

Bureau of Environmental Health

8930 Stanford Boulevard, Columbia, MD 21045

Main: 410-313-2640 | Fax: 410-313-2648

TDD 410-313-2323 | Toll Free 1-866-313-6300

www.hchealth.org

Facebook: www.facebook.com/hocohealth

Twitter: [HowardCoHealthDep](https://twitter.com/HowardCoHealthDep)

Maura J. Rossman, M.D., Health Officer

Date: March 10, 2021

To: David Tyler Fields
1100 Henryton Rd.
Marriottsville, MD 21104

Re: Percolation Test Report
1070 Henryton Rd.
Marriottsville, MD 21104

Percolation tests were conducted at 1070 Henryton Rd. (Tax Map 10, Parcel 159) on March 5th, 2021. Test and profile descriptions were documented for locations 405, 406, 407, 408, 409, 410, 411 and 412. All test locations passed.

All percolation tests conducted were standard tests, measuring rate of fall for a pre-wet period followed by measurement and recordation of the time required for the water level to drop 1 inch. Areas that may be included in a septic reserve area are represented by test locations having satisfactory soil condition. The sewage disposal area must be at least 10,000sqft and accommodate 3 systems (initial and two replacements). The next step in the process is to have an engineer/consultant submit a finalized percolation certification plan to the Health Dept. for review and signature.

Should you have any questions regarding this evaluation, please contact me. I may be reached at (410) 313-6357 or by email rfreemon@howardcountymd.gov

Respectfully,

A handwritten signature in black ink, appearing to read 'Robert Freemon', is written over a thin horizontal line.

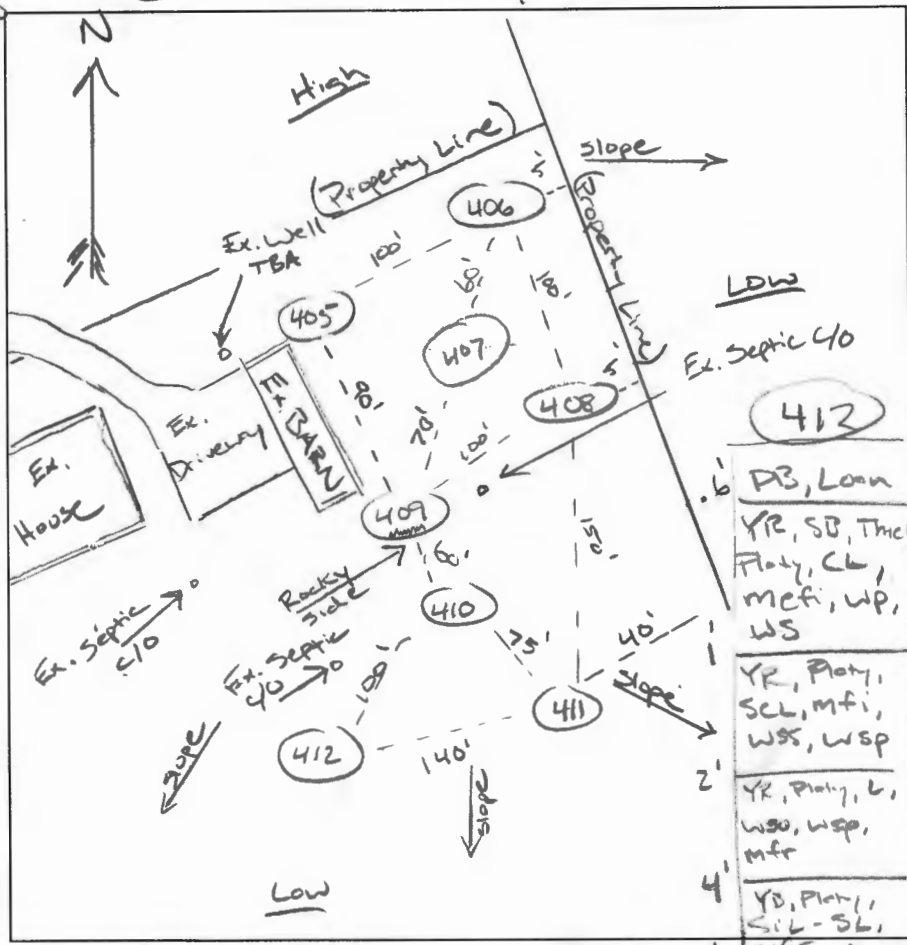
Robert Freemon
Bureau of Environmental Health
Well & Septic Program

