

PERMIT NUMBER: B

DATE ACCEPTED:

RECEIVED

44-17-2023

RESIDENTIAL BUILDING PERMIT APPLICATION

HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES, AND PERMITS & PERMITS DIVISION
3430 COURT HOUSE DRIVE, ELLICOTT CITY, MD 21043 - PHONE: (410) 313-2455
www.howardcountymd.gov

BUILDING SITE ADDRESS REQUIRED

Street Address: 10638 Reynolds Court Unit: _____
 City: Ellicott City State: MD Zip Code: 21042
 Subdivision/Village/Complex Name: Kings Woods SDP/WP/BA #: _____
 Lot: 4 Tax Map: _____ Parcel: _____ Grading Permit #: _____

DESCRIPTION OF WORK REQUIRED

Existing Use: Vacant Lot Proposed Use: SFD Estimated Cost: \$ 300,000
 Trade Work to Be Completed (Separate Permits Required): Mechanical (HVACR) Electrical Plumbing None
New 2 story "Parkhurst" Craftsman est. with 2 car side load garage, 1 car side attached garage, and finished lower level (Rec Room and Bathroom)

PROPERTY OWNER INFORMATION REQUIRED

Owner(s) Name(s) (As it appears on tax records): Toll Mid Atlantic Lp. Co. Inc. Contact: Summer Riley Primary Residence: Yes No
 Owner's Street Address: 250 Gibraltar Road
 City: Horsham State: PA Zip Code: 19044
 Phone: (410) 872-9105 Email: sriley1@tollbrothers.com

APPLICANT NAME REQUIRED - INDIVIDUAL WHO SIGNS THIS APPLICATION

Business Name: Decatur Building Services Contact Name: Jim Kerwin
 Street Address: PO Box 552
 City: Woodbine State: MD Zip Code: 21797
 Phone: (410) 309-7792 Email: jim@decaturbuildingservices.com

CONTRACTOR INFORMATION REQUIRED

Business Name: Toll Brothers Contact Name: Summer Riley
 Licensee's Name: Toll Mid Atlantic Lp. Co. Inc. License #: 8220
 Street Address: 6731 Columbia Gateway Drive, Suite 120
 City: Columbia State: MD Zip Code: 21046
 Phone: (410) 872-9105 Email: sriley1@tollbrothers.com

ARCHITECT/ENGINEER INFORMATION INDIVIDUAL WHO SIGNED PLANS, IF APPLICABLE

Business Name: _____ Name: _____
 Street Address: _____
 City: _____ State: _____ Zip Code: _____
 Phone: _____ Email: _____

BUILDING CHARACTERISTICS REQUIRED

Primary Structure: SF Dwelling SF Townhouse SF Duplex Mobile Home Multi-Family Dwelling (MF*) Condo: Yes No
 Utilities: Electric Gas Water Supply: Public Private (Well) Sewage Disposal: Public Private (Septic)
 Heating System: Electric Natural Gas Propane Other: _____ Roadside Tree Project: No Yes: # _____
 Sprinkler System: NFPA 13 NFPA 13R NFPA 13D None Fire Alarm System: Yes No Voice Evac

ADDITIONAL RESIDENTIAL INFORMATION (PLEASE SELECT/COMPLETE ALL THAT APPLY)

Model Name & Options: "Parkhurst" Craftsman with 2 car garage, 1 car garage and finished lower level
 # of Bedrooms (SF): 5 # of efficiency units (MF*): _____ # of 1 BR (MF*): _____ # of 2 BR (MF*): _____ # of 3 BR (MF*): _____
 # Rooms: 10 # Full Baths: 6 # Half Baths: 1 # Fireplaces: 1
 Garage/Carport Info: Attached Garage Detached Garage Integral Garage Carport None
 Basement/Foundation Info: Slab on Grade Post & Pier Unfinished Basement Finished Basement: Full or Partial
 1st Fl Width: 73 1st Fl Depth: 62 2nd Fl Width: 59 2nd Fl Depth: 56 Bsmt Width: 59 Bsmt Depth: 62
 Energy Method: Prescriptive Performance UA Alternative ERI Gross Area: 7880 sq ft Occupiable Area: 7628 sq ft

