

No notification received from

DLP

Record Detail * (This section is required.)

Permit Type	Permit Number	Opened Date
Building/Residential/Alteration/SFD	B23003680	09/07/2023
Description of Work		
NOV/SFD/ CHANGE OF USE TO CLOSE IN EXSITING GARAGE AND CREATE A CONDITIONED HOME GYM/ PLAY AREA WITH 2- HALF BATHS, KITCHENETTE WITH SINK & REFRIGERATOR, MINI SPLIT HVAC//DEMO EXISTING MEZZANINE & STAIRS. (SEE CB230501)		

check spelling

Online BP, expedite review if possible. Permit has been ongoing w/o our involvement for several months. Files online. gb 12/1/23

Address * (This section is required.)

Search	Reset	Clear	Get Parcel & Owner		
Street #	Street Name	Street Type			
14389	HOWARD	RD			
Unit Type	Unit #	X Coordinate	Y Coordinate		
-Select-	▼	-77.01189	39.25258		
City	State	Zip Code	Primary		
DAYTON	MD	21036	Yes ▼		

Parcel * (This section is required.)

Search	Reset	Clear	Get Address & Owner			
GIS ID *	Parcel	Parcel Area	Land Value	Improved Value	Exemption Value	Plan Area
889935	68	3.02	285100	1353400	1068300	RURAL
Legal Description						
IMPVLOT 3 3.0229 A[]14389 HOWARD RD[]KENNARD WARFIELD JR						

check spelling

Block	Lot	Census Tract	Council Dist	Inspection Dist	Supervisor Dist	Map #	DAP Zone
	3	605101	5				
Plan Area	State Tax Id		Subdivision Name				
	1405412978		KENNARD WARFIELD JR				
Section	Area		Tax Map				
			21				
Grid	Zoning District		ADC Map				
21-23	RC-DEO		4812-J10				
SDP No.	Final Plan No.		WP File No.				
Record Plat No.	WS Contract No.		FDP No.	Primary			
9376				Yes ▼			
Owner Occupied	Year Built		Historic District				
<input type="radio"/> Yes <input type="radio"/> No	2008		<input type="radio"/> Yes <input checked="" type="radio"/> No				
Historic District Registry No.	Stat Area		Flood Plain				
	5-01		<input type="radio"/> Yes <input checked="" type="radio"/> No				
Building No							

Owner (This section is not required.)

Search	Reset	Clear
Name *		
XIMINES NELSON KACEY A		
Address Line 1		
14389 HOWARD RD		
Address Line 2		
Address Line 3		
Mail City	Mail State	Mail Zip Code
DAYTON	MD ▼	21043
Phone	Primary	
301-704-3776	Yes	▼
E-mail		
mikadadesigngroup@yahoo.com		
Cell Number	Fax Number	

Professionals (This section is not required.)

License # *
 08010101503
License Type *
 MHIC Ind
Primary
 Yes

Business Name
 MIKADA DESIGN GROUP
First Name Middle Name Last Name
 IKE
 OKOYE
Address Line 1
 5078 ILCHESTER ROAD
Address Line 2

City State ZIP Code
 ELLICOTT CITY MD 21043-0000
Phone 1 Phone 2 Fax
 3017043776 4107440336
E-mail
 MIKADADESIGNGROUP@YAHOO.COM

Applicant (This section is not required.)

Search As Owner As Lic. Prof As Contact

Type *
 Applicant
Relationship
 Applicant
Primary
 No

First Name MI Last Name
 Ike Okoye
Full Name
 XIMINES NELSON KACEY A
Organization Name
 Mikada Design Group llc
Street Address
 5078 Ilchester Rd
Address Line 2

City State Zip Code
 Ellicott City MD 21043
Phone Cell Fax
 301-704-3776
E-mail *
 mikadadesigngroup@yahoo.com

Contact (This section is not required.)