Attachment: Percolation Field Notes

(1070 Henryton Rd)

AP AS 72923

405



407
 SB, Loan
 BB, Thick
 Platy, SBK,
 CL, mfi,
 WSS, WSP
 SB, Platy,
 L, mfr, WSP
 SB, YB, Thin
 Platy, SL+L Mix,
 mfr, wpo,
 WSO, At
 Layers of
 SL+L, Sand
 R, CL, Very
 fine mica

408
 DB, Loan
 R, SBK,
 CL, mfi, WSS,
 WP
 PD, YB, SB,
 Thin platy,
 L, mfr, WSS,
 Very fine mica
 ↓
 LYB,
 SL-LS

406
 DB, Loan
 SB, SBK,
 L, mfr,
 WSP
 LYB, Platy,
 SL, WPO,
 WSO
 LYB, YR, Platy,
 SL, mfr,
 WPO, WSO,
 Very fine mica
 ↓
 LS

DB, Loan
 SB, Platy,
 CL, mfi,
 WSS, WSP
 SB, Platy,
 Loan, mfr,
 WSP, WSO
 SB, YB, Platy,
 SL+SL Mix,
 mfr, some
 compacted
 pockets,
 Very fine
 mica

409
 DB, Loan
 SB, Platy,
 CL, mfi
 SB, YB, Platy,
 Loamy mfr
 LYB, YB, Platy,
 SL-LS Mix,
 30% Shaly
 Rx, (both
 walls >50%
 Shaly, most
 CW, some CS)
 Very fine mica

410
 DB, Loan
 YB, LYB,
 Platy,
 SL-SL Mix

411
 DB, L
 SB, SBK +
 Platy, CL,
 mfi, WSS, WSP
 SB, Platy, SL,
 mfi, WSP, WSO
 YB, SB, Platy,
 SL-LS,
 mfr, W

DATE	TEST #	DEPTH 4' Buff	START	BREAK 1" DROP	STOP 2" DROP	TIME OF 2ND INCH	P/F/H
3/5/2021	407	3 / 9	9:21	9:45	Pulled 10:23	SLOW	F
	407	4.5 / RS	10:30	10:42	11:10	28	P
	408	5 / 9	10:32	10:50	11:18	28	P
	406	4 / 8	11:37	11:48	12:09	21	P
	405	4 / 9	12:15	12:26	12:47	21	P
	409	4 / 9	1:00	1:34	Pulled 1:07	SLOW	F
	410	4 / 9	1:15	1:17	1:25	8	P
	411	4 / 9	2:05	2:16	2:22	6	P
	409	5 / RS	2:16	2:17	2:18	FAST	F
	409	5 / RP	2:24	2:27	2:31	4	P

REMARKS
 SANITARIAN RSF BACKHOE Jeff Allen OTHERS Tyler (owner)
 TEST HOLES USED IN SDA _____ AVG. PERC TIME _____ SQ. FT/BR _____
 TRENCH WIDTH _____ INLET DEPTH _____ MAX. BOT DEPTH _____ EFFECTIVE SW _____

3/5/2021	412	4/9	3:10	3:14	3:20	6	P
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1572923

Maura J. Rossman, M.D., Health Officer

**APPLICATION
FOR PERCOLATION TESTING AND SITE EVALUATION**

PROPERTY LOCATION

SUBDIVISION/PROPERTY NAME _____

PROPERTY ADDRESS 1070 Henrynton Rd Marriottsville 21104
STREET TOWN ZIP

TAX ACCOUNT # 03-298620 TAX MAP 10 GRID 1 PARCEL 159 LOT NO. _____ PROPOSED LOT SIZE (ACRES) 5.71
ZONING CATEGORY RRDEG TIER _____

