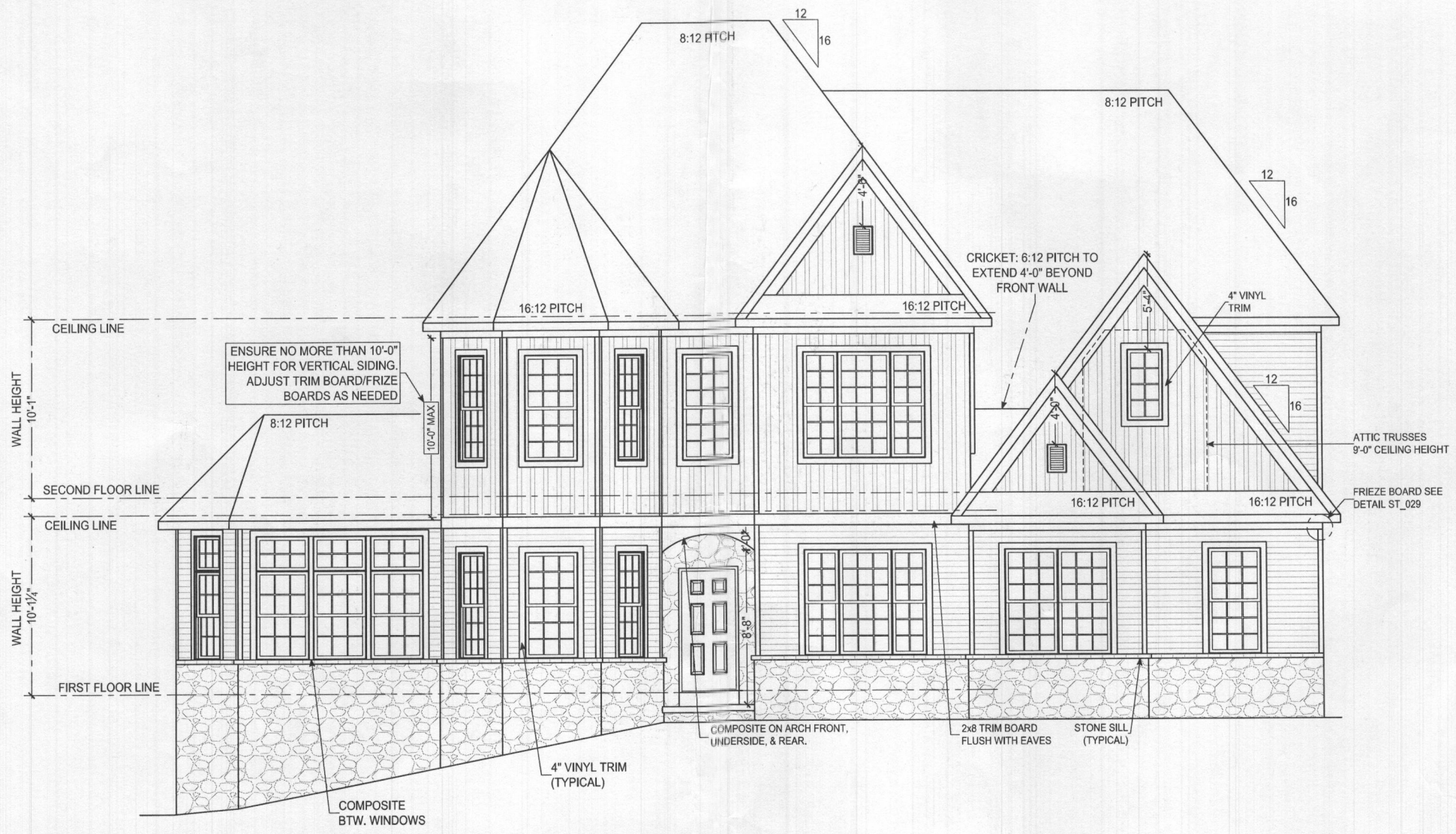
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227 GRANITE RUN DRIVE, SUITE 100
LANCASTER, PENNSYLVANIA 17601
PH: (717) 464-9060 • FAX: (717) 464-9046
www.keystonecustomhome.com



KEYSTONE CUSTOM HOMES, INC.