Search As Owner As Lic. Prof As Contact

Type
 Contact
Relationship
 Applicant
Primary
 Yes

First Name MI Last Name
 IKE OKOYE
Full Name
 MIKADA DESIGN GROUP
Street Address
 5078 ILCHESTER ROAD
Address Line 2

City State Zip Code
 ELLICOTT CITY MD 21043-0000
Phone Cell Fax
 3017043776 4107440336
E-mail
 MIKADADESIGNGROUP@YAHOO.COM

Addtl Info

Est Construction Cost * **Housing Units *** **Number of Buildings *** **Public Owned**
 3000 0 0 No
Construction Type
 434 - Additions, Alterations and Conversions - Residential

Execute Expression "Run expression exception, please contact agency administrator." error:

RESIDENTIAL ALTERATION INFO

RESIDENTIAL ALTERATION INFORMATION

Total Square Footage * **No of Stories *** **Basement** **Bedrooms** **Full Baths** **Half Baths** **Water *** **Sewage ***
 200 SQFT 1 --Select-- 0 2 Private Private
Existing Utilities * **Existing Heating System *** **Existing Sprinkler System *** **Type of New Fireplace** **Expiration Date** **Fee Exempt ***
 Unknown Propane Gas None Prefab 5/29/2024 Yes No

Related Records

Showing 1-4 of 4

<u>Permit Number</u>	<u>Record Type Alias</u>	<u>Status</u>	<u>Number</u>	<u>Street Name</u>	<u>Opened Date</u>	<u>Description</u>
CB230501	Building Complaint	Investigation Opened	14389	HOWARD	06/27/2023	Per Inspector Bill Blotzer - Alterations completed to convert
B23002909	Residential Miscellaneous Permit	Cancelled	14389	HOWARD	07/31/2023	SFD/ REPLACE EXISTING TOILET ROOM WITH A SHOW
B23003257	Residential Interior Alteration Single Family Dwelling Permit	Denied	14389	HOWARD	08/12/2023	NOV/ SFD/ IN POLE BARN DEMO EXISTING TOILET ANI
B23003680	Residential Interior Alteration Single Family Dwelling Permit	Review In Process	14389	HOWARD	09/07/2023	NOV/SFD/ CHANGE OF USE TO CLOSE IN EXSITING G/

