

KENNEDY RESIDENCE

13522 ORION DR | DAYTON, MD | 21036
SIDE ADDITION

MUNICIPAL STAMPS

ROMERO ARCHITECTS, LLC
4106 GALLATIN STREET
HYATTSVILLE MD 20781
202.436.2200
info@romero-architects.com



REVISIONS:

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SIDE ADDITION
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PROFESSIONAL CERTIFICATION:
I, MICHAEL ROMERO, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 19646, EXPIRATION DATE JULY 11, 2022.

DATE	PURPOSE
06.09.21	SCHEMATIC DESIGN 1
06.23.21	SCHEMATIC DESIGN 2
06.30.21	SCHEMATIC DESIGN 3
07.16.21	SCHEMATIC DESIGN 3

DRAWN BY:
MJR
PROJECT NUMBER:
21027

COVER SHEET
AND GENERAL
NOTES

CS

PROJECT TEAM GRAPHIC SYMBOLS CODE ANALYSIS

OWNERS:
EDWARD AND LORRAINE KENNEDY
13522 ORION DRIVE
DAYTON, MD 21036
(410) 531-3365

ARCHITECT:
MICHAEL ROMERO
ROMERO ARCHITECTS, LLC
4106 GALLATIN STREET
HYATTSVILLE MD 20781
(202) 436-2200

STRUCTURAL ENGINEER:
GEORGE GERBER, P.E.
1309 BALLANTRAE COURT
MCLEAN, VA 22101
(703) 442-0903

- SECTION CALLOUT SHEET NUMBER
- DETAIL CALLOUT SHEET NUMBER
- ELEVATION CALLOUT SHEET NUMBER
- DETAIL NUMBER SHEET NUMBER
- INTERIOR ELEVATION SHEET NUMBER
- WALL TYPE DESIGNATION FIRE RATING
- FLOOR/ROOF ASSEMBLY FIRE RATING
- SPOT ELEVATION
- WINDOW IDENTIFIER
- DOOR IDENTIFIER
- FLOOR HEIGHT IDENTIFIER
- KEYNOTE
- HANDICAPPED
- ROOM FINISH KEY
- REVISION INDICATOR

SCOPE OF WORK:
AN EXISTING TWO STORY SINGLE FAMILY HOME TO HAVE A ONE STORY SIDE ADDITION FOR A MASTER SUITE.

LOT: 12
BLOCK: A

CODE: IRC 2018 & ALL APPLICABLE HOWARD COUNTY ADOPTED CODES
RR-DEO
CONSTRUCTION TYPE: 5B
NO. OF STORIES: 2
SPRINKLERED: NO

ALLOWED HEIGHT: 40'-0" MAX. HEIGHT
PROPOSED HEIGHT: NO CHANGE

SETBACKS:
FRONT YARD 50'-0"
SIDE YARD 10'-0"
REAR YARD 30'-0"

DESIGN CRITERIA:
GROUND SNOW LOAD 35 PSF
WIND SPEED 115 MPH
SEISMIC DESIGN CATEGORY B
WEATHERING SEVERE
FROST DEPTH LINE 30 IN.
TERMITE MODERATE TO HEAVY
DECAY SLIGHT TO MODERATE
WINTER DESIGN TEMP. 13° F
ICE SHIELD UNDERLAYMENT REQ'D YES
FLOOD HAZARDS JULY 2, 1979
AIR FREEZING INDEX 300
MEAN ANNUAL TEMP. 55° F

SHEET INDEX

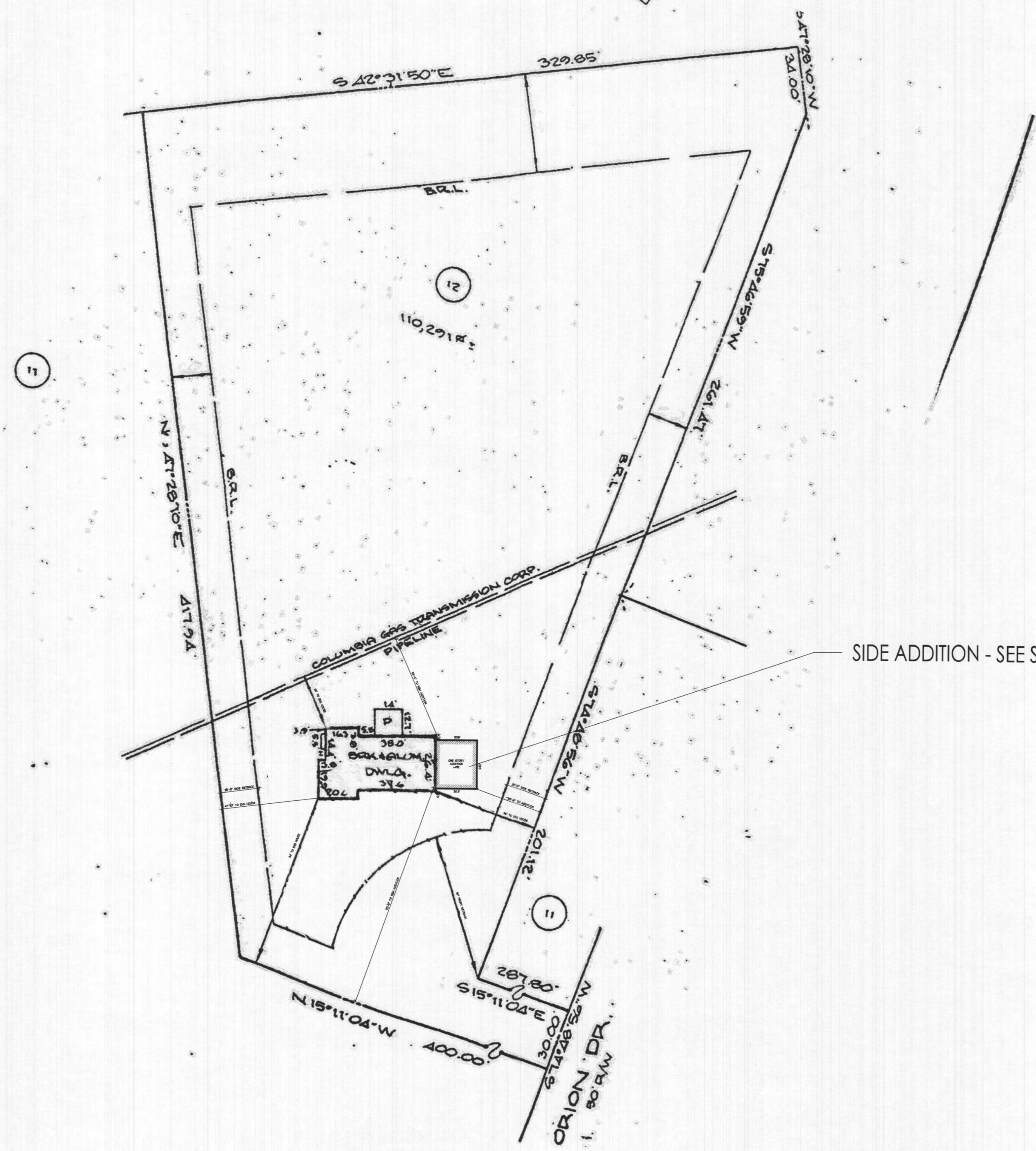
- ARCHITECTURAL**
- CS COVER SHEET
 - SP1 OVERALL SITE PLAN
 - SP2 DETAILED SITE PLAN
 - A1 EXISTING / DEMO FLOOR PLANS
 - A1.1 PROPOSED FLOOR PLANS
 - A2 EXTERIOR ELEVATIONS
 - A3 BUILDING SECTION & DETAILS
 - A4 DETAILS
 - A4.1 DETAILS
 - S1 STRUCTURAL PLANS
 - S2 STRUCTURAL PLANS
 - S3 WIND BRACING PLANS
 - E1 ELECTRICAL PLANS