AGREEMENT/ DISCALIMER REQUIRED

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

APPLICANT'S ORIGINAL SIGNATURE: Jim Kerwin DATE SIGNED: 7/14/2023

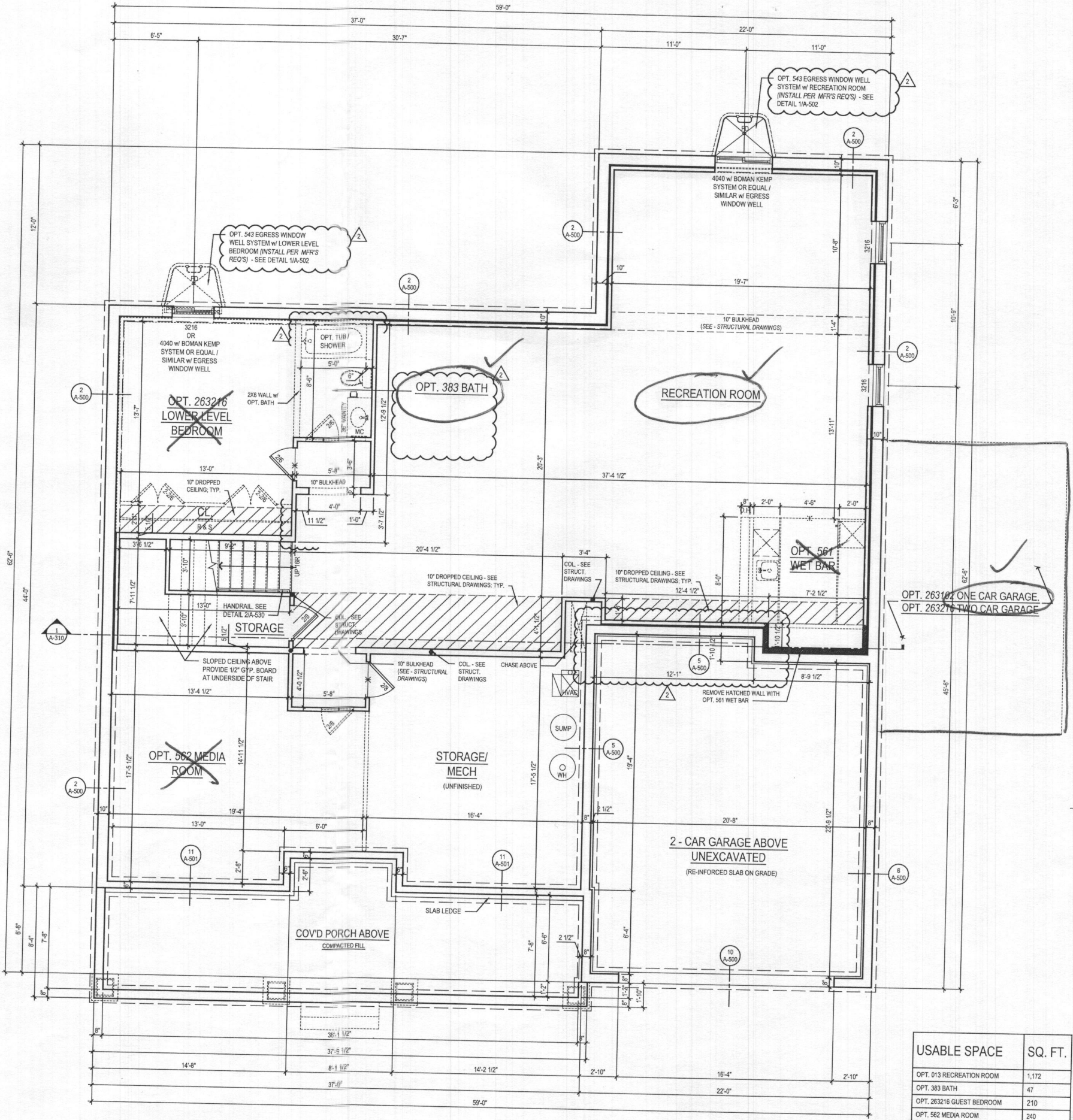
FOR OFFICE USE ONLY CHECKS PAYABLE TO: DIRECTOR OF FINANCE OF HOWARD COUNTY

AGENCIES REQUIRED/APPROVALS: PR DPZ DED Health SHA CID

SUBMITTAL FEES: \$ 150.00 PAYMENT: Toll Bros check #003174 ACCEPTED BY: MP

- GENERAL PLAN NOTES**
- A. ALL WOOD STUD PARTITIONS NOT DIMENSIONED ARE TO BE 3 1/2" FOR INTERIOR AND 5 1/2" FOR EXTERIOR WALLS UNLESS OTHERWISE NOTED.
 - B. ALL INTERIOR DIMENSIONS ARE TO FACE OF STUDS.
 - C. ALL EXTERIOR DIMENSIONS ARE TO FACE OF STUDS.
 - D. ALL DIMENSIONS GOVERN OVER SCALE.
 - E. ALL SMOKE DETECTORS ARE TO BE WIRED IN SUCH A MANNER THAT ACTIVATION OF ONE WILL ACTIVATE THEM ALL.
 - F. ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS AND SOFFITS PROTECTED ON ENCLOSED SIDE WITH 1/2" GYPSUM BOARD.
 - G. ALL WINDOWS SIZE ARE NOTED IN FEET + INCHES AS MEASURED FROM SASH TO SASH.
 - H. REFER TO ELEVATIONS FOR WINDOW HEAD HEIGHTS.
 - I. ALL DOORS ARE TO BE 6'-8" HIGH UNLESS OTHERWISE NOTED.
 - J. WASHER ALWAYS TO BE ON LEFT SIDE OF DRYER.
 - K. DISHWASHER ALWAYS TO BE ON RIGHT SIDE OF SINK.