Page 1 of 1

Submit **Cancel**

GYM/PLAYROOM ADDITION TO XIMINES FAMILY RESIDENCE AT 14389 HOWARD ROAD, DAYTON MARYLAND 21036 HOWARD COUNTY

NOVEMBER, 2023

GYM/PLAY ADDITION
14389 HOWARD RD
DAYTON MD 21036

MIKADA DESIGN GROUP LLC
P.O. BOX 1759, ELLICOTT CITY MARYLAND 21041
Phone: 301 704 3776 Fax: 410 744 0336

P. O. Box 1759
Ellicott City
Maryland 21041
Phone: 301-704-3776
Fax: 410-744-0336
mikadadesigngroup.com

GENERAL NOTES

- Should the contractor find, after a visit to the site or during construction, any discrepancies, omissions, ambiguities or conflicts in or among the construction drawings or be in doubt as to their meaning, he should immediately bring these items to the attention of Mikada Design Group.
- Drawings are not to be scaled for dimensions and/or sized. Verify all dimensions before proceeding and obtain measurements at the job for all work required to be accurately fitted to the building. The GC shall be responsible for the accuracy of all such measurements and for the precise fitting of the work. All dimensions shown are to be held unless shown as ± dimensions.
- If conflicts are discovered at any time between engineering and architectural drawings, Owner shall be contacted at once to resolve the problem. If architect/agent not contacted, the GC shall accept responsibility to correct any work installed that is not in accordance with the architectural drawings.
- GC shall be responsible for proper disposal of all construction debris and refuse in a timely manner.
- Upon completion of the installation, remove all debris from the building created by work provided under this contract and leave all areas clean. Remove any soiled spots from the face of the tile, or other finish surfaces using processes recommended by the manufacturer and in a manner acceptable to the Owner. Replace any areas of floor finishes or other finish surfaces where cleaning has to restore appearance and quality satisfactorily, as determined by the Owner.
- GC shall perform all work in accordance with local codes.
- The GC shall verify requirements for all equipment indicated on the drawings whether supplied by the Owner or Contractor.
- All materials and systems shall be installed as per manufacturer's recommendations, and all construction shall be of first class workmanship.
- All permits process requirements and fees are to be obtained and paid for by the Owner.
- GC shall provide mechanical, electrical and plumbing rough-ins and final hook-ups to both Contractor furnished and Owner furnished equipment where items occur on the drawings. GC shall furnish all required labor and materials necessary to ensure a complete installation of such items.
- Where the GC is instructed to align a partition with two or more columns and the columns are discovered to be of unequal size, the larger of the columns will determine location of the partitions. This will also apply to wet columns and core walls.
- All studs, ceiling furring, and framing members shall be placed so as to avoid interference with casework, recessed lighting fixtures, piping, and the ductwork.
- The Owner is to provide the Contractor or his representative with copies of all permits, release of liens and general waivers.
- All partitions are dimensioned finish to finish, U.N.O.
- GC to verify door hardware keying requirements for entry doors and any locking interior doors with the Owner.
- GC shall coordinate all work with field conditions and all other trades involved.
- The GC shall schedule and perform all work so as not to unreasonably disturb any to occupants in the building and shall be responsible for any overtime costs incurred

CODE DATA

All work shall comply with the latest edition as adopted by local jurisdiction. International code council with local amendments. All work must comply with the latest edition

- 2018 International Code Council (ICC)
- 2018 International Residential Code 1 or 2 Fam Dwelling (IRC)
- 2018 International Existing Building Code (IEBC)
- 2018 International Mechanical Code (IMC)
- 2018 International Plumbing Code (IPC)
- 2017 National Electric Code (NEC)
- 2015 National Standard Plumbing Code (NPC)
- 2018 International Fuel Gas Code (IFGC)
- 2018 Energy Standards Energy Conservation Code (IECC)
- 2018 Life Safety Code (NFPA#101)
- 2018 Fire Code (NFPA 1)
- 2016 Automatic Sprinkler System Code (NFPA13D),

GENERAL NOTES

- The GC shall coordinate with the Architect during construction for the layout of all partitions after they are chalked out on the floor slab prior to running floor tracks. The GC is to inform the Architect at that time, if there were any problems in meeting measurements or conflicts in the placement of partitions.
- The GC shall submit a complete construction schedule with his cost proposal for review by the Owner.
- All J beads or other gypsum metal trim shall be spackle-blended into adjacent proceeding.
- Fill and/or patch floor or wall damaged from construction.
- GC to provide plastic dust barriers (floor to ceiling) between active phase and surrounding occupied areas. Provide floor to ceiling with plastic dust barriers.
- All salvageable materials and/or equipment removed shall be returned to the building Owner at Owner's discretion.
- The Contractor shall take all precautionary steps to protect the Owner's facilities. Any damage or loss of property occasioned by or arising from acts of the Contractor shall be the responsibility of the Contractor, and the Contractor hereby indemnifies and holds harmless the Owner and the Architect and their Consultants therefrom.
- GC shall make design modifications of the work shown only as may be necessary to meet the performance requirements and coordinate the work. Variation in details and materials which do not affect appearance, function, durability or strength shall be submitted to the Owner for review. Maintain the design concept without increasing or decreasing size of members or altering profiles and alignments shown.
- At completion of the work, the GC shall ensure all surfaces are clean and
- GC shall repair all damage caused by him or his Subcontractors during construction.
- GC shall clean the inside face of all windows and frames prior to the installation of window treatments. unmarked.
- GC shall ensure that all paint has been removed from all window and frame surfaces prior to delivery of the space.
- All miscellaneous nails, hangers, staples, wires and wire conduits shall be removed from walls where they will be exposed in the new work.
- In addition to wood blocking specifically indicated on the plans and/or details, the GC shall provide adequate wood blocking for all wall hung millwork or special items indicated on the documents. All wood blocking in partitions and/or blocking is to be fire retardant.