FLOOR AREA

FLOOR LIVING AREA CALCULATIONS:

EXISTING FLOOR AREA	
FIRST FLOOR	1,247 SQ. FT.
SECOND FLOOR	1,065 SQ. FT.
TOTAL EXISTING	2,312 SQ. FT.

PROPOSED FLOOR AREA	
FIRST FLOOR	1,739 SQ. FT.
SECOND FLOOR	1,065 SQ. FT.
TOTAL PROPOSED	2,804 SQ. FT.

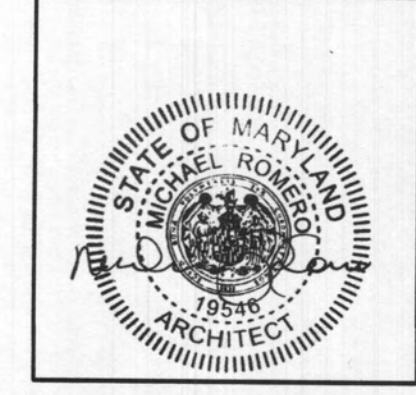


SIDE ADDITION - SEE SP2 FOR DETAILS

OVERALL
SITE PLAN
NOT TO SCALE



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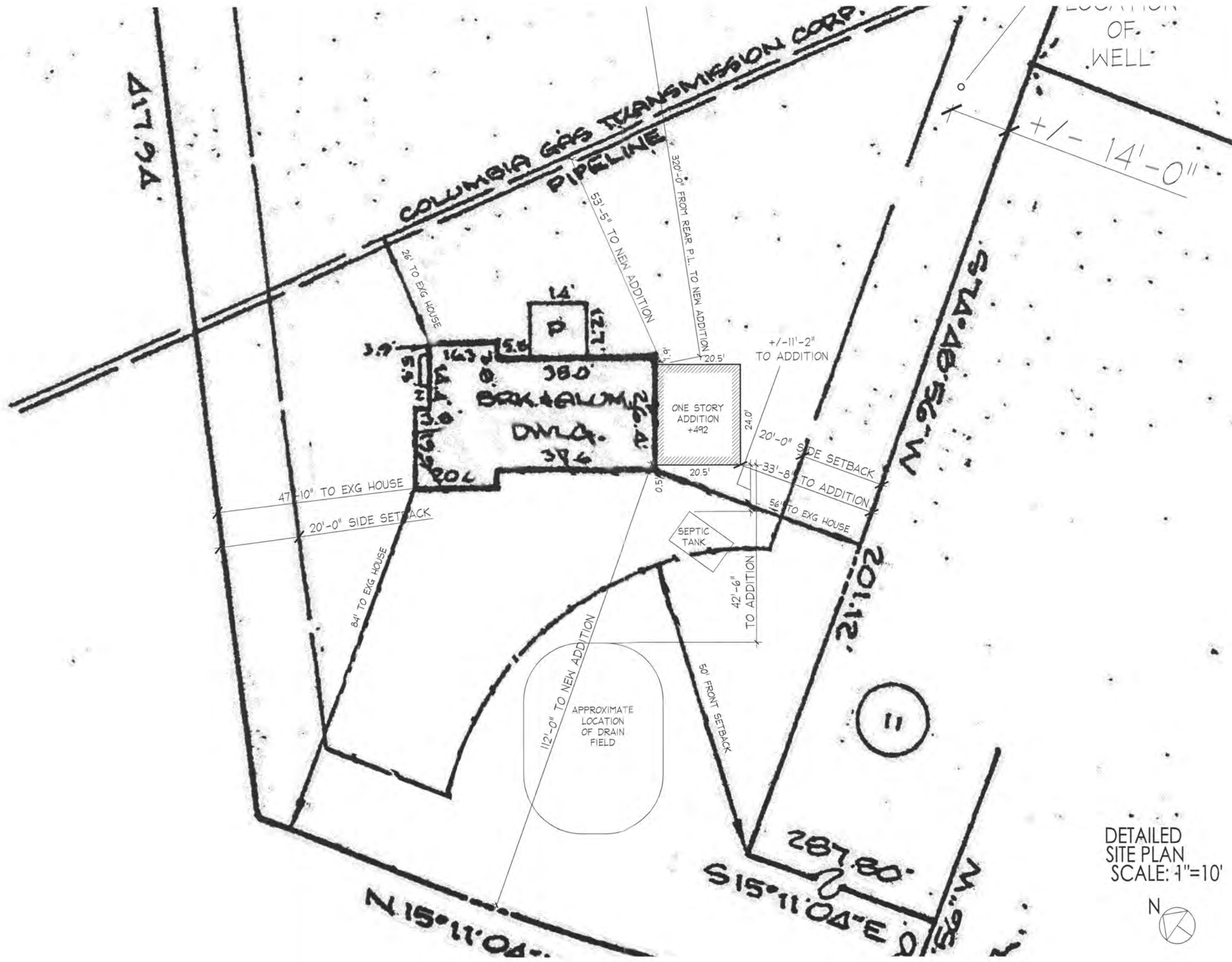
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19546. EXPIRATION DATE JULY 11,
2022.