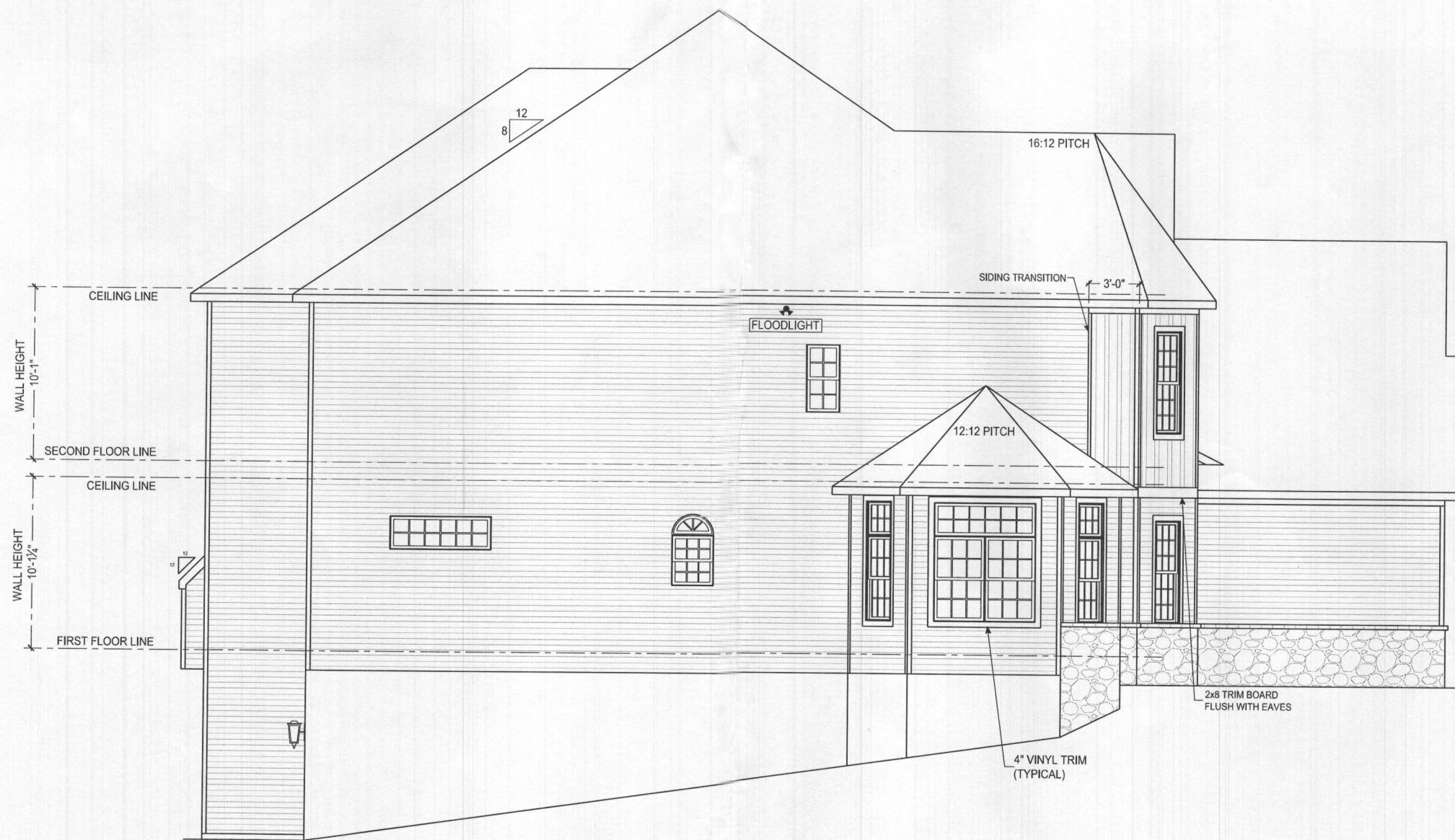
SHEET DESCRIPTION	FRONT ELEVATION
MODEL	MRS007 CUNNINGHAM
UPDATED	NOV 22 2019
SCALE	AS NOTED
DRAWN BY	E. WEAVER
SHEET NO.	A1.0



Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a fully licensed professional engineer under the Laws of the State of Maryland. License No. 35478, Expiration Date: 06-18-2027.

FRONT ELEVATION
SCALE: 3/16" = 1'-0"

1819 Davis Branch Rd.
B2000282



LIVING SIDE ELEVATION
SCALE: 3/16" = 1'-0"