Health Dept
 10638 Reynolds Court
 Lot 4
 Kings Woods



1 BASEMENT FLOOR PLAN
 A-100a SCALE: 1/4"=1'-0"
 TOL081a_A100.dwg

W/ OPT 013 RECREATION ROOM @ ELEV. 1 - CRAFTSMAN @ FINISHED CONDITION

USABLE SPACE	SQ. FT.
OPT. 013 RECREATION ROOM	1,172
OPT. 383 BATH	47
OPT. 263216 GUEST BEDROOM	210
OPT. 562 MEDIA ROOM	240
TOTAL	1,669

ARCHITECT:

 8521 Leesburg Pike
 Suite 700 | Vienna, VA 22182
 P: 571.830.1800 | F: 571.830.1801
 www.lessarddesign.com

SEAL & SIGNATURE:
 OWNER:
 TOLL BROTHERS
 19775 BELMONT EXECUTIVE PLAZA
 ASHBURN, VA 20147
 P: 571.291.8068
 CONTACT: CHRISTINA LEMLEY
 clemley@tollbrothers.com

PROJECT NAME:
 EXECUTIVE SERIES
 MARYLAND
 PARKHURST
 FLOOR PLANS

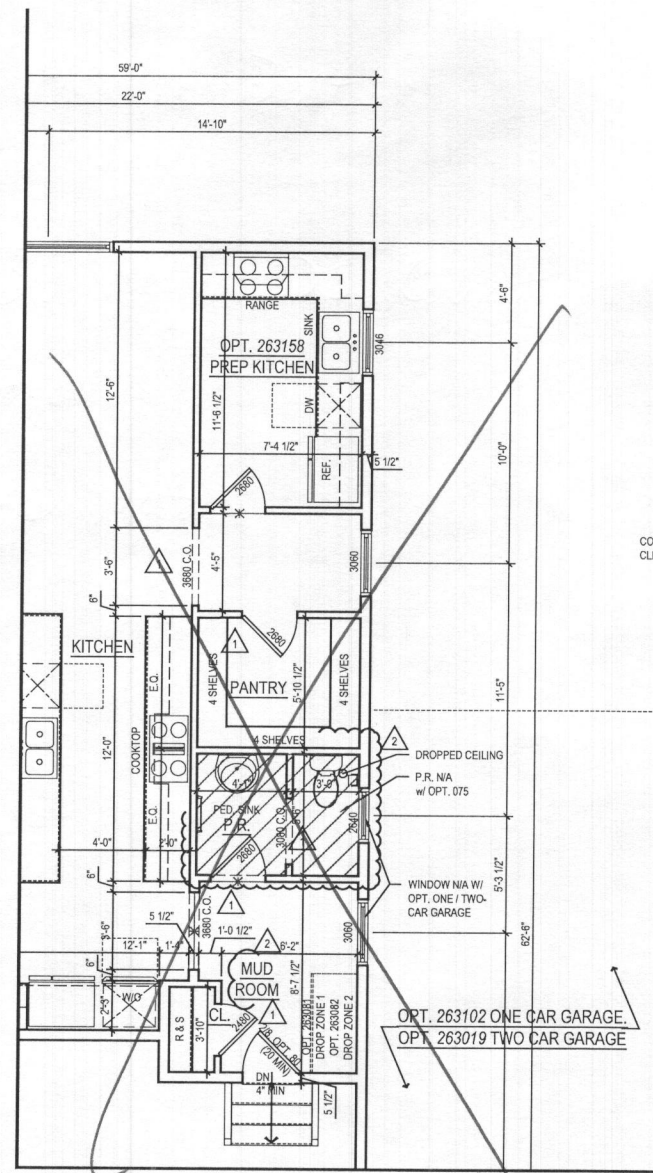
SHEET TITLE:

NO.	DESCRIPTION	DATE
	BID SET	05.25.19
	PERMIT SET	06.19.19
1	MD NEW STANDARDS	09.16.19
2	MR #220241	12.11.20

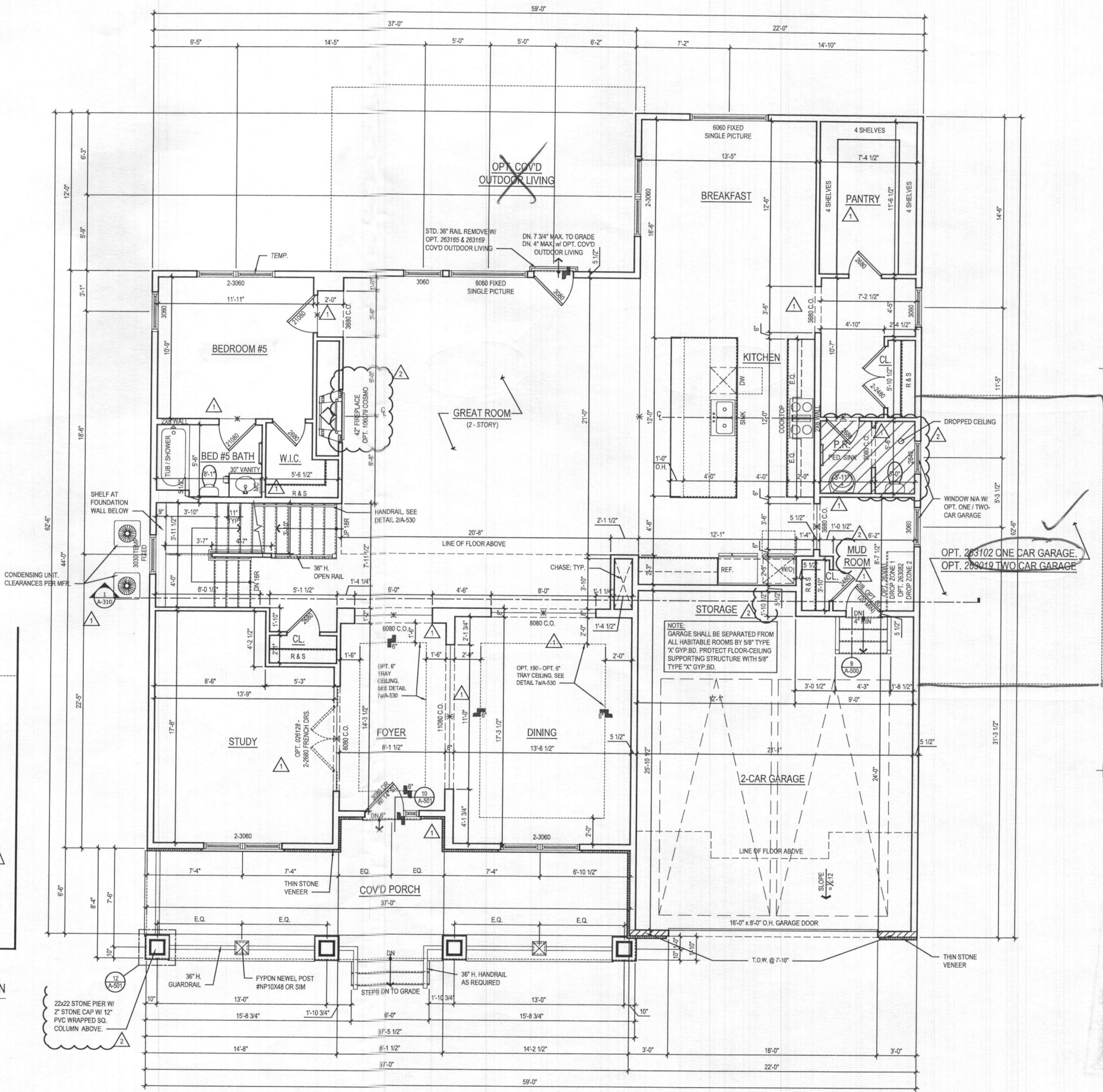
PROJECT No: TOL081a
 DRAWN BY: AC/RN
 CHECKED BY: AP
 PLOT DATE: Jan 20, 2021
 FILE NAME: TOL081a_A100.dwg

A-100a

- GENERAL PLAN NOTES**
- A. ALL WOOD STUD PARTITIONS NOT DIMENSIONED ARE TO BE 3 1/2" FOR INTERIOR AND 5 1/2" FOR EXTERIOR WALLS UNLESS OTHERWISE NOTED.
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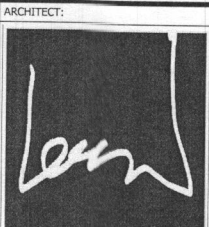


2 PART. FIRST FLOOR PLAN w/ OPT. 263158 - OPT. PREP KITCHEN
 A-110 SCALE: 1/4"=1'-0"
TOL0816.A110.DWG



1 FIRST FLOOR PLAN
 A-110 SCALE: 1/4"=1'-0"
TOL0816.A110.DWG

@ ELEV. 1 - CRAFTSMAN



lessard DESIGN
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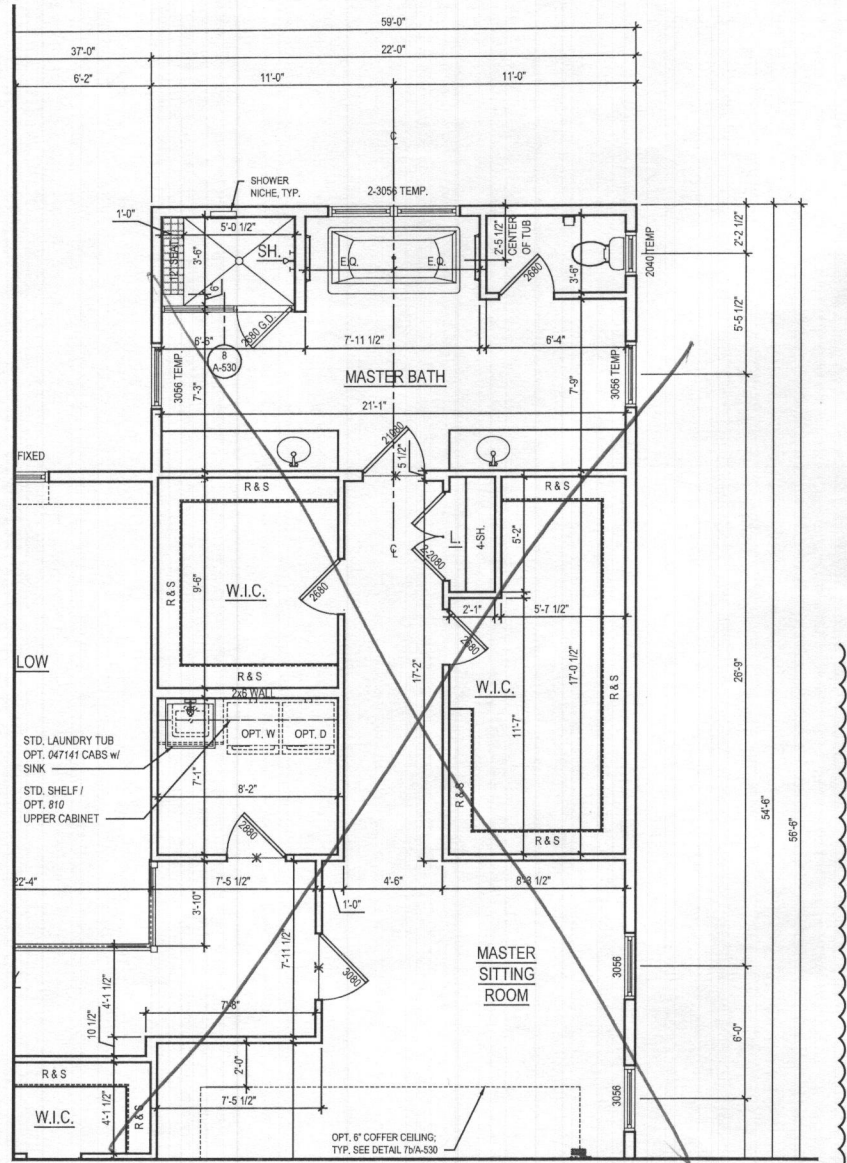
EXECUTIVE SERIES
 MARYLAND
PARKHURST
FLOOR PLANS