PRINTING LOG	
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06.23.21	SCHEMATIC DESIGN 2
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OVERALL SITE
PLAN

SP1



DETAILED SITE PLAN
SCALE: 1"=10'



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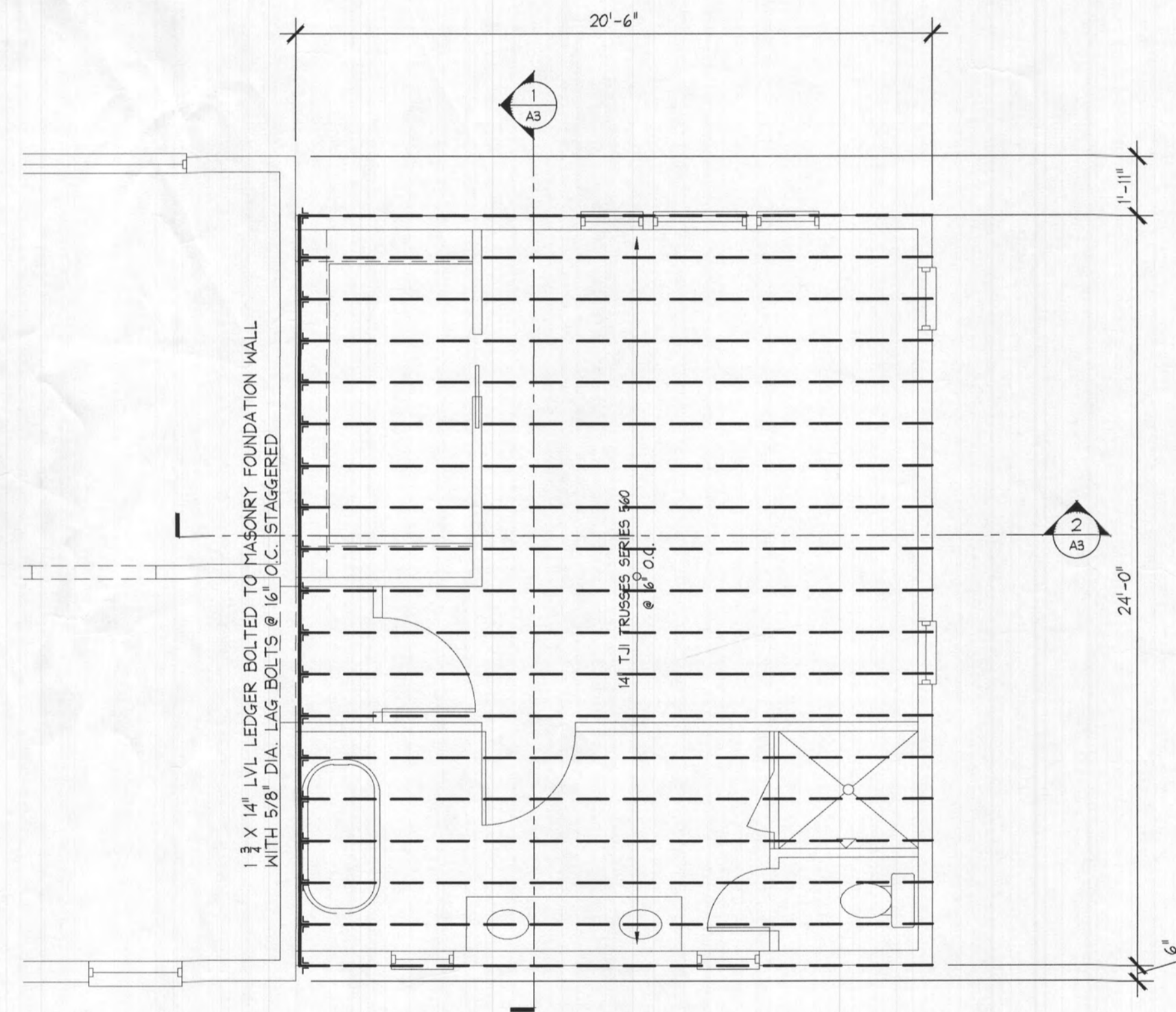
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MICHAEL ROMERO, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 1646, EXPIRATION DATE JULY 11, 2024.