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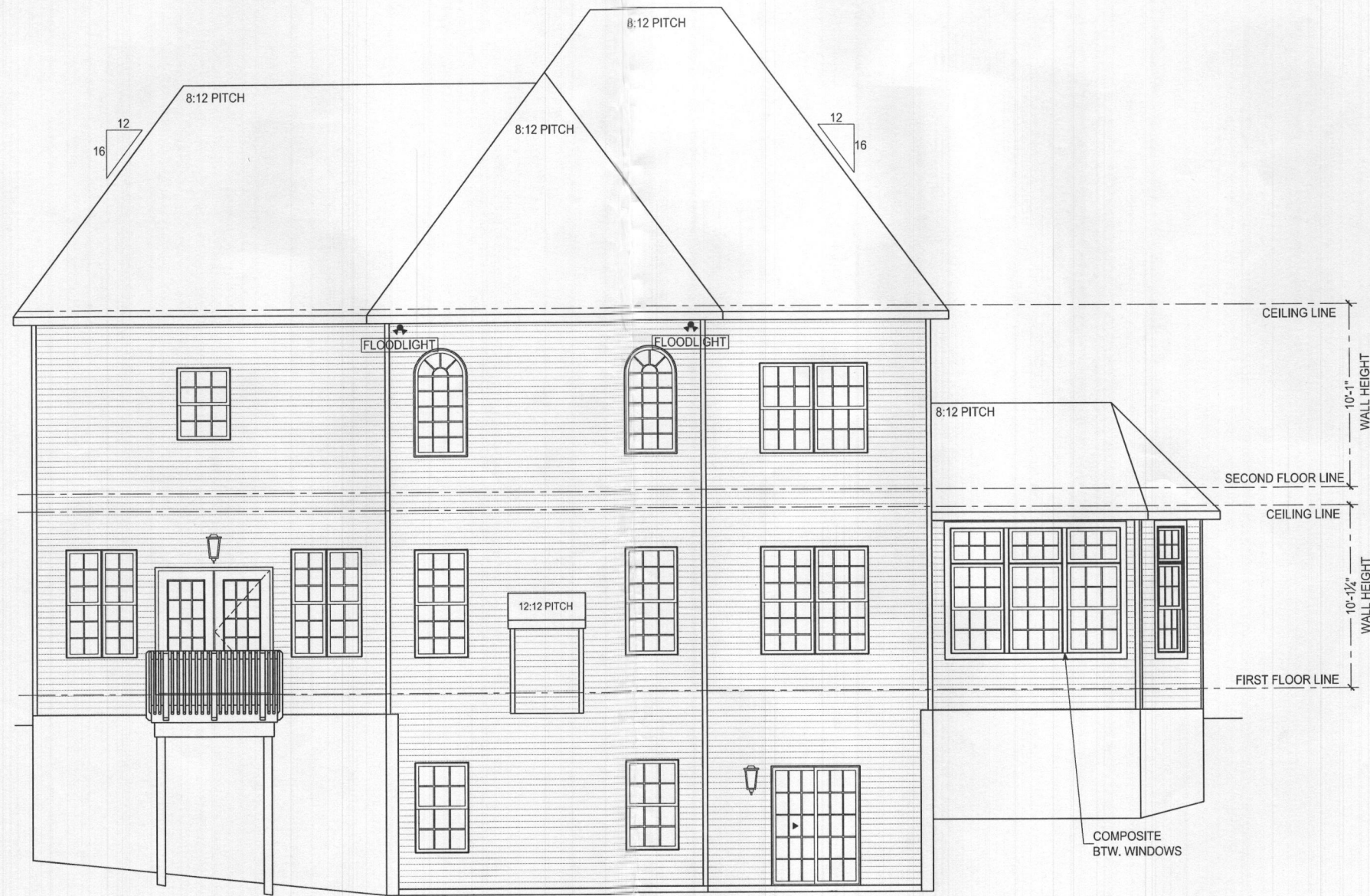
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PH: (717) 464-9060 • FAX: (717) 464-9046
www.keystonecustomhome.com

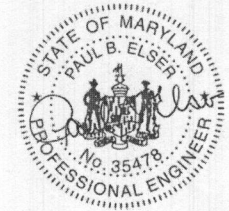


KEYSTONE CUSTOM HOMES, INC.

BRIEF DESCRIPTION	LIVING SIDE ELEVATION
MODEL	MRS007 CUNNINGHAM
UPDATED:	NOV 22 2019
SCALE:	AS NOTED
DRAWN BY:	E. WEAVER
SHEET NO.	111



REAR ELEVATION
SCALE: 3/16" = 1'-0"



Professional Certification, I hereby certify that these documents were prepared or approved by me, and that I am a fully licensed professional engineer under the Laws of the State of Maryland. License No. 35478, Expiration Date: 06-18-2020.

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227 GRANITE RUN DRIVE, SUITE 100
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www.keystonecustomhome.com