PROJECT NAME: _____ SHEET TITLE: _____

ISSUE / REVISION		
NO.	DESCRIPTION	DATE
BID SET		05.29.19
PERMIT SET		06.19.19
1	MD NEW STANDARDS	09.16.19
2	MR #220241	12.11.20

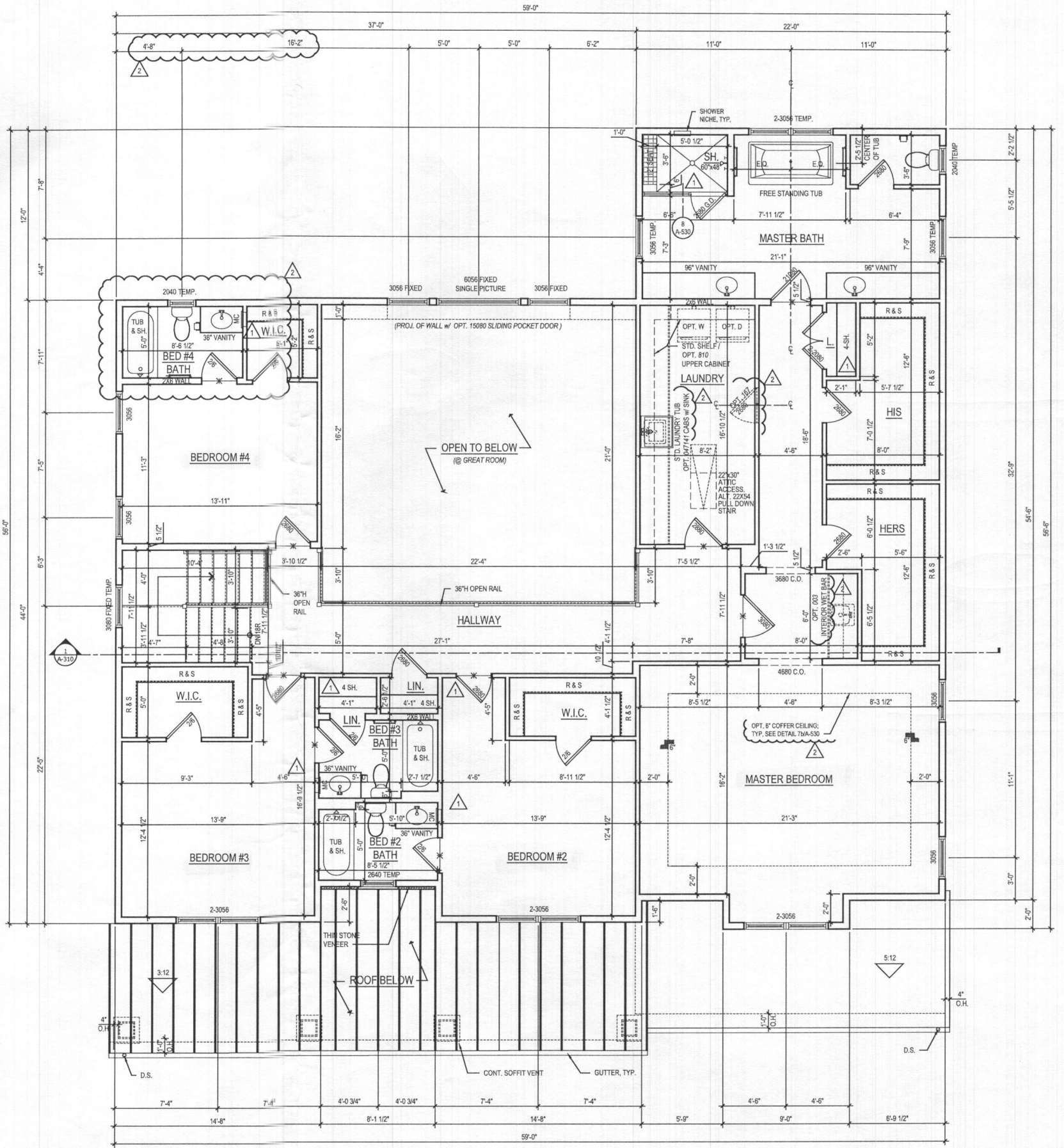
PROJECT No: TOL0816
 DRAWN BY: AC/RN
 CHECKED BY: AP
 PLOT DATE: Jan. 20, 2021
 FILE NAME: TOL0816_A110.DWG