PRINTING LOG	
DATE	PURPOSE
06.29.21	SCHEMATIC DESIGN 1
06.23.21	SCHEMATIC DESIGN 2
06.23.21	SCHEMATIC DESIGN 3
07.14.21	SCHEMATIC DESIGN 3
12.05.22	PERMIT SET

DRAWN BY:
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DETAILED SITE PLAN

SP2



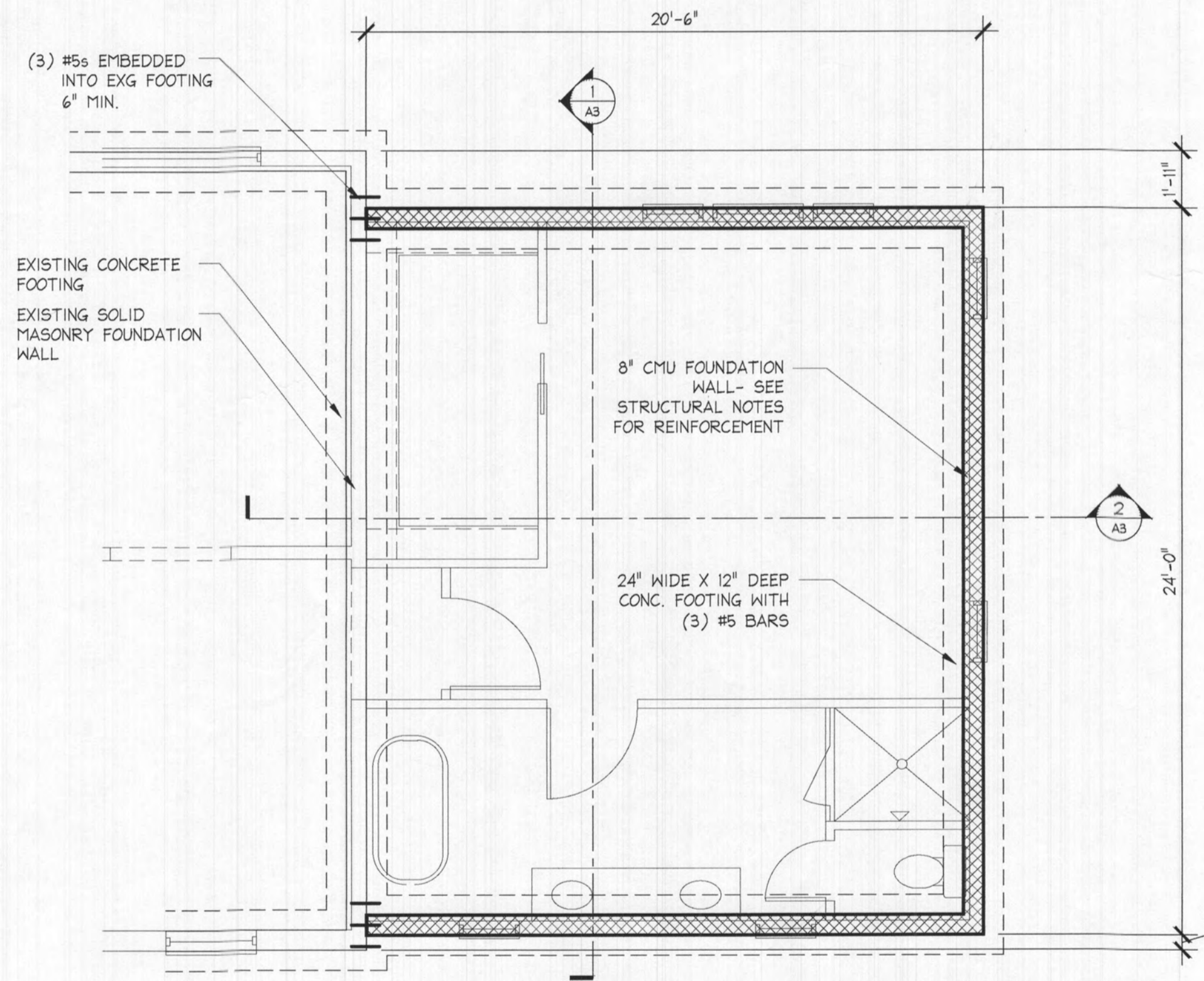
2 FIRST FLOOR FRAMING PLAN
 S1 1/4" = 1'-0"

CRAWLSPACE VENTILATION REQUIREMENT:
 1 SF OF NFA PER 150 SF OF CRAWL SPACE

CRAWLSPACE AREA	492
NFA REQUIRED	4 SF OR 576 SI

(8) 8X16 FOUNDATION WALL VENTS (74 SI NFA EACH)

NFA PROVIDED	592 SI
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1 FOUNDATION PLAN
 S1 1/4" = 1'-0"

STRUCTURAL NOTES:

- USE HOWARD COUNTY, MD. BUILDING CODE IRC 2018.
- LOADS- LIVE - FLOOR RESIDENTIAL - 40PSF; DECK - 60PSF; ROOF - 35 PSF - SNOW; WIND 115 MPH EXPOSURE B IMPORTANCE 1; SEISMIC LOADS ACCOMMODATED BY EXISTING BUILDING. WIND ACCOMMODATED BY CONTINUOUS SHEATHING METHOD.
- FOUNDATIONS ARE DESIGNED FOR 2000 PSF SOIL. FOOTING BOTTOMS SHALL BE AT LEAST 30" BELOW GRADE AND A MINIMUM OF 12" INTO EXISTING NATURAL SOIL. EXISTING FOUNDATIONS ARE ADEQUATE FOR NEW LOADS.
- CONCRETE - 3000 PSI @ 28 DAYS MINIMUM. REINFORCING STEEL ASTM A615 GRADE 60. USE ACI STANDARDS.
- FRAMING LUMBER SHALL BE STRUCTURAL GRADE Fb 1200PSI. USE HURRICANE CLIPS FOR ALL ROOF RAFTERS AND TRUSSES. USE MANUFACTURERS STANDARDS FOR MANUFACTURED LUMBER. LVL'S Fb=2650PSI, e=1.9M PSI.
- CONC. BLOCK REINFORCEMENT: USE 9 GAGE TRUSS-TYPE HORIZONTAL REINFORCEMENT EVERY OTHER COURSE (CUR-O-WALL OR EQUAL). VERTICAL REINFORCEMENT: #5 BARS @ 32" O.C. - NEEDED ONLY WHERE DIRT IS RETAINED ABOVE 36" HIGH. ALL CONC. BLOCK CELLS TO BE GROUT SOLID.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD.
- FLOOR & ROOF TRUSSES BY TRUSS MANUFACTURER. SUBMIT SEALED SHOP DRAWINGS.
- STRUCTURAL STEEL SHALL BE A36. USE AISC STANDARDS.
- CONTINUOUS EXTERIOR STRUCTURAL PANEL SHEATHING: INSTALL 3/4" - 4X8 APA EXT OSB SHEATHING ON ALL EXTERIOR FRAMED WALLS AND INTERIOR WOOD FRAMED SHEAR WALLS (IF ANY) PER SECTION R602.10.4 OF 2012 IRC 'CONTINUOUS SHEATHING'.
- CONSTRUCT ALL EXTERIOR CORNERS WITH NAILING PATTERN AS INDICATED IN 2012 IRC, FIGURE R602.10.4.4(1) 'TYPICAL EXTERIOR FRAMING FOR CONTINUOUS SHEATHING'.
- ROOF: 3/4" - 4X8 EXT OSB OR ZIP/GUARD SHEATHING WITH METAL CLIPS BETWEEN SHEETS. SEE SECTION FOR ACTUAL PRODUCT SPECIFIED.
- FLOOR SHEATHING: FLOOR DECKING SHALL BE 23/32 APA RATED FLOOR SHEATHING. GLUED AND NAILED WITH 0.131X3" COMMON SMOOTH AT 6" O.C. ALONG PANEL EDGES AND 12" O.C. ALONG INTERMEDIATE SUPPORTS. STAPLES ARE NOT ALLOWED. FLOOR DECKING SHALL BE GLUED AND NAILED PER APA RECOMMENDATIONS FOR THE STURD-I-FLOOR SYSTEM AND IN ACCORDANCE WITH THE SCHEDULE PROVIDED.

2X4 STUD BEARING WALL

ALL NEW EXTERIOR OPENINGS TO HAVE DOUBLE (2) 2X8 HEADERS, U.N.O.

POSTS UNDER HEADERS TO BE ONE KING AND ONE JACK STUD, U.N.O.

NEW DOUBLE WINDOWS TO HAVE TWO JACK STUDS BETWEEN UNLESS FACTORY MULLED

HEADER SCHEDULE
 EXTERIOR OPENINGS TO HAVE A MINIMUM (3) 2X6 UP TO 36" WIDE, (3) 2X8 UP TO 48" WIDE AND (3) 2X10 UP TO 60" WIDE.

INTERIOR BEARING WALLS ARE TO BE 2X4 @ 16" O.C. UNO

NOTE: USE CONTINUOUS WALL BRACING METHOD (#3) PER IRC. R602.10.4

CS-WSP = 1/2" WOOD STRUCTURAL PANEL (SEE STRUCTURAL NOTES FOR CONNECTION CRITERIA)

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PROFESSIONAL CERTIFICATION:
 I, GEORGE GERBER, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 43299, EXPIRATION DATE 12/28/2022

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DATE	PURPOSE
06.09.21	SCHEMATIC DESIGN 1
06.23.21	SCHEMATIC DESIGN 2
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DRAWN BY:
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STRUCTURAL
 PLANS