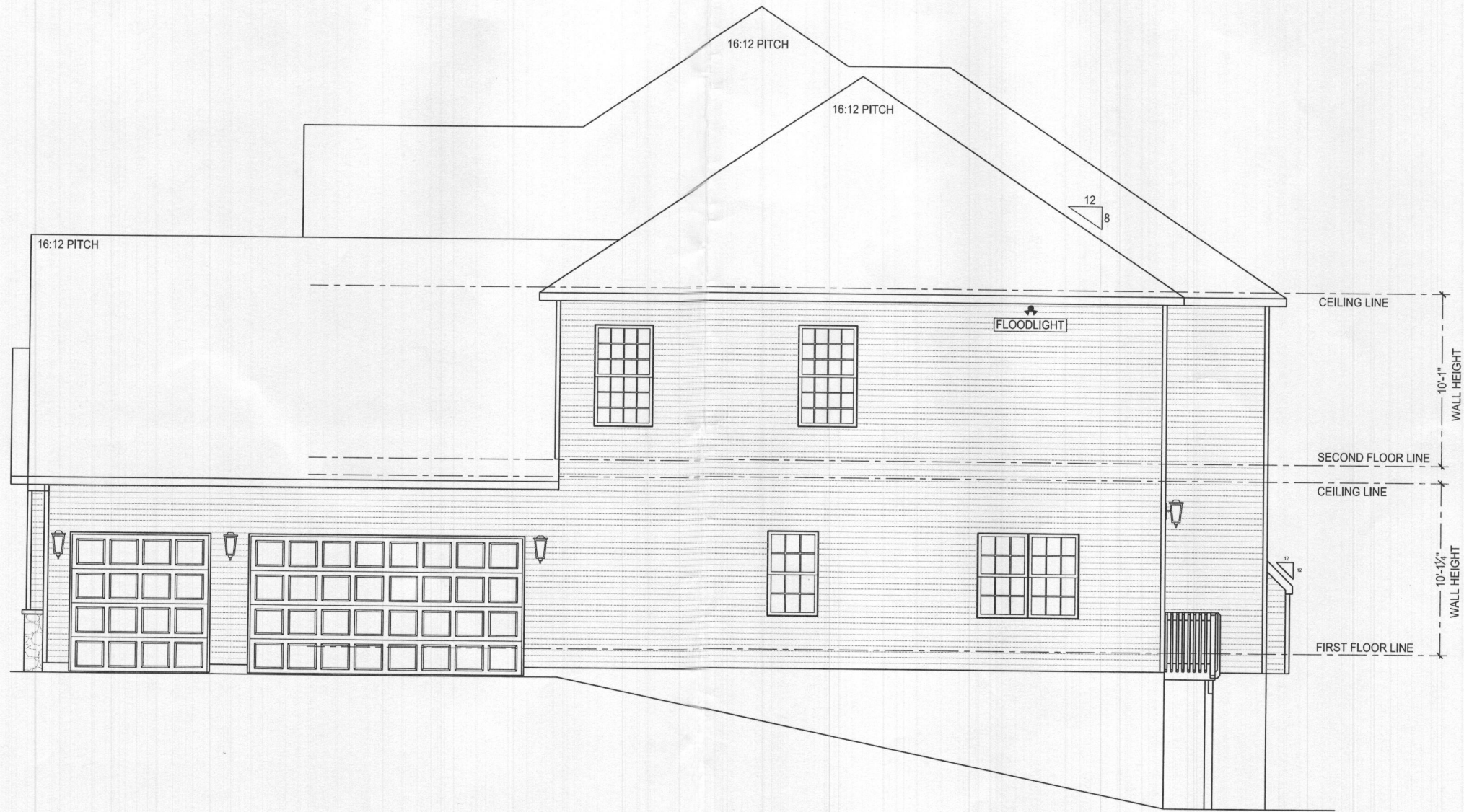


KEYSTONE CUSTOM HOMES, INC.

SHEET DESCRIPTION: REAR ELEVATION
MODEL: MRS007 CUNNINGHAM

UPDATED: NOV 22 2019
SCALE: AS NOTED
DRAWN BY: E. WEAVER

SHEET NO. **A1.2**



GARAGE SIDE ELEVATION
SCALE: 3/16" = 1'-0"



Professional Certification, I hereby certify that these documents were prepared or approved by me, and that I am a fully licensed professional engineer under the Laws of the State of Maryland. License No. 35478, Expiration Date: 06-18-2020.