ZONING DATA

ZONING:	RC	TOWN:	DAYTON
DISTRICT:	05	ACC NO#:	412978
LOT:	03	MAP:	0021
GRID:	0023	PARCEL:	0068
DEED REF:	/21265/00270	SUBDIVISION:	1001

PROPERTY LAND AREA: 130,680 SQ. FT.
GOVERNANCE: HOWARD COUNTY

BUILDING SETBACK REQUIREMENT:	
FRONT:	75 FEET
REAR:	60 FEET
SIDES:	30 FEET
MAXIMUM HEIGHT:	35 FEET
LOT AREA:	3.02 ACRES
LOT COVERAGE BY STRUCTURE:	15 %

SYMBOLS

	DETAIL DRAWING NUMBER
	ELEVATION OR SECTION DRAWING NUMBER
	DOOR NUMBER
	WINDOW / LOUVER TYPE
	SPOT ELEVATION

MATERIALS

	EARTH
	CONCRETE
	PLASTER, GYPSUM OR MORTAR
	STEEL
	BRICK (Not Used)
	CONCRETE MASONRY UNIT (CMU)
	FINISH WOOD
	ROUGH WOOD
	PLYWOOD

DRAWING LIST

COVER

A.1 DEMOLITION

A.2 FLOOR PLAN

2021 IRC
2021 MD Alternative Energy
Ductless HVAC System
R49 Ceilings min./R20 Walls min.

Plumbing, Electrical & HVAC
Permits Required

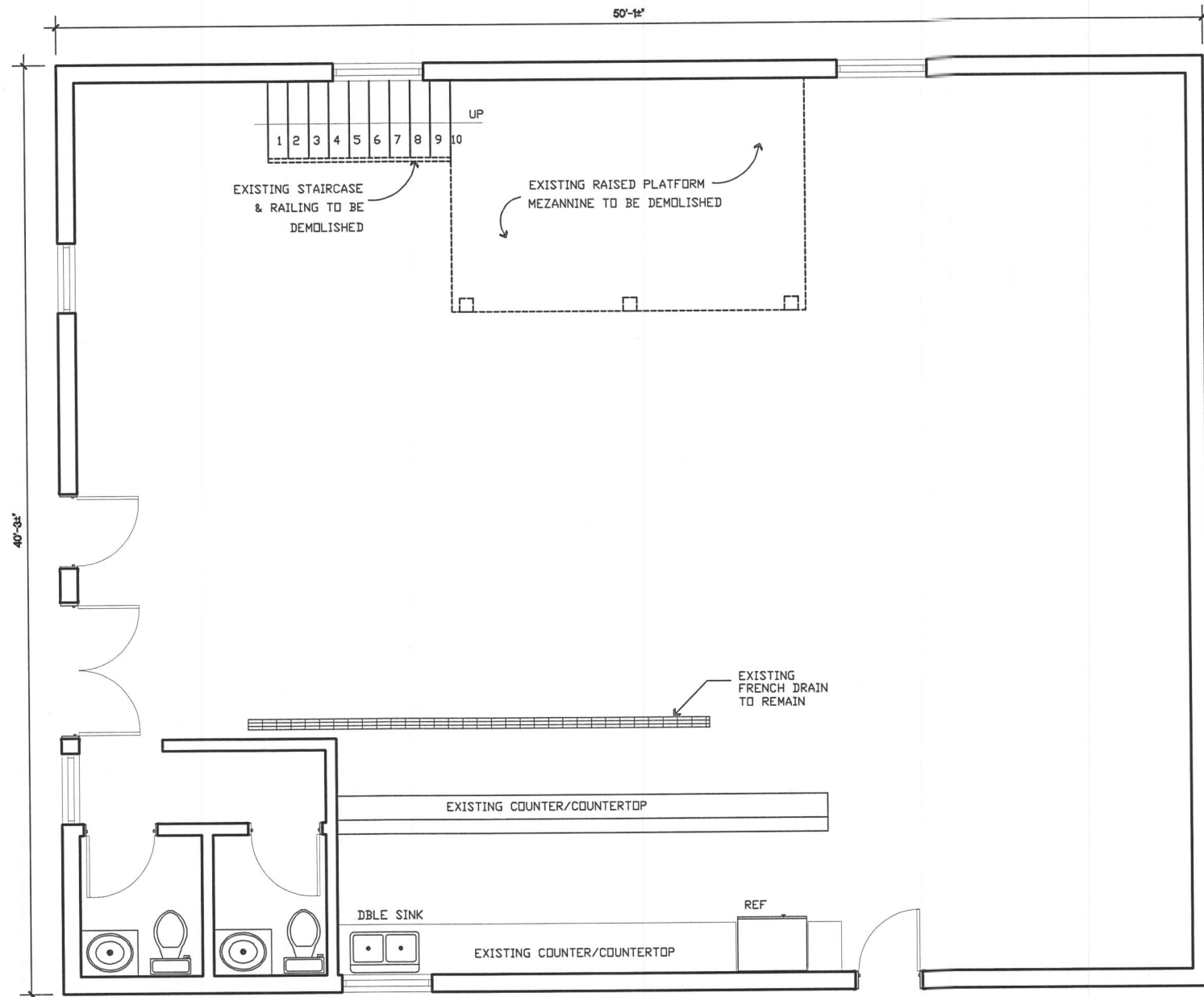
REVIEWED FOR CODE COMPLIANCE
DEPARTMENT OF INSPECTIONS LICENSSES
AND PERMITS HOWARD COUNTY
BY: Michael Blevins
SUBJECT TO FIELD INSPECTION

