

Record Detail \* (This section is required.)

Permit Type	Permit Number	Opened Date
Building/Residential/Misc/Tanks	B22002070	05/25/2022
Description of Work		
SFD/ INSTALL (1) 1000 GAL UNDERGROUND SEPTIC TANK		

[check spelling](#)

Address \* (This section is required.)

Search Reset Clear Get Parcel & Owner

Street #	Street Name	Street Type	
1005	SUNSET VALLEY	DR	
Unit Type	Unit #	X Coordinate	Y Coordinate
--Select--		-76.97636	39.34563
City	State	Zip Code	Primary
SYKESVILLE	MD	21784	Yes

Approved 6/6/22  


Parcel \* (This section is required.)

Search Reset Clear Get Address & Owner

GIS ID *	Parcel	Parcel Area	Land Value	Improved Value	Exemption Value	Plan Area
831982	305	3.72	230400	481400	251000	RURAL
Legal Description						
IMPSLOT 4 3.720 A[ ]1005 SUNSET VALLEY DR[ ]SUNSET VALLEY SEC 2						

[check spelling](#)

Block	Lot	Census Tract	Council Dist	Inspection Dist	Supervisor Dist	Map #	DAP Zone
	4	603000	5				
Plan Area	State Tax Id	Subdivision Name					
	1403308995						
Section	Area	Tax Map					
		9					
Grid	Zoning District	ADC Map					
9-3	RC-DEO	4693-D5					
SDP No.	Final Plan No.	WP File No.					
	F-83-057						
Record Plat No.	WS Contract No.	FDP No.	Primary				
5356			Yes				
Owner Occupied	Year Built	Historic District					
<input type="radio"/> Yes <input type="radio"/> No	1986	<input type="radio"/> Yes <input checked="" type="radio"/> No					
Historic District Registry No.	Stat Area	Flood Plain					
	3-01	<input type="radio"/> Yes <input checked="" type="radio"/> No					
Building No							

Owner \* (This section is required.)