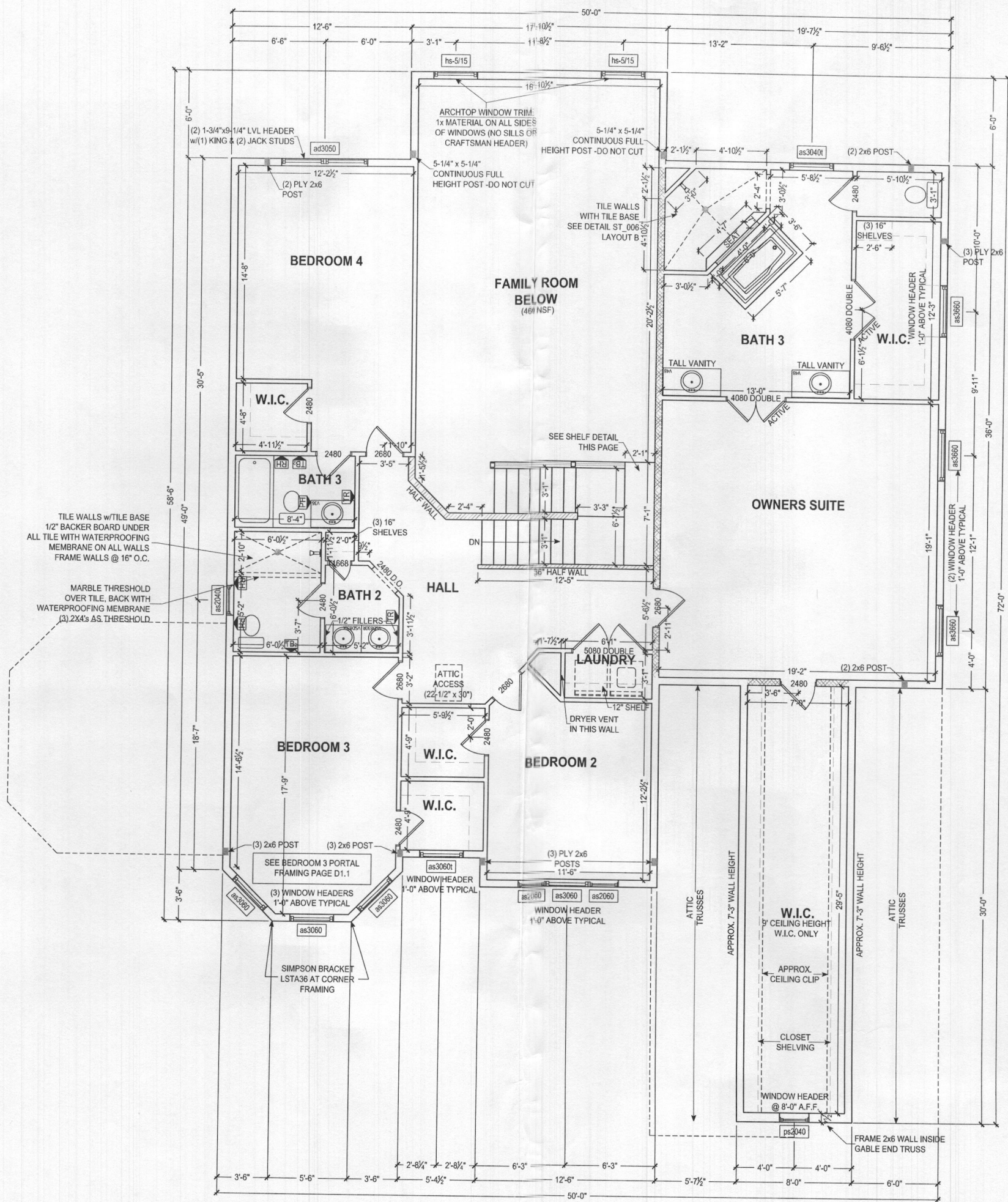
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227 GRANITE RUN DRIVE, SUITE 100
LANCASTER, PENNSYLVANIA 17601
PH: (717) 464-9060 • FAX: (717) 464-9046
www.keystonecustomhome.com



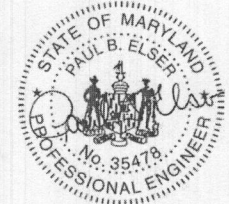
KEYSTONE CUSTOM HOMES, INC.

SHEET DESCRIPTION:	GARAGE SIDE ELEVATION
MODEL:	MRs007 CUNNINGHAM
UPDATED:	NOV 22 2019
SCALE:	AS NOTED
DRAWN BY:	E. WEAVER
SHEET NO.	11



TILE WALLS w/TILE BASE
1/2" BACKER BOARD UNDER
ALL TILE WITH WATERPROOFING
MEMBRANE ON ALL WALLS
FRAME WALLS @ 16" O.C.

MARBLE THRESHOLD
OVER TILE, BACK WITH
WATERPROOFING MEMBRANE
(3) 2x4's AS THRESHOLD



Professional Certification, I hereby certify that
these documents were prepared or approved by me,
and that I am a fully licensed professional engineer
under the Laws of the State of Maryland.
License No. 35478, Expiration Date: 06-18-2020.

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written consent is strictly
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United States Copyright Law
(Title 17, United States
Code) and the Berne
Convention for the
international protection of
literary and artistic works.
Federal and International
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extend to original and
modified derivative plans,
architectural works, concepts
and designs, and is
applicable to International
arrangements, and provides
for specific statutory
damages both civil and
criminal.

227 GRANITE RUN DRIVE, SUITE 100
LANCASTER, PENNSYLVANIA 17601
PH: (717) 464-9060 • FAX: (717) 464-9046
www.keystoncustomhomes.com



KEYSTONE CUSTOM HOMES, INC.