PROPERTY OWNER(S) Brittany E. Fields

DAYTIME PHONE _____ CELL 413-878-4978 EMAIL Brittiefields@gmail.com

MAILING ADDRESS 1070 Henrynton Marriottsville MD 21104
STREET CITY, STATE ZIP

APPLICANT David Tyler Fields RELATIONSHIP TO OWNER: Brother

DAYTIME PHONE _____ CELL 443-542-8679 EMAIL Tyler@dtfields.com

MAILING ADDRESS 1100 Henrynton Rd Marriottsville 21104
STREET CITY, STATE ZIP

I HEREBY APPLY FOR THE NECESSARY TESTING/EVALUATION PRIOR TO ISSUANCE OF SEWAGE DISPOSAL SYSTEM PERMIT(S):

PROPERTY:

- SUBDIVISION: NUMBER OF LOTS INCLUDING RESIDUE: _____
- SUBDIVISION CLASSIFICATION (PER DEPT. OF PLANNING AND ZONING) MAJOR MINOR
- CONSTRUCT NEW OSDS ON UNDEVELOPED LOT
- REPAIR OR REPLACE FAILING OSDS
- UPGRADE EXISTING OSDS

BUILDING:

- RESIDENTIAL WITH 4-5 EXISTING OR PROPOSED BEDROOMS IN THE COMPLETED STRUCTURE
- COMMERCIAL (PROVIDE DETAIL OF TYPE OF USE AND NUMBERS OF EMPLOYEES/CUSTOMERS ON ACCOMPANYING PLAN)

IS THE PROPERTY WITHIN 2500 FEET OF ANY RESERVOIR?


- YES
- NO

AS APPLICANT, I UNDERSTAND THE FOLLOWING:

- THIS APPLICATION IS VALID FOR TWO(2) YEARS FROM DATE OF FEE PAYMENT AND APPROVAL IS BASED UPON HEALTH OFFICER SIGNATURE OF A PERC CERTIFICATION PLAN PRIOR TO EXPIRATION OF THIS PERMIT.
- THE APPLICATION FEE IS NON-REFUNDABLE
- THIS APPLICATION MUST BE ACCOMPANIED BY ALL APPLICABLE FEES AND A SUITABLE SITE PLAN IN ORDER TO BE PROCESSED
- THIS IS A PUBLIC DOCUMENT

I declare and affirm that to the best of my knowledge, the information contained herein is correct. I declare that I am the owner of the property or duly authorized to make this application on behalf of the owner. I agree to comply with all applicable state and county regulations.

By signature of this application, I hereby grant Howard County Health Department officials the right to enter onto the property for the purpose of inspecting the property as directly related to the requested permit/service.



SIGNATURE OF APPLICANT

1/8/21

DATE

**FISHER, COLLINS
& CARTER, INC.**

**CIVIL ENGINEERING CONSULTANTS
and LAND SURVEYORS**

Terrell A. Fisher, P.E., L.S.
Earl D. Collins, P.E.
Charles J. Crovo, Sr., P.E., L.S.

Paul W. Kriebel, P.E.
Mark L. Robel, P.L.S.
Aldo M. Vitucci, P.E.
Frank Manalansan II, L.S.
Stephanie Tuite, RLA, P.E., LEED AP BD&C

Transmittal

Via: Fax Mail Messenger E-Mail To Be Picked Up
 Fax (original to follow via U.S. Mail)

To: Bureau of Environmental Health 8930 Stanford Blvd Columbia, MD 21045	Attn: Jeff Fax: (410) 313-2648 Phone: (410) 313-2640
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From: Tony Fertitta	CC:
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Re: David Tyler Fields	W.O.# 20164
Date: April 28, 2020	Pages: 3 Page(s) Including this cover

We are forwarding:	<input checked="" type="checkbox"/> Prints	<input type="checkbox"/> Copy of Letter	<input type="checkbox"/> Specifications	<input type="checkbox"/> Shop drawings	<input type="checkbox"/> Other
	<input type="checkbox"/> Urgent	<input type="checkbox"/> For your use	<input type="checkbox"/> As requested	<input type="checkbox"/> For Review & Comment	

Remarks:

Robert:

Enclosed please find One (2) prints of the drawing entitled " Percolation Application Plat- "
"David Tyler Fields" and a check for \$506 dated March 11, 2020.