S1

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EXG/DEMO
 FLOOR PLANS

A1

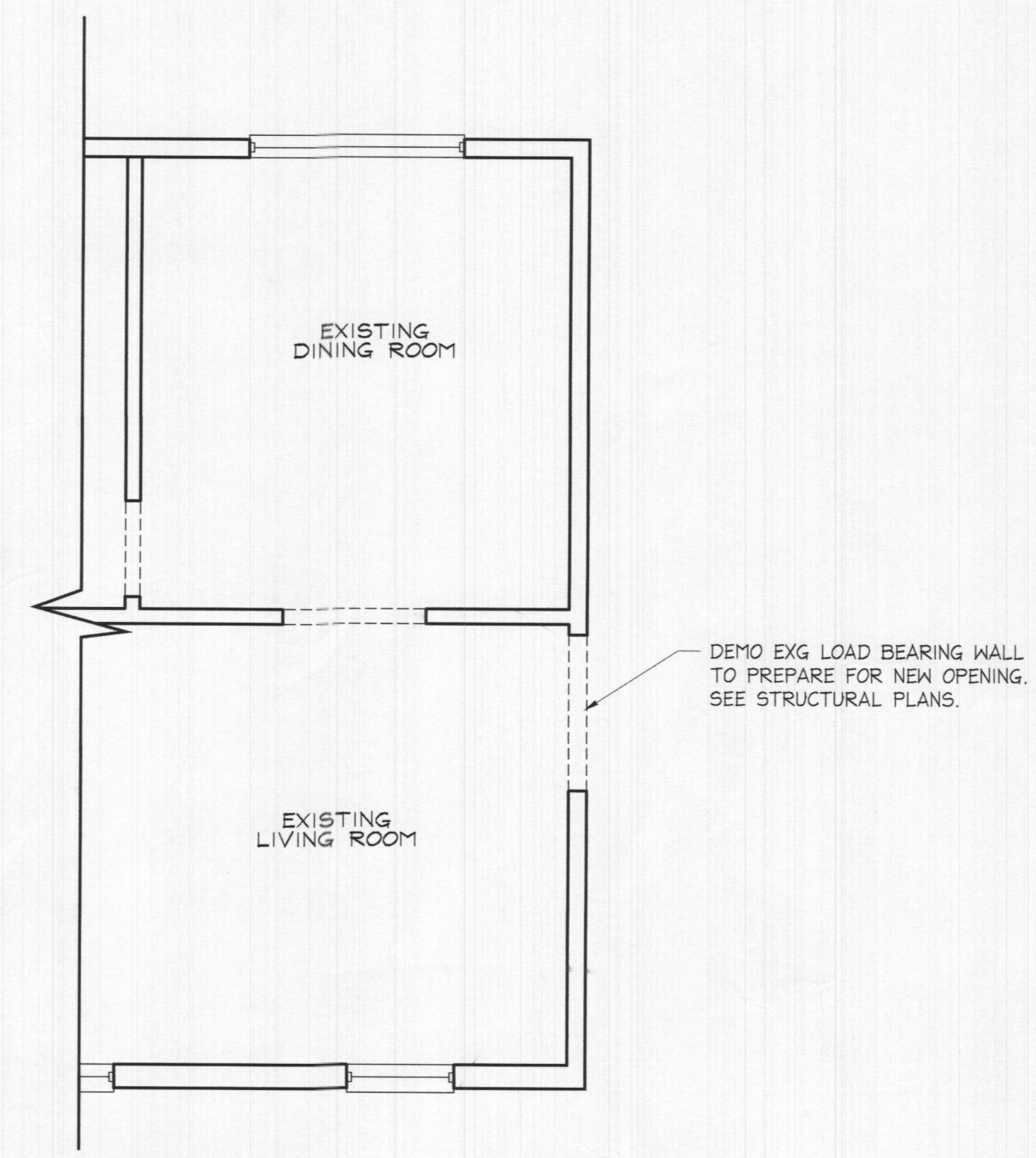
GENERAL DEMO NOTES:

- DEMOLITION DRAWINGS ARE SCHEMATIC AND ARE INCLUDED TO DESCRIBE THE DEMOLITION WORK IN A GENERAL MANNER.
- EXISTING CONSTRUCTION SHALL REMAIN UNLESS NOTED OTHERWISE AND SHALL BE PROTECTED FROM DAMAGE DUE TO DEMOLITION, CONSTRUCTION, THEFT, VANDALISM, MOISTURE, WEATHER, ETC. ALL DISTURBED EXISTING ITEMS SHALL BE RESTORED TO ORIGINAL CONDITION
- SEAL OFF UNDISTURBED AREAS OF THE BUILDING FROM DEMOLITION AREAS TO PREVENT THE INFILTRATION OF DUST AND DEBRIS. SECURE BUILDING TO PREVENT UNWANTED ENTRY THROUGH OPENINGS CREATED DURING CONSTRUCTION.
- EXISTING CONCEALED ELEMENTS WERE NOT NECESSARILY VERIFIED PRIOR TO DEMOLITION. ALL DISCOVERIES OF UNIDENTIFIED OR INCORRECTLY LOCATED EXISTING ELEMENTS SHALL BE REPORTED TO THE ARCHITECT BEFORE REMOVAL FOR FINAL DISPOSAL.
- ALL ITEMS DESIGNATED FOR RE-USE TO BE VERIFIED BY OWNER. PROTECT ANY STORED ITEMS TO BE RE-USED FROM DAMAGE DUE TO DEMOLITION, CONSTRUCTION, THEFT, VANDALISM, MOISTURE, WEATHER, ETC.
- ALL DEBRIS BECOMES THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE PREMISES AT THE CONTRACTOR'S EXPENSE AND DISPOSE OF ACCORDING TO LOCAL CODES AND GOVERNING AUTHORITIES.

GENERAL NOTES:

- ALL DIMENSIONS ARE TO FACE OF STUD, CONCRETE OR MASONRY ON NEW WALLS, AND TO FACE OF FINISH OF EXISTING WALLS.
- ANGLED WALLS ARE 45° TO ADJACENT WALLS, U.N.O.
- DOORS TO BE LOCATED 4" FROM WALL ON HINGE SIDE OR CENTER OF THE SPACE, U.N.O.

FLOOR PLAN LEGEND	
	EXISTING WALL TO REMAIN
	NEW INTERIOR 2x4 STUD WALL, U.N.O.
	NEW EXTERIOR 2x6 STUD WALL; R-20 MIN. INSUL.
	NEW 2x4 STUD WALL; R-13 MIN. INSUL.
	NEW 2x4 FURRED WALL (STUDS TURNED), R-13 MIN. INSUL.
	NEW 8" CMU WALL, U.N.O.
	NEW BRICK MASONRY WALL OR PIER
	EXISTING WALL TO BE REMOVED
	EXISTING ITEM TO BE REMOVED
	8'-0" CEILING HEIGHT INDICATOR