SHEET DESCRIPTION:
SECOND FLOOR PLAN
MODEL:
MRs007
CUNNINGHAM

UPDATED:
NOV 22 2019
SCALE:
AS NOTED
DRAWN BY:
E. WEAVER

SHEET NO.
D11

RESIDENTIAL BUILDING PERMIT APPLICATION

JUN 16 2020

HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES, AND PERMITS

3430 COURT HOUSE DRIVE, ELLICOTT CITY, MD 21043

PHONE: (410) 313-2455 OPTION #4

LICENSES & PERMITS DIVISION

www.howardcountymd.gov

BUILDING SITE ADDRESS REQUIRED

Street Address: 1819 DAVIS Branch Rd
City: Woodstock
State: MD
Zip Code: 21163
Subdivision/Village/Complex Name: Nottingham Manor
SDP/WP/BA #:
Lot: 007
Tax Map:
Parcel:
Grading Permit #: G20000089

DESCRIPTION OF WORK REQUIRED

Existing Use:
Proposed Use:
Estimated Cost: \$ 3500.00
Trade Work to Be Completed (Separate Permits Required):
Install 16500 Gallon propane tank w/ Gas line to house (1)

PROPERTY OWNER INFORMATION REQUIRED

Owner(s) Name(s) (As it appears on tax records): Eugene Cunningham
Primary Residence: Yes
Owner's Street Address: 1819 DAVIS Branch Rd
City: Woodstock
State: MD
Zip Code: 21163

APPLICANT NAME REQUIRED - INDIVIDUAL WHO SIGNS THIS APPLICATION

Business Name: Dixieland Energy
Contact Name: Ronnie Blankenbetele
Street Address: 281 E MAIN ST
City: Rising Sun
State: MD
Zip Code: 21911
Phone: 888-517-3680 ext 3
Email: Ldugger@dixielandenergy.com

CONTRACTOR INFORMATION REQUIRED

Business Name: Dixieland Energy
Licensee's Name: Basil S. Perry Jr
License #: 100429
Street Address: 281 E Main St
City: Rising Sun
State: MD
Zip Code: 21911
Phone: 888-517-3680
Email: Ldugger@dixielandenergy.com

ARCHITECT/ENGINEER INFORMATION INDIVIDUAL WHO SIGNED PLANS, IF APPLICABLE

Business Name:
Name:
Street Address:
City:
State:
Zip Code:
Phone:
Email:

BUILDING CHARACTERISTICS REQUIRED

Primary Structure: SF Dwelling
Condo: No
Utilities: Gas
Water Supply: Private (Well)
Sewage Disposal: Private (Septic)
Heating System: Propane
Roadside Tree Project: No
Sprinkler System: None
Fire Alarm System: No

ADDITIONAL RESIDENTIAL INFORMATION (PLEASE SELECT/COMPLETE ALL THAT APPLY)

Model Name & Options:
of Bedrooms (SF):
of efficiency units (MF*):
of 1 BR (MF*):
of 2 BR (MF*):
of 3 BR (MF*):
Rooms:
Full Baths:
Half Baths:
Fireplaces:
Garage/Carport Info:
Basement/Foundation Info:
1st Fl Width:
1st Fl Depth:
2nd Fl Width:
2nd Fl Depth:
Bsmt Width:
Bsmt Depth:
Energy Method:
Gross Area: 5732 sq ft
Occupiable Area: sq ft

AGREEMENT/ DISCALIMER REQUIRED

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES

APPLICANT'S ORIGINAL SIGNATURE: Basil S Perry Jr
DATE SIGNED: 6-8-20

FOR OFFICE USE ONLY

CHECKS PAYABLE TO: DIRECTOR OF FINANCE OF HOWARD COUNTY

AGENCIES REQUIRED/APPROVALS:
PR, DPZ, DED, Health Dept 7/1/20, SHA, CID
SUBMITTAL FEES:
PAYMENT:
ACCEPTED BY: MAIL

Maura J. Rossman, M.D., Health Officer

MEMORANDUM

TO: *Gregg Reinsmith, Keystone Custom Homes*

FROM: *Robert Bricker, REHS/RS, L.E.H.S.*
Well & Septic Program

RE: *1819 Davis Branch Road, (Myrtue Property, Lot 7)* Potential Basement Bedroom