A-110



2 PART. SECOND FLOOR PLAN W/ OPT. 030 - ADDITIONAL WALK IN CLOSET
 A-120 SCALE: 1/4"=1'-0"
 TOL081a_A120.DWG

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1 SECOND FLOOR PLAN
 A-120 SCALE: 1/4"=1'-0"
 TOL081a_A120.DWG

@ ELEV. 1 - CRAFTSMAN

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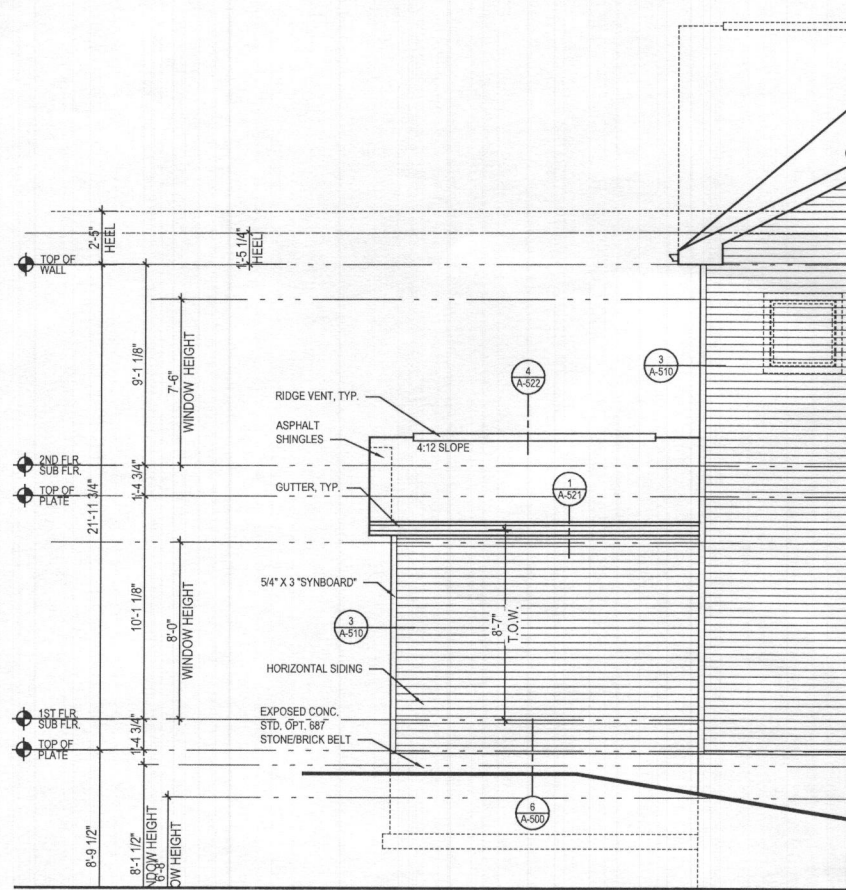
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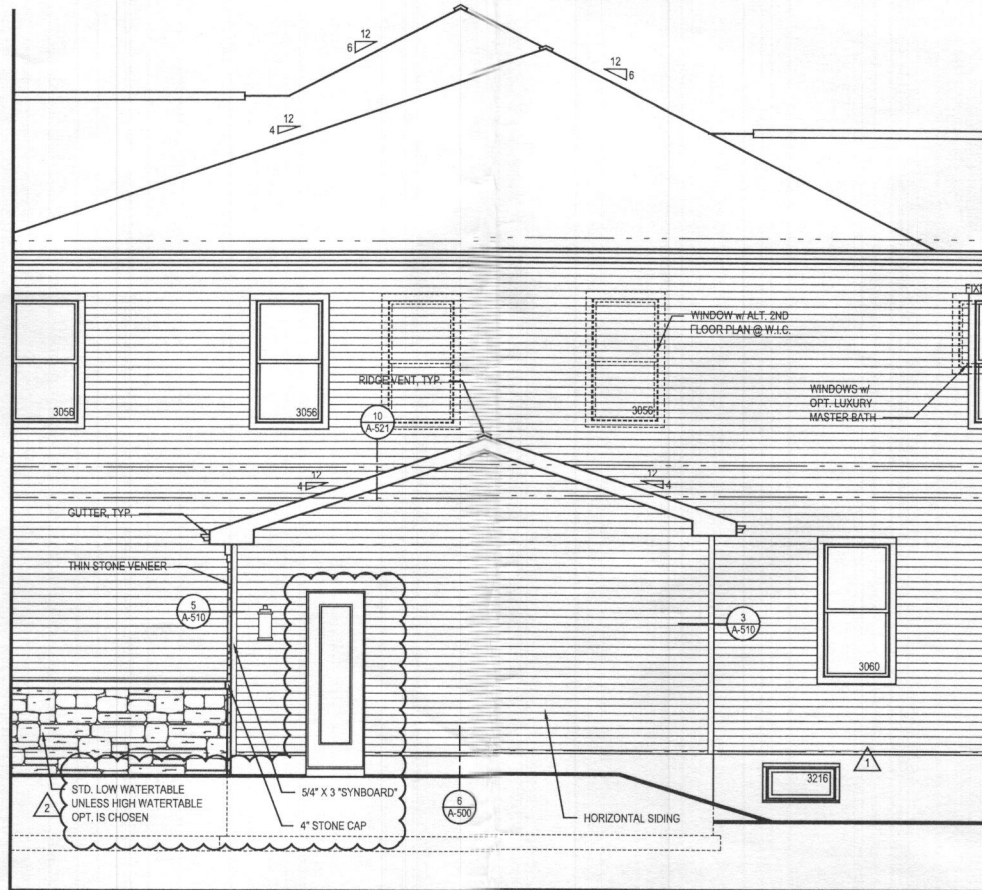
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PROJECT No: TOL081a
 DRAWN BY: AC/RJA
 CHECKED BY: AP
 PLOT DATE: Jan. 20, 2021
 FILE NAME: TOL081a_A120.dwg

