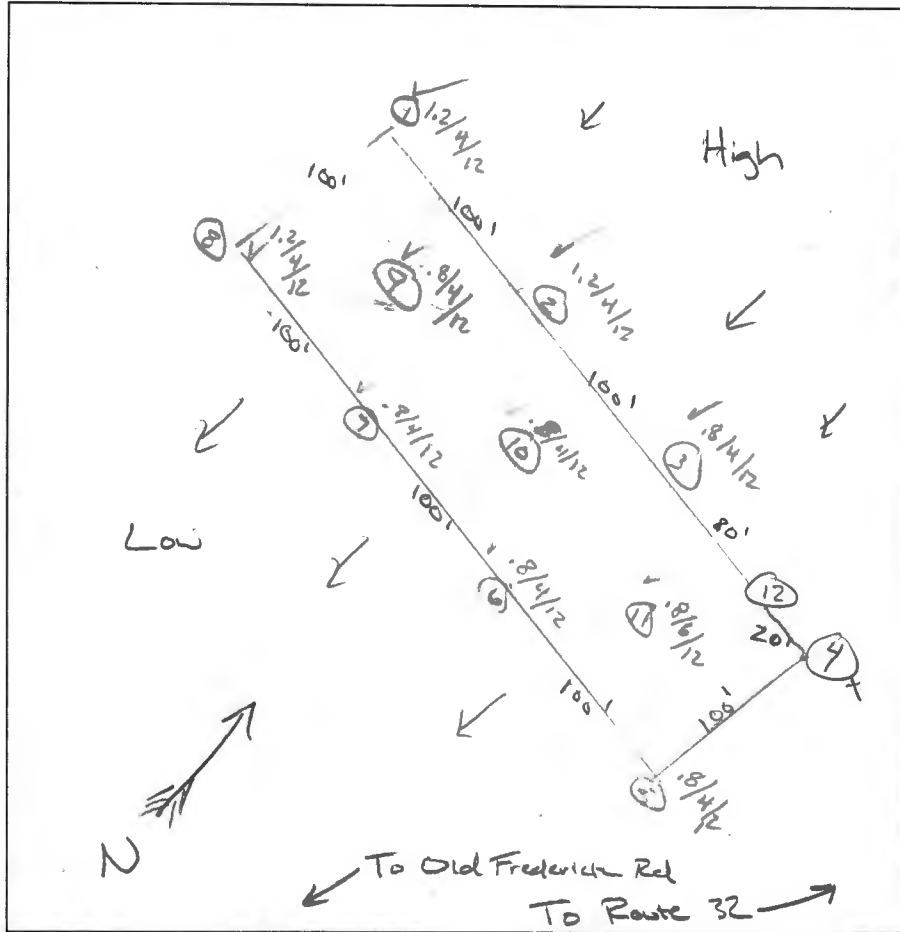


AP A572867



(10)
 1' DB, Loam
 R, SBR +
 Platy, CL,
 mfr, WSP,
 WSP
 2' R, SBR +
 Platy, mfr,
 WSO, WPO,
 WSO
 3' Sap color mix
 (R, B, W, P),
 Thin platy,
 SIL mfr,
 WPO, WSO
 +
 FSL

(7)
 1' DB, Loam
 YR, MBSK,
 CL, mfr, WSS,
 WSP
 2' SB, SBR to
 Platy, L,
 mfr, WPO,
 WSO
 Sap color
 mix (R, B, W, P),
 Thin platy,
 SIL, mfr,
 WPO, WSO
 +
 FSL

(6)
 0.5' DB, Loam
 YR, MBSK,
 CL, mfr, WSP,
 WSS
 1.2' RY, SBR +
 Platy, SIL,
 WSO
 2.5' Sap color
 mix (R, Y, B),
 Thin platy,
 SIL, mfr,
 WSO, WPO
 +
 FSL

(11)
 1.5' DB, Loam
 R, Thin Platy,
 CL, WSS, WSP,
 mfr
 2.5' RYR, Thin Platy,
 SIL, WSS, WPO,
 mfr, dense
 Sidewall
 4' R, YB, Thin platy,
 SIL, WSO, WPO,
 mfr, dense
 Sidewall till 5'
 ↓
 16'

(10)
 S
 A
 M
 E
 A
 S

(1)
 1.5' DB, Loam
 YR, SBR,
 L, mfr,
 WSO, WSP
 2' R, SBR to
 Platy, SIL,
 mfr, WPO,
 WSO

DATE	TEST #	DEPTH 4' Buff	START	BREAK 1" DROP	STOP 2" DROP	TIME OF 2ND INCH	P/F/H
2/11/2021	10	4.5' 12'	10:07	10:14	Debris Fell In		
	7	4.5' 12'	10:17	10:23	10:36	13	P
	10	4.5' RP	10:20	10:30	10:41	11	P
	6	4.5' 12'	11:11	11:16	11:25	9	P
	11	4.5' 12	11:45	Don't Move			F
	11	6 RS	12:18	12:32	1:16	14	P
	9	4.5' 12	12:48	12:54	1:04	10	P
	1	4.5' 12	1:08	1:10	1:14	4	P
	8	4.5' 12	1:29	1:33	1:38	-	P