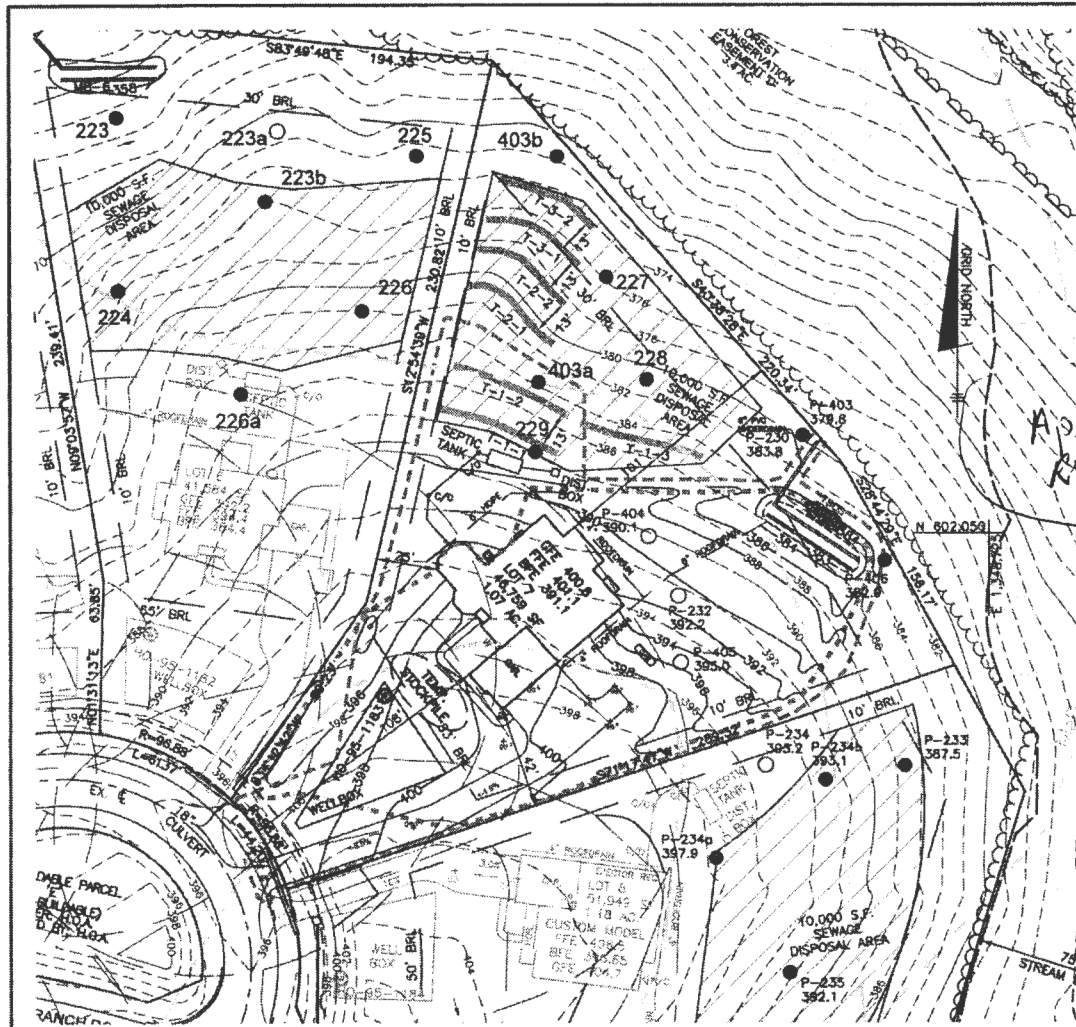
DATE: December 16, 2019

I have reviewed the floor plans submitted with the Onsite Sewage Disposal System Plan (OSDS) Design Plan for a proposed new home at 1819 Davis Branch Road (Myrtue Property, Lot 7), and noted that there is a rough-in for a full bathroom in the unfinished basement. Please note that this makes it very likely for one or more rooms to be considered bedrooms upon conversion of the basement to finished living space.

For reference, the following is the bedroom definition in Howard County Code Section 3.801(b):

- (1) Except as provided in paragraph (2) of this subsection, a bedroom is any space in the conditioned area of a dwelling unit or accessory structure that:
 - (i) Is 90 square feet or greater in size;
 - (ii) May be used as a private sleeping area; and
 - (iii) Has at least one window and one interior door.
- (2) If a home office, library, or similar room is proposed, it may not be a bedroom if there is no closet; and
 - (i) The room contains permanently built-in bookcases around the perimeter of the room, desks, and other features that encumber the room;
 - (ii) A minimum 4 foot-wide opening, without doors, into another room;
 - (iii) A half wall (4 foot maximum height) between the room and another room; or
 - (iv) The room is a first floor room or basement area that does not have direct access to full bathrooms or "roughed in" plumbing that would provide direct access to future full bathroom facilities.

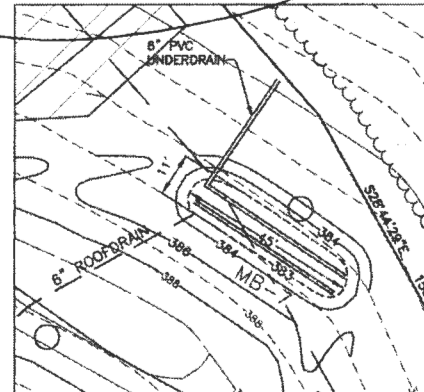
To accommodate a future finished basement, the Health Department strongly recommends sizing the onsite sewage disposal system at least one bedroom larger than the existing proposal for a 4-bedroom design. If you choose to only size for the existing design, any future building permit for a finished basement may be placed on hold until the system is upgraded to accommodate the proposed number of bedrooms. This memo will be retained in the Health Department file for future reference.