If we may be of any further assistance, please do not hesitate to call.

Very truly yours,

CONFIDENTIALITY NOTICE

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HOWARD COUNTY HEALTH DEPARTMENT

72

DATE 1/14/21

A/S

Received From

David Fields

PHONE #

410-3542-8679

For

Per App/1070 Herrington

CASH

CHECK

NO.

2413

Five hundred six

Dollars

\$ 506.00

Received By

J King



HOWARD COUNTY HEALTH DEPARTMENT

72923

DATE 1/14/21

Received From

David Fields

PHONE #

410-5502-8679

For

Penicillin 10/10/20 Henryton

CASH

CHECK

NO.

2413

Five hundred and no/100

Dollars

\$

500.00

Received By

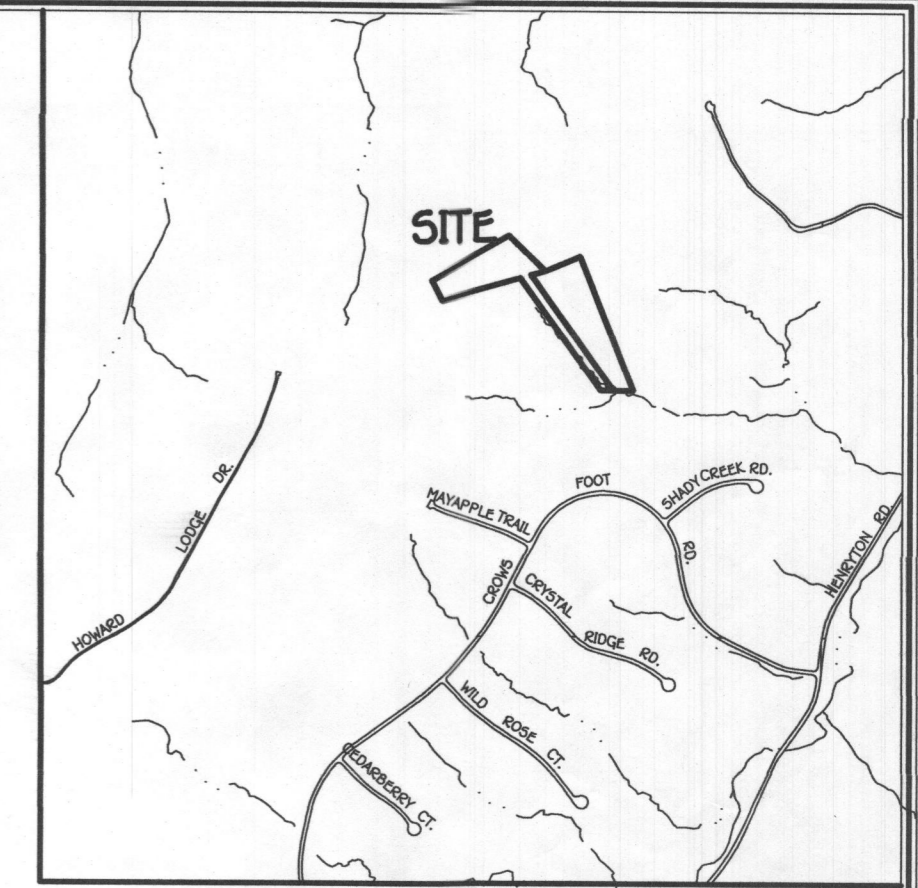
J King

LEGEND