BUILDING DATA

PROPERTY OWNERS:	KACEY NELSON XIMINES
PREMISES ADDRESS:	14389 HOWARD ROAD DAYTON MARYLAND 21036
CONTRACTOR:	TBD
PRIMARY STRUCTURE BUILT:	2008
ABOVE GROUND AREA:	5,922 S.F.
BASEMENT:	1964 SF
STRUCTURE:	WOOD FRAMING
TYPE:	STANDARD
BATH:	4 FULL/1 HALF
EXTERIOR:	SIDING
GARAGE:	N.A.

ABBREVIATIONS

AB.	ANCHOR BOLT	HVAC	HEATING, VENTILATION AND AIR CONDITIONING
ACT	ACOUSTICAL CEILING TILE	INSUL.	INSULATION
A.F.F.	ABOVE FINISHED FLOOR	JAN.	JANITOR
ARCH.	ARCHITECTURAL	JST.	JOIST
BD.	BOARD	KIT.	KITCHEN
C.J.	CONTROL JT.	LAM.	LAMINATE
CLG.	CEILING	LAV.	LAVATORY
C.M.U.	CONCRETE MASONRY UNIT	MAX. MECH.	MAXIMUM MECHANICAL
COL.	COLUMN	MFR.	MANUFACTURER
CONC.	CONCRETE	MIN.	MINIMUM
CONSTR. CONT.	CONSTRUCTION CONTINUOUS CERAMIC TILE	MISC.	MISCELLANEOUS
C.T.	CERAMIC TILE	MTL.	METAL
D.F.	DRINKING FOUNTAIN	N.I.C.	NOT IN CONTRACT
DIA. Ø	DIAMETER	N.T.S.	NOT TO SCALE
DN.	DOWN	O.C.	ON CENTER
DS.	DOWNSPOUT	P.LAM.	PLASTIC LAMINATE
DWG.	DRAWING	PLYWD.	PLYWOOD
(E)	EXISTING	R.D.	ROOF DRAIN
EA.	EACH	REFR.	REFRIGERATOR
E.J.	EXPANSION JOINT	REINF.	REINFORCED
E.I.F.S.	EXTERIOR INSULATION AND FINISH SYSTEM	REQ'D.	REQUIRED
ELEC.	ELECTRICAL	RM	ROOM
ELEV.	ELEVATION	R.O.	ROUGH OPENING
EQ.	EQUAL	SCHED. SECT.	SCHEDULE SECTION
EQUIP.	EQUIPMENT	S.F.	SQUARE FOOT
EXT.	EXTERIOR	SHT.	SHEET
F.A.	FIRE ALARM	SIM.	SIMILAR
F.D.	FLOOR DRAIN	SPEC.	SPECIFICATION
FDN.	FOUNDATION	S.S.	STAINLESS STEEL
F.E.	FIRE EXTINGUISHER	STD.	STANDARD
F.E.C.	FIRE EXTINGUISHER CABINET	STL.	STEEL
F.F.	FINISH FLOOR	STRUC. SUSP.	STRUCTURAL SUSPENDED
FIN.	FINISH	TER. T & G	TERRAZZO TONGUE & GROOVE
FLR.	FLOOR	TYP.	TYPICAL
FLUOR.	FLUORESCENT	U.O.N.	UNLESS OTHERWISE NOTED
FT.	FOOT OR FEET	VCT	VINYL COMPOSTION TILE
FTG.	FOOTING	VERT.	VERTICAL
FURR.	FURRING	W/	WITH
GA.	GAUGE	W.C.	WATER CLOSET
GALV.	GALVANIZED	WD.	WOOD
G.C.	GENERAL CONTRACTOR	CL	CENTERLINE
GYP.	GYPSUM	PL	PLATE
GYP. BD.	GYPSUM BOARD		
H.B.	HOSE BIBB		
H.C.	HOLLOW CORE		
H/C	HANDICAPPED		
HDWD.	HARDWOOD		
HDWE.	HARDWARE		
H.M.	HOLLOW METAL		
HR.	HOUR		



1 **EXIST/DEMO PLAN**
A.1 SCALE 1/4" = 1'-0"

DEMOLITION NOTES

1. Unless otherwise noted, all references below to the Contractor apply to the General Contractor and to all Subcontractors. This project is subject to site visits by to site visits by Mikada Design Group when requested by Owner.
2. The Contractor shall comply with any existing State and applicable Howard County regulations and legislation regarding the control of pollution as it applies to work.
3. Permits and Tests: The Contractor shall obtain and pay for all required permits and test in conjunction with the project U.N.O.