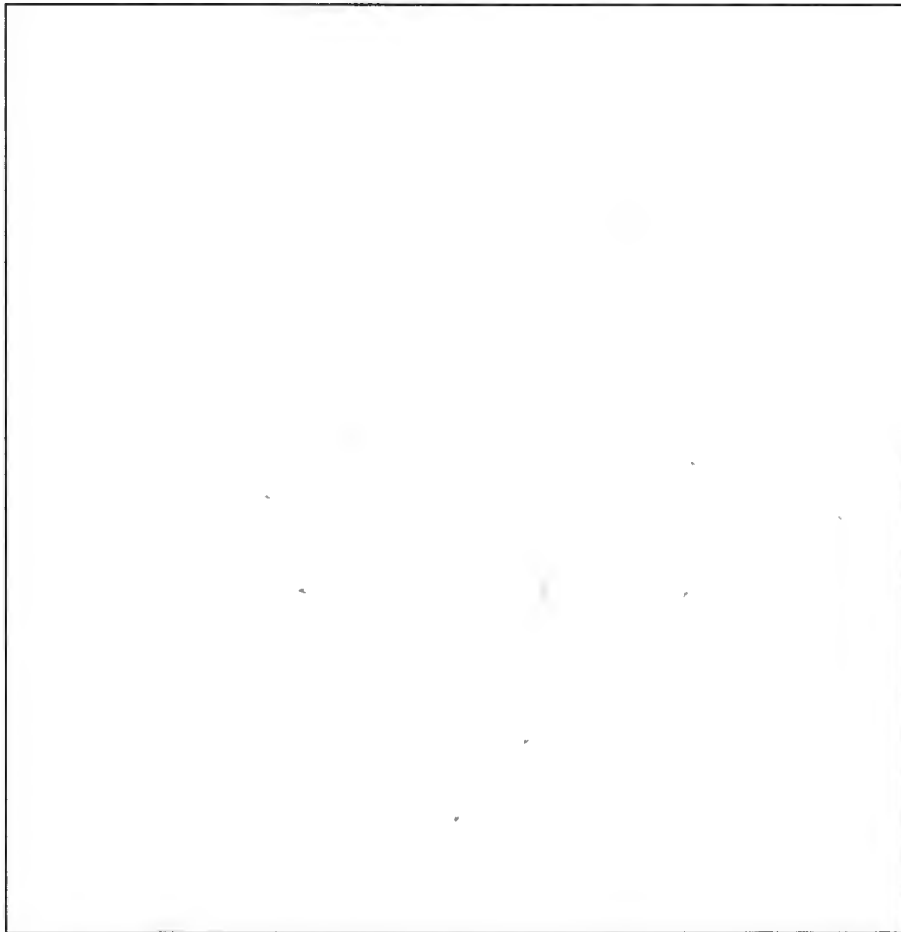
REMARKS Hole 12 not on test plan. Soils are pretty consistent
 SANITARIAN RSF BACKHOE South Carol OTHERS _____
 TEST HOLES USED IN SDA _____ AVG. PERC TIME .8 SQ. FT/BR _____
 TRENCH WIDTH _____ INLET DEPTH _____ MAX. BOT DEPTH 8 EFFECTIVE SW 3'-8'

1740 Rt. 32

(8)
 SAME AS
 (6)

(2)
 SAME AS
 (1)

(3)
 DB, Loam
 R, Thin Pcty,
 CL, WSS, WSP,
 mfr
 R, YR, Thin Pcty,
 SIL, WSO,
 WPO, mfr,
 dense sidewall
 4' SIL (R. YB)
 ↓
 16' SL



(1)
 5' DB, Loam
 R, Thin Pcty,
 CL, WSS, WSP,
 mfr
 4' R, YR, Thin Pcty,
 SIL, WSO,
 WPO, mfr,
 dense
 sidewall
 till
 8-9'
 16'

(5)
 SAME AS
 (6)

DATE	TEST #	DEPTH	START	BREAK 1" DROP	STOP 2" DROP	TIME OF 2ND INCH	P/F/H
2/11/2001	2	4.5 / 12	1:51	1:54	1:59	5	P
	3	4.5 / 12	2:04	2:12	2:25	13	P
	4	6 / 12	2:58	Pulled 3:24	SLOW		F
	5	4.5 / 12	3:00	3:02	3:08	6	P
	12	6 / 12	3:30	3:41	3:58	17	P

(12)
 DB, Loam
 R, SBK,
 CL, mfr,
 WSO, WPO
 3' R, YR, Pcty,
 SIL, mfr,
 WSO, WPO,
 dense sidewall
 5' SIL, Pcty,
 R, YR, WSO,
 WPO

REMARKS _____

SANITARIAN _____ BACKHOE _____ OTHERS _____

TEST HOLES USED IN SDA _____ AVG. PERC TIME _____ SQ. FT/BR _____

TRENCH WIDTH _____ INLET DEPTH _____ MAX. BOT DEPTH _____ EFFECTIVE SW _____

Freemon, Robert

From: Peter J. Stone <pstone@Pennoni.com>
Sent: Wednesday, April 5, 2023 10:02 AM
To: Freemon, Robert
Cc: Jonathan Norman; Williams, Jeffrey
Subject: RE: Holy Korean Martyrs Church Perc Test/Perc Cert Updates

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

Spencer –

Regarding number 1, see the information below that the church has provided:

We would like to provide an overview of the usage of our building, which includes the following key aspects:

- The church at this time will have a maximum seating capacity of 400 seats.
- There are no daycare or school facilities on the premises. Instead, we hold meetings for parish members after mass services.
- Currently, one individual resides in the Rectory (existing