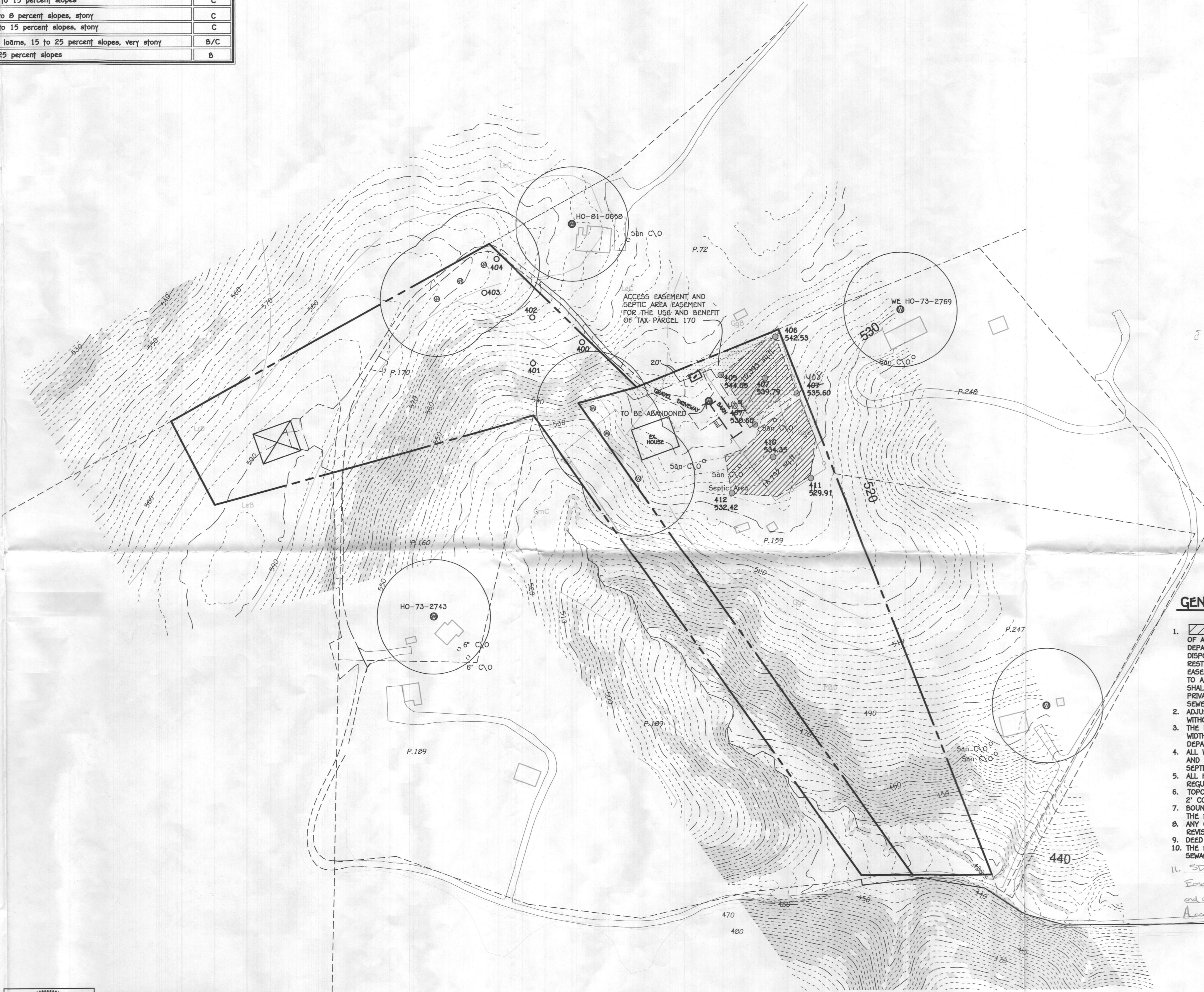
- EXISTING 2' CONTOURS
- - - EXISTING 10' CONTOURS
- EXISTING TREE LINE
- SOIL LINES AND TYPES
- ⊙ DENOTES EXISTING WELL
- DENOTES FAILED PERC
- DENOTES PASSED PERC
- ⊗ DENOTES PROPOSED HOUSE
- ▭ DENOTES 15%-24.9% SLOPES
- ▭ DENOTES 25% AND GREATER SLOPE
- ⊙ DENOTES PROPOSED WELL

SOILS LEGEND

SOIL	NAME	CLASS
GqB	Glenelg loam, 3 to 8 percent slopes	B
GqC	Glenelg loam, 8 to 15 percent slopes	B
GmC	Glenville silt loam, 8 to 15 percent slopes	C
LeB	Legore silt loam, 3 to 8 percent slopes, stony	C
LeC	Legore silt loam, 8 to 15 percent slopes, stony	C
LrD	Legore-Reily gravelly loams, 15 to 25 percent slopes, very stony	B/C
MdD	Manor loam, 15 to 25 percent slopes	B