1 FIRST FLOOR EXG/DEMO PLAN
 A1 1/4" = 1'-0"



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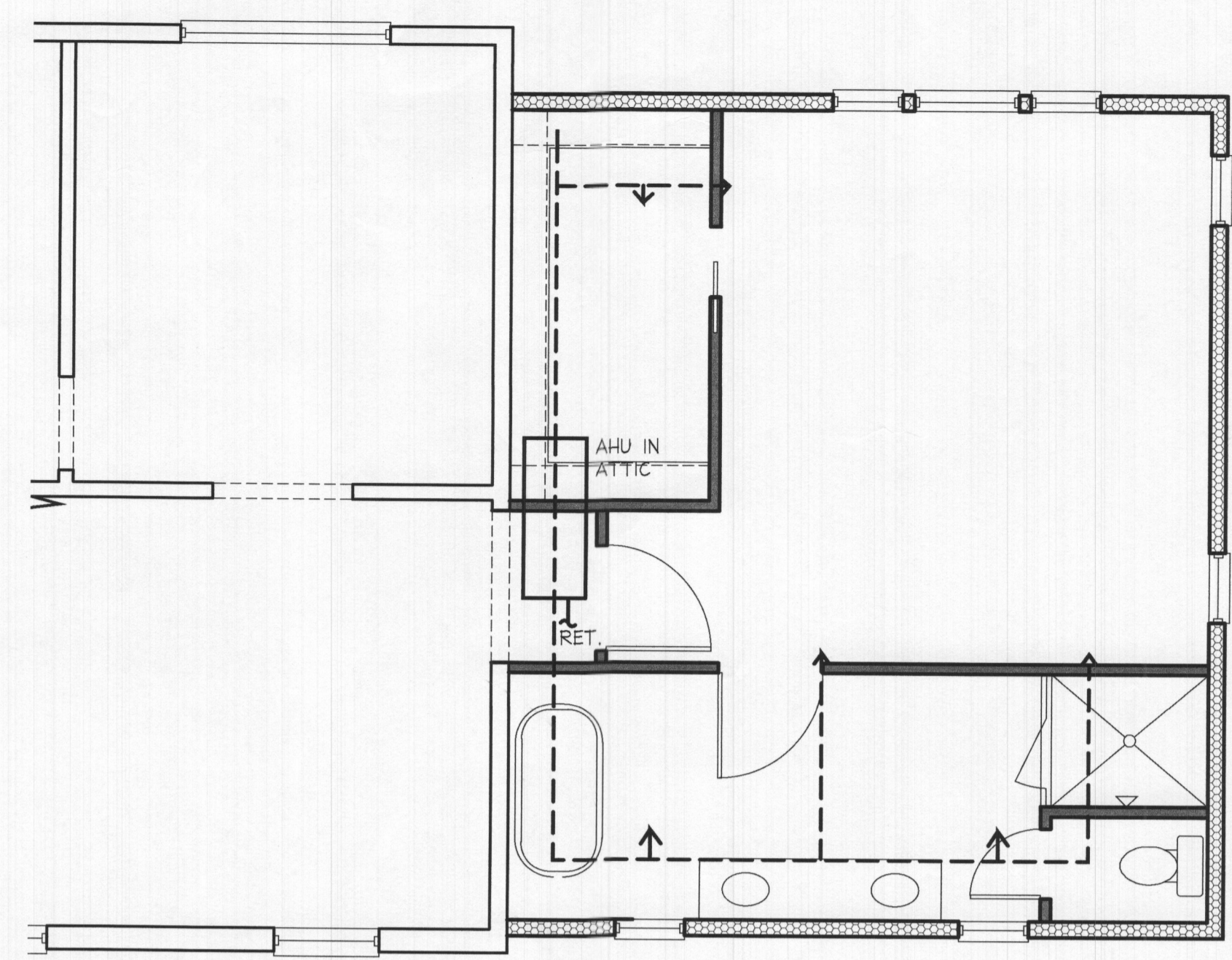
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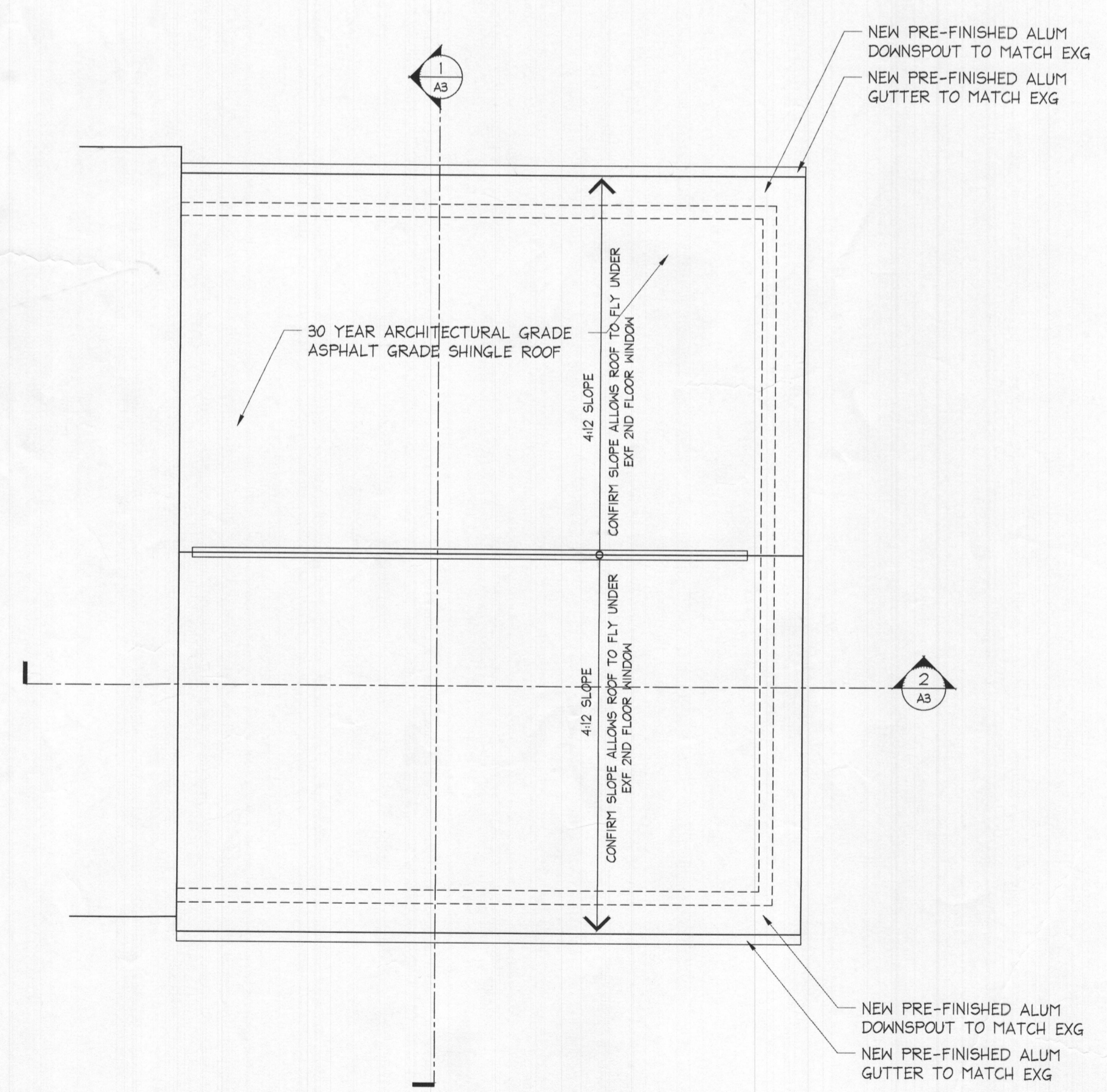
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PROPOSED FLOOR PLANS