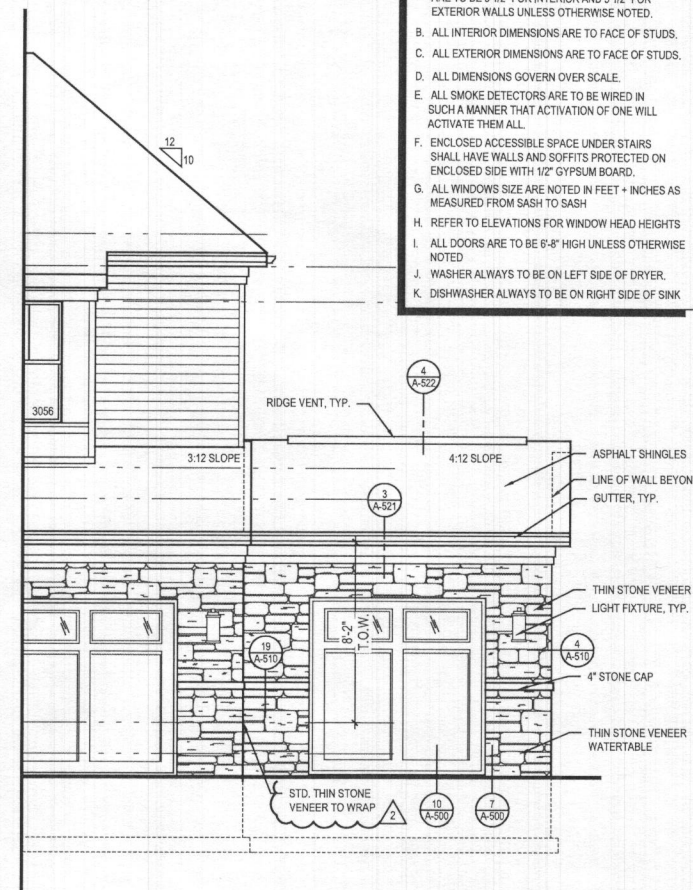
A-120



6 PART. REAR ELEVATION w/ OPT. 263102 - ONE CAR GARAGE
 SCALE: 1/4"=1'-0"
 ELEV. 1 - SHOWN



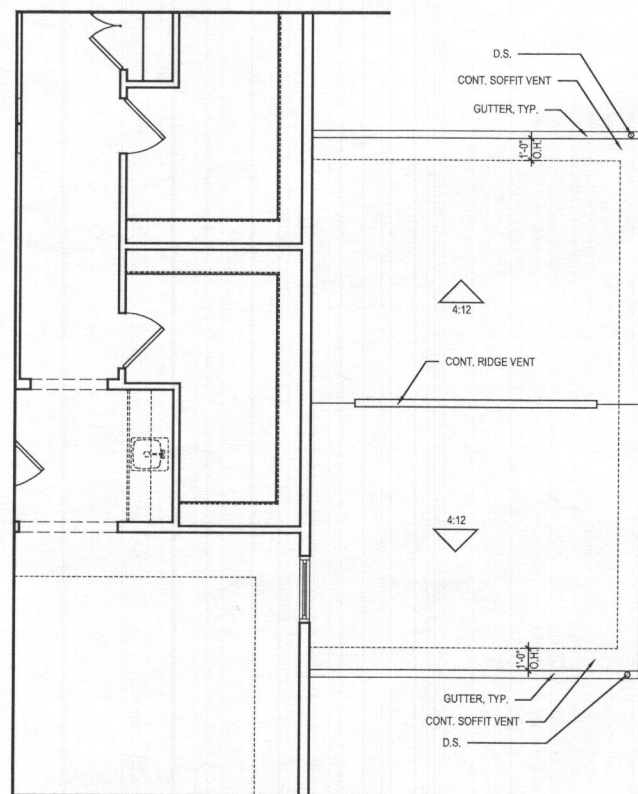
5 PART. RIGHT SIDE ELEVATION w/ OPT. 263102 - ONE CAR GARAGE
 SCALE: 1/4"=1'-0"
 ELEV. 1 - SHOWN