4. Clarification: If the contract drawings are found to be unclear, ambiguous, or contradictory, the Contractor must request clarification from the Mikada Design Group before proceeding with that part of the project work. Before proceeding with work, the Contractor shall visit the premises and become familiar with the existing conditions and the extent of work required to complete the project.
5. The Contractor shall protect from damage all adjacent areas and properties.
6. Demolition and removal as required shall be done by the Contractor. Contractor shall move materials, etc. to allow adequate access to other Sub Contractors.
7. Contractor shall provide a temporary dumpster for trash removal throughout construction. Do not cut and patch structural work in a manner which will reduce its load carrying capacity: submit proposed plan for work on structural components to Mikada Design Group for approval before Provide temporary support to prevent failure of work to be cut and provide protection of all other work.
8. Contractor shall be responsible for the complete removal and discarding of the demolition waste including any unforeseen hazardous waste materials encountered within the scope of the project.
9. The Contractor shall be responsible for all existing work and shall repair or replace to its present condition any damage caused in shoring, underpinning or bracing existing walls at no change in the Contract price.
10. Contractor shall be liable for, and to take all precautions necessary to protect all equipment and buildings from dust and water damage.
11. Contractor shall take all necessary precautions to protect all existing to remain.
12. All damaged areas in existing walls, ceiling and floors to remain shall be repaired to original condition with new materials & finishes to match existing.
13. Removal of a particular item (ie; walls, doors etc) is to include all related items: electrical, mechanical, plumbing, hardware. It is also to include patching of any damaged or holes in the existing to remain, as a result of removal.
14. Care should be taken not to remove more than is necessary to accommodate new construction. Any surface disturbed by removal are to be returned to a like new condition with new materials to match surrounding surfaces.
15. Where cutting surfaces or removal of existing nishes is required to perform the work under this Contract, and new finish is not indicated, fill resulting openings and patch the surface after doing the work, and finish to match adjacent existing surfaces.
16. When permanent removal of existing millwork, casework, cabinet work, accessories, equipment or furnishings is required, and previously concealed surfaces are to remain exposed patch previously concealed surfaces to match adjacent exposed surfaces. When such surfaces are scheduled to receive new finishes, prepare the surface to receive the new finish.