Search Reset Clear

Name \*

BERGER DOUGLAS A

Address Line 1

1005 SUNSET VALLEY DR

Address Line 2

Address Line 3

Mail City

SYKESVILLE

Phone

301-725-3232

E-mail

Mail State

MD

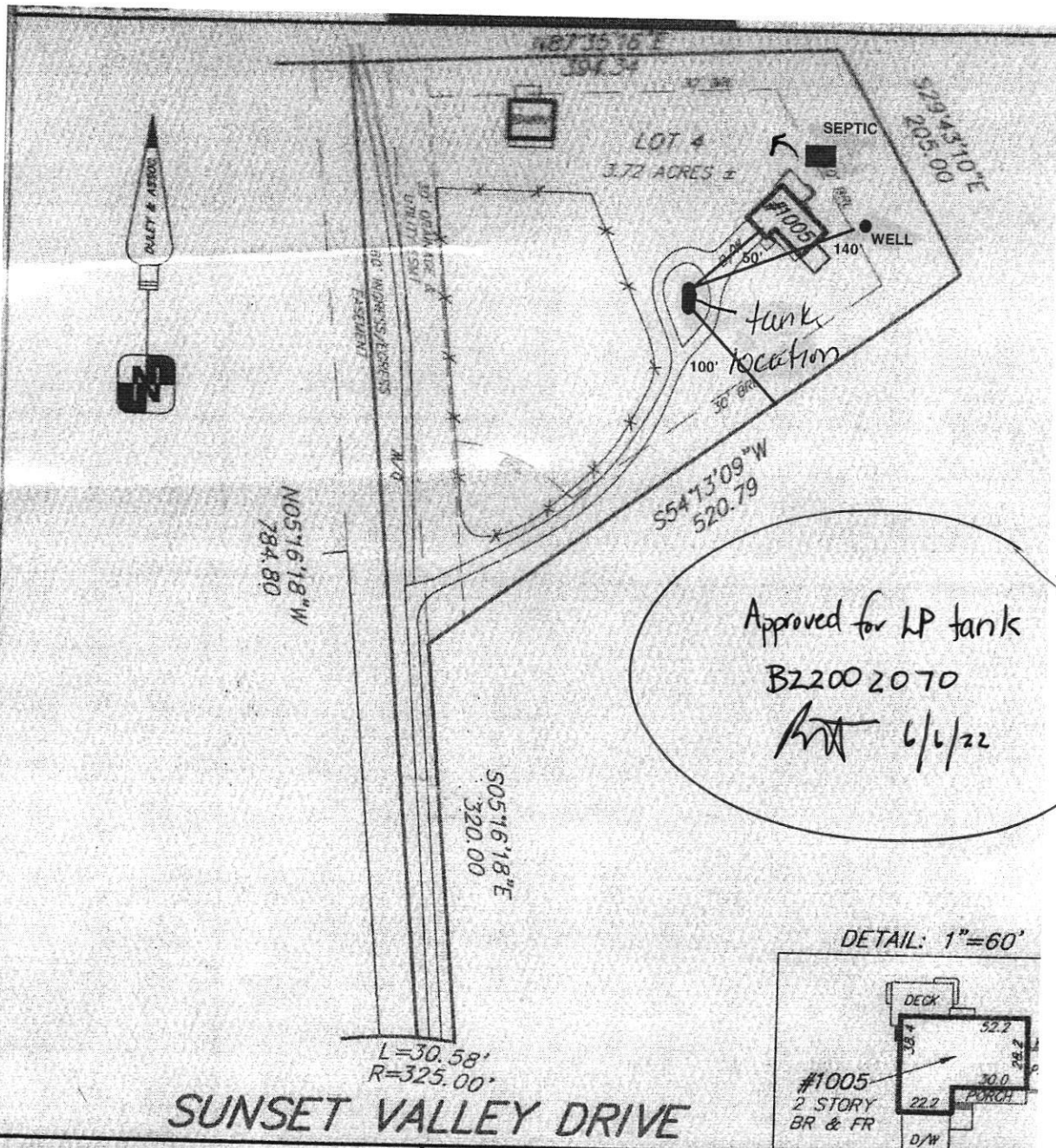
Mail Zip Code

21784

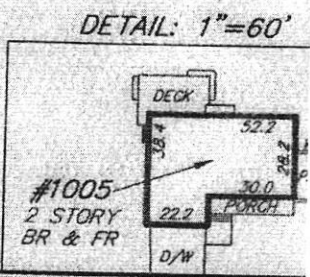
Primary

Yes





Approved for LP tank  
 B22002070  
 Ant 6/6/22



LOCATION DRAWING OF:  
**#1005 SUNSET VALLEY DRIVE**  
**LOT 4**  
 SECTION TWO  
**SUNSET VALLEY**  
 PLAT NO. 5356  
 HOWARD COUNTY, MARYLAND  
 SCALE: 1"=120' DATE: 4-24-14  
 DRAWN BY: AP FILE #: 141774-631

- LEGEND:**
- X- - FENCE
  - B/E - BASEMENT ENTRANCE
  - D/W - BAY WINDOW
  - BR - BRICK
  - BRL - BLDG. RESTRICTION LINE
  - BSMT - BASEMENT
  - C/S - CONCRETE STOOP
  - CONC - CONCRETE
  - D/W - DRIVEWAY
  - FR - FRAME
  - MAC - MACADAM
  - O/H - OVERHANG
  - PUE - PUBLIC UTILITY ESMT.
- COLOR KEY:**
- (RED) - RECORD INFORMATION
  - (BLUE) - IMPROVEMENTS
  - (GREEN) - ESMTS & RESTRICTION LINES

A Land Surveying Company

**DULEY**  
 and  
**Associates, Inc.**

Serving D.C. and MD.  
 14604 Elm Street, Upper Marlboro, MD 20772

Phone: 301-888-1111 Fax: 301-888-1111  
 Phone: 1-888-88-DULEY Fax: 1-888-55-DU



**SURVEYOR'S CERTIFICATE**

I HEREBY STATE THAT I WAS IN RESPONSIBLE CHARGE OVER THE PREPARATION OF THIS DRAWING AND THE SURVEY WORK REFLECTED HEREIN AND IT IS IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN REGULATION 12 CHAPTER 08.13.08 OF THE CODE OF MARYLAND ANNOTATED REGULATIONS. THIS SURVEY IS NOT TO BE USED OR RELIED UPON FOR THE ESTABLISHMENT OF FENCES, BUILDING OR OTHER IMPROVEMENTS. THIS PLAT DOES NOT PROVIDE FOR THE ACCURATE IDENTIFICATION OF PROPERTY BOUNDARY LINES, BUT SUCH IDENTIFICATION MAY NOT BE REQUIRED FOR THE TRANSFER OF TITLE OR SECURING FINANCING OR REFINANCING. THIS PLAT IS OF BENEFIT TO A CONSUMER ONLY INsofar AS IT IS REQUIRED BY A LENDER OR A TITLE INSURANCE COMPANY OR ITS AGENTS IN CONNECTION WITH THE CONTEMPLATED TRANSFER, FINANCING OR REFINANCING. THE LEVEL OF ACCURACY FOR THIS DRAWING IS 1/4". NO TITLE REPORT WAS FURNISHED TO NOR DONE BY THIS COMPANY. SAID PROPERTY SUBJECT TO ALL NOTES, RESTRICTIONS AND EASEMENTS OF RECORD. BUILDING RESTRICTION LINES AND EASEMENTS MAY NOT BE SHOWN ON THIS SURVEY. IMPROVEMENTS WHICH IN THE SURVEYOR'S OPINION APPEAR TO BE IN A STATE OF DISREPAIR OR MAY BE CONSIDERED "TEMPORARY" MAY NOT BE SHOWN. IF IT

**DULEY & ASSOCIATES**

WILL GIVE YOU A 10% FULL CREDIT TO UPGRADE THIS SURVEY TO A "BOUNDARY/STAKE SURVEY FOR ONE YEAR FROM THE DATE OF THIS SURVEY.