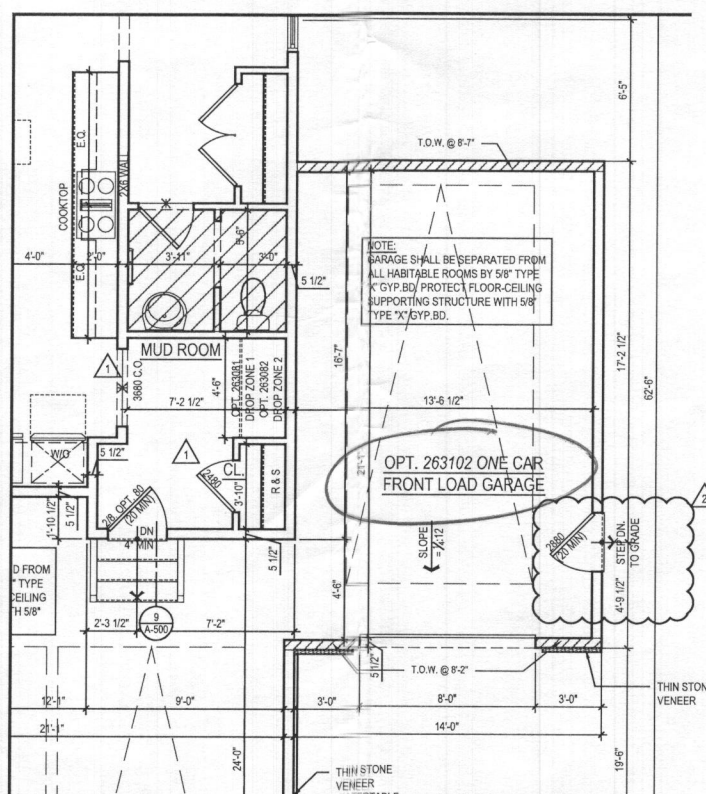
4 PART. FRONT ELEVATION w/ OPT. 263102 - ONE CAR GARAGE
 SCALE: 1/4"=1'-0"
 ELEV. 1 - SHOWN

GENERAL PLAN NOTES

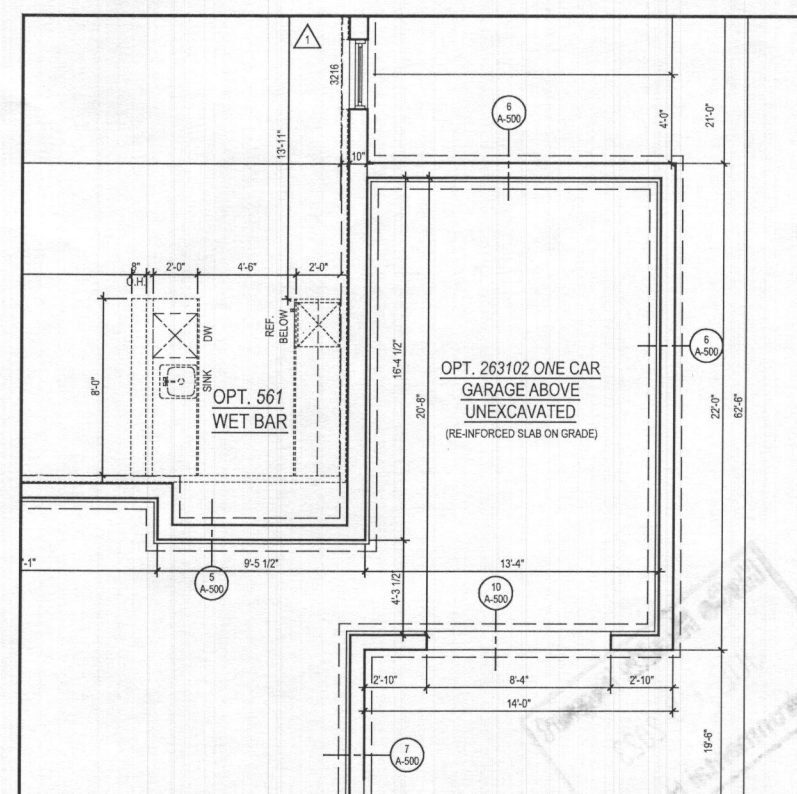
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3 PART. SECOND FLOOR PLAN w/ OPT. 263102 - ONE CAR GARAGE
 SCALE: 1/4"=1'-0"
 TOL081A_A401.DWG



2 PART. FIRST FLOOR PLAN w/ OPT. 263102 - ONE CAR GARAGE
 SCALE: 1/4"=1'-0"
 TOL081A_A401.DWG



1 PART. BASEMENT FLOOR PLAN w/ OPT. 263102 - ONE CAR GARAGE
 SCALE: 1/4"=1'-0"
 TOL081A_A401.DWG

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PROJECT NAME: EXECUTIVE SERIES MARYLAND

SHEET TITLE: PARKHURST OPTIONS

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 DRAWN BY: ACJ/RN
 CHECKED BY: AP
 PLOT DATE: Jan 20, 2023
 FILE NAME: TOL081A_A401.dwg

A-401

File No: TOL081a_A401.dwg
 Plot By: anak