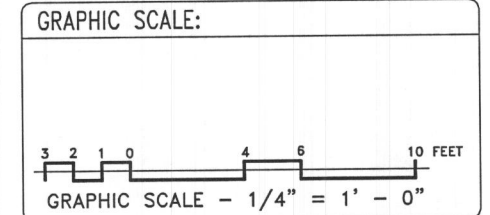


P. O. Box 1759
 Ellicott City
 Maryland 21041
 Phone: 301-704-3776
 Fax: 410-744-0336
 mikadadesigngroup.com

CONSULTING ENGINEER:

REVISIONS:

NO.	DATE	DESCRIPTION



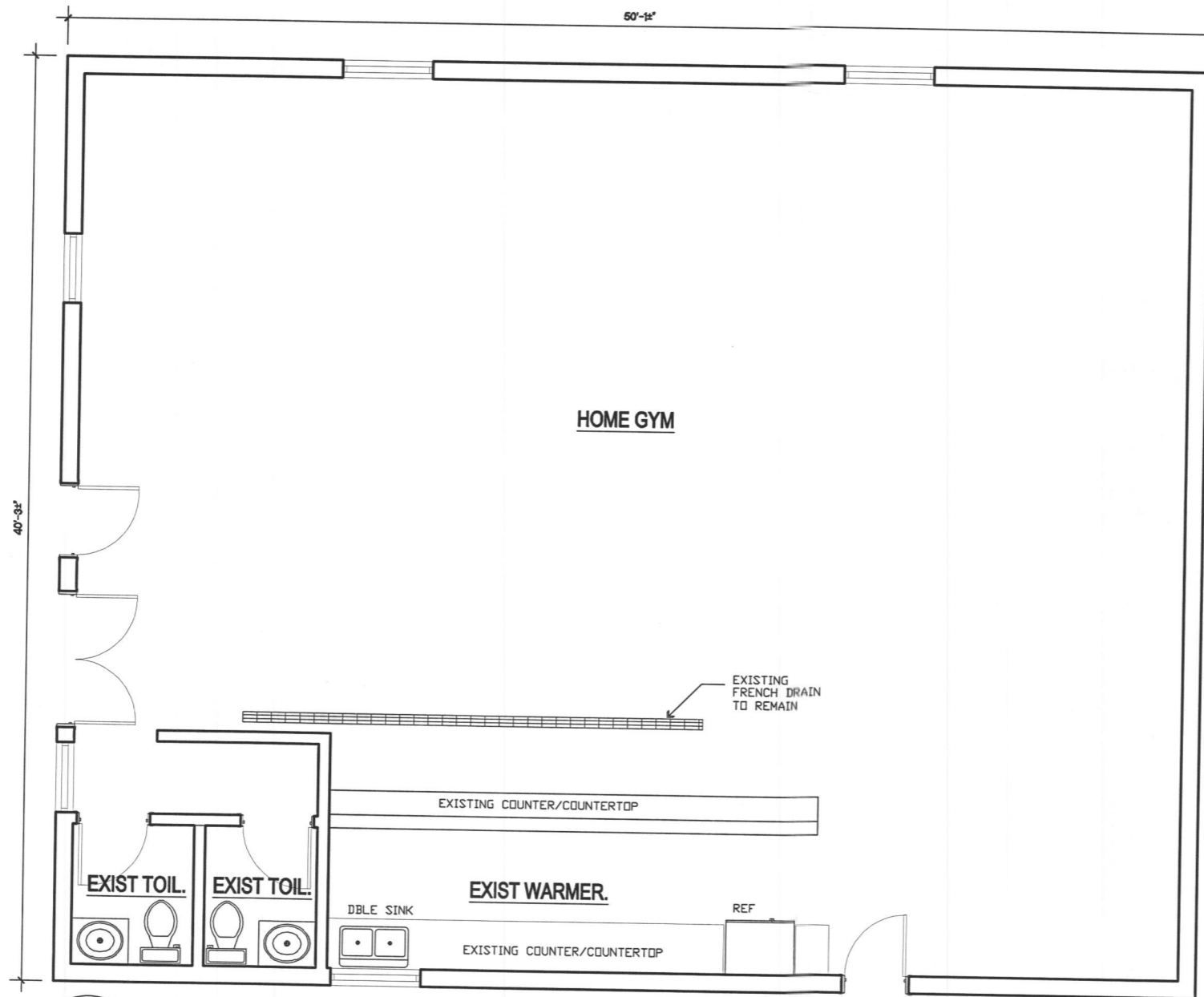
PROJECT:
PROPOSED
GYM/PLAY ROOM
XIMINES FAMILY RESIDENCE
4389 HOWARD ROAD
DAYTON MARYLAND 21036
HOWARD COUNTY