VICINITY MAP
SCALE: 1" = 1200'



GENERAL NOTES:

1. THIS AREA DESIGNATES A PRIVATE SEWERAGE EASEMENT OF AT LEAST 10,000 SQUARE FEET AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF THE ENVIRONMENT FOR INDIVIDUAL SEWERAGE DISPOSAL IMPROVEMENTS OF ANY NATURE IN THIS AREA ARE RESTRICTED UNTIL PUBLIC SEWERAGE IS AVAILABLE. THESE EASEMENTS SHALL BECOME NULL AND VOID UPON CONNECTION TO A PUBLIC SEWERAGE SYSTEM. THE COUNTY HEALTH OFFICER SHALL HAVE THE AUTHORITY TO GRANT ADJUSTMENTS TO THE PRIVATE SEWERAGE EASEMENT. RECORDATION OF A MODIFIED SEWERAGE EASEMENT SHALL NOT BE NECESSARY.
2. ADJUSTMENTS TO SEPTIC EASEMENT AREA IS NOT PERMITTED WITHOUT ADDITIONAL TESTING.
3. THE LOT SHOWN HEREON COMPLIES WITH THE MINIMUM OWNERSHIP WIDTH AND LOT AREA AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF THE ENVIRONMENT.
4. ALL WELLS AND SEPTIC SYSTEMS WITHIN 100' OF THE PROPERTY BOUNDARIES AND ALL EXISTING OR PROPOSED WELLS LESS THAN 200' DOWN/GRADIENT OF A SEPTIC SYSTEM AND/OR SEPTIC EASEMENT.
5. ALL HOUSE SITES SHOWN COMPLY WITH MINIMUM BUILDING RESTRICTION REGULATIONS.
6. TOPOGRAPHY SHOWN IS FROM HOWARD COUNTY GIS TOPOGRAPHY AT 2' CONTOUR INTERVAL AND FIELD VERIFIED BY FISHER, COLLINS & CARTER, INC.
7. BOUNDARY OUTLINE BASED ON AVAILABLE DEED OF RECORD WITHOUT THE BENEFIT OF A FIELD SURVEY AT THIS TIME.
8. ANY CHANGES TO A PRIVATE SEWERAGE EASEMENT SHALL REQUIRE A REVISED PERC CERTIFICATION PLAN.
9. DEED REFERENCE LIBER 18449 FOLIO 202.
10. THE EASEMENT SHOWN IS FOR THE EXCLUSIVE USE BY PARCEL 170 FOR SEWAGE DISPOSAL.
11. SDt shown for parcel 170 may not be used until an Easement Agreement is signed by both property owners and recorded in Land Records for both properties. Copy of Agreement and proof of recordation must be submitted to Health Dept.

PERC CERTIFICATION
I certify that the locations shown on field locations done under my direct supervision and are correct to the best of my professional knowledge and belief.

Mark L. Robel
Signature of Property Land Surveyor
Mark L. Robel, Property Land Surveyor No. 10692 expires 10/04/22

5/12/21
Date

APPROVED FOR PRIVATE WATER AND PRIVATE SEWERAGE SYSTEMS,
HOWARD COUNTY HEALTH DEPARTMENT.

[Signature]
COUNTY HEALTH OFFICER

5/12/21
DATE

THE PURPOSE OF THIS PLAN IS TO CREATE A SEPTIC EASEMENT WITH A SEPTIC RESERVE AREA FOR PARCEL 170 ON PARCEL 159 FOR FUTURE HOUSE SITE ON PARCEL 170. ALSO CREATED A NEW SEPTIC RESERVE AREA FOR PARCEL 159

PERC CERTIFICATION PLAT
DAVID TYLER FIELDS
1080 Henryton Road
1070 Henryton Road

TAX MAP #10
3RD ELECTION DISTRICT
SCALE: 1"=100'

PARCEL: 170, 159
HOWARD COUNTY, MARYLAND
DATE: MAY 11, 2020