PLAN VIEW
1" = 50'

LEGEND

	400	PROPOSED CONTOURS
	396	EXISTING CONTOURS
	392	EXISTING PRIVATE SEWAGE AREA
		PROPOSED PRIVATE SEWAGE AREA
		EXISTING WELL BOX
		PROPOSED TREELINE
		EXISTING TREELINE
		SOILS MAP SYMBOL
		SOILS DELINEATION LINE
		PERC TEST PASSED
		PERC TEST FAILED



MB-7 DETAIL
1" = 30'

GENERAL NOTES

1. THE LOT SHOWN HEREON WAS RECORDED ON THE PLAT FOR THE MYRTUE PROPERTY, PLAT No. 23865. REFER TO THE PLATS FOR LOT DIMENSIONS, LOT AREAS, ALL EASEMENTS AND CONDITIONS.
2. SEDIMENT AND EROSION CONTROLS WERE APPROVED BY HOWARD SOIL CONSERVATION DISTRICT UNDER GP-20-45.
3. TOPOGRAPHY SHOWN HEREON IS TAKEN FROM THE APPROVED ROAD CONSTRUCTION PLANS F-06-104, PREPARED BY DAFT, McCUNE WALKER, INC. SEPT. 2007 AND REVISED BY BENCHMARK ENGINEERING, INC., DEC. 2015.
4. ALL SEDIMENT AND EROSION CONTROL FEATURES USED ON THIS SITE SHALL COMPLY WITH THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.
5. ALL DRAINAGE AND STORMWATER MANAGEMENT FEATURES USED ON THIS SITE MUST COMPLY WITH THE APPROVED ROAD CONSTRUCTION PLANS EXCEPT AS NOTED.
6. THE EXISTING WELL SHOWN ON THIS PLAN, HO-95-1183, HAS BEEN FIELD LOCATED BY BENCHMARK ENGINEERING, INC., AND IS ACCURATELY SHOWN.
7. THERE ARE NO EXISTING WELLS OR SEPTIC SYSTEMS WITHIN 100' OF THIS PROJECT'S BOUNDARY EXCEPT AS NOTED.
8. ANY CHANGES TO A PRIVATE SEWAGE DISPOSAL AREA OR WELL BOX SHALL REQUIRE A REVISED PERCOLATION CERTIFICATION PLAN.
9. STORMWATER MANAGEMENT FOR THIS LOT IS PROVIDED BY ONE MICRO-BIORETENTION FACILITY (MBE M-6).
10. RAINWATER SHALL BE CONVEYED TO THE MICRO-BIORETENTION WITH 4" OR 6" ROOF LEADERS, AS SHOWN.
11. BOLLARDS ARE REQUIRED FOR THE PROTECTION OF ANY WELL THAT MAY BE INSTALLED WITHIN 10' OF THE DRIVEWAY.

Professional Certification: I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland. License No. 28376, Expiration Date: 01/01/2021.



3-25-20

ESD STORMWATER MANAGEMENT SUMMARY TABLE

Practice	#	DA to practice	Imp Area to practice	Q ₁₀ = 0.19 inches		ESD ₁₀ = 784 c/	R _v = 0.32		Rev (AC)		Ownership	
				Required	Provided		Required	Provided	Required	Provided		
(M-6) Micro-Bioretentation	#7	18,522	5,588	370	457	PASS	596	626	1.7	198.51	137.10	Private
				Depth of Stone:		8 inches						

OWNER/BUILDER: KEYSTONE CUSTOM HOMES, INC. 227 GRANITE RUN DR. SUITE 100 LANCASTER, PA 17601 717-484-9060	PROJECT:	MYRTUE PROPERTY LOT 7	
	LOCATION:	TAX MAP: 10, GRID: 24, PARCEL: 225 ZONED: 1819 DAMS BRANCH ROAD 6TH ELECTION DISTRICT, HOWARD COUNTY, MD. TAX ID #352404	
BENCHMARK ENGINEERS & LAND SURVEYORS & PLANNERS ENGINEERING, INC. 8480 BALTIMORE NATIONAL PIKE & SUITE 315 ELLDOTT CITY, MARYLAND 21043 (P) 410-485-6105 & (F) 410-485-6644 WWW.BE-CIVILENGINEERING.COM	TITLE:	BUILDING PERMIT PLAN	
	HOUSE TYPE:	CUSTOM - KEYSTONE HOMES	
DATE:	MARCH, 2020	PROJECT NO.	2099
SCALE:	AS SHOWN	DRAWING	1 OF 2