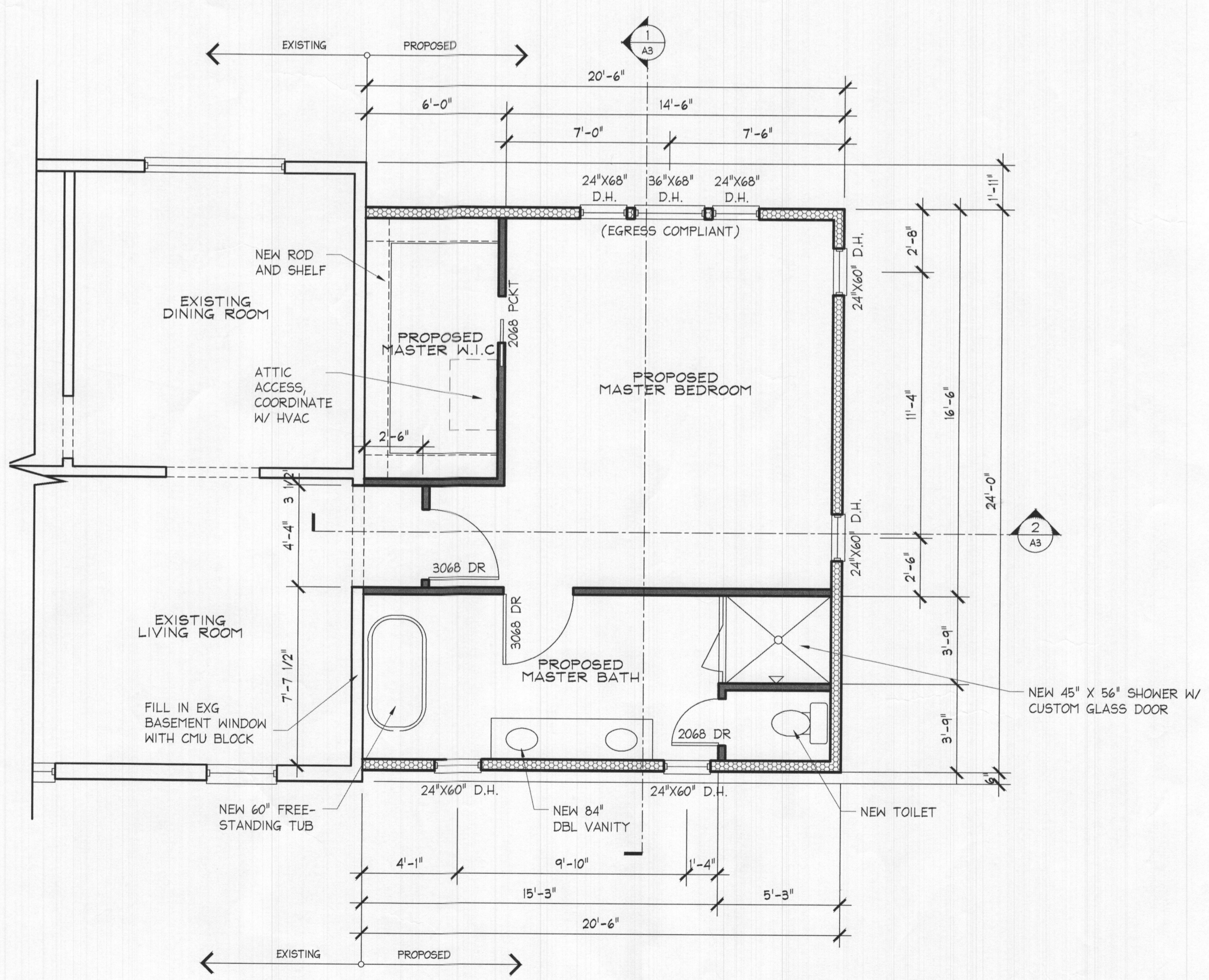
A1.1



3 PROPOSED SCHEMATIC DUCT LAYOUT
 A1.1 1/4" = 1'-0"



2 PROPOSED ROOF PLAN
 A1.1 1/4" = 1'-0"



1 PROPOSED FIRST FLOOR PLAN
 A1.1 1/4" = 1'-0"

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