SHEET TITLE:
DEMOLITION WORK

SCALE	As Shown
DRAWN BY	IEO
CHECKED BY	IEO
PROJECT NO.	017-2023
DATE	NOV 27Z, 2023



SHEET NO.
A1
 1 OF 2



1 FLOOR PLAN
A.2 SCALE 1/4" = 1'-0"

GENERAL NOTES:
 OWNER IS PROPOSING TO USE EXIST BARN CONVERSION AS A FAMILY GYM AND INDOOR PLAY AREA. INFORMATION FURNISHED BY THE OWNER WAS THAT ALL IMPROVEMENTS WERE EXISTING PRIOR PURCHASING THE PROPERTY. WE HAVE PROPOSED DEMOLITION AND REMOVAL OF EXISTING FRAMED MEZANNINE. THERE ARE NO PROPOSED NEW WORK IN THIS SPACE WHICH IS CURRENTLY CONDITIONED WITH A SPLIT SYSTEM UNIT.

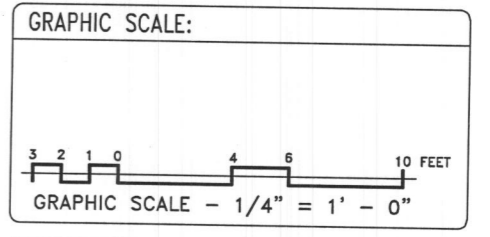


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CONSULTING ENGINEER:

REVISIONS:

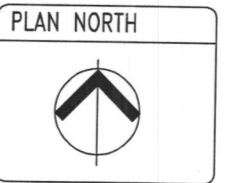
NO.	DATE	DESCRIPTION



PROJECT:
PROPOSED GYM/PLAY ROOM
XIMINES FAMILY RESIDENCE
4389 HOWARD ROAD
DAYTON MARYLAND 21036
HOWARD COUNTY

SHEET TITLE:
FLOOR PLAN

SCALE As Shown
 DRAWN BY IEO
 CHECKED BY IEO
 PROJECT NO. 017-2023
 DATE NOV 27Z, 2023



SHEET NO.
A.2
 2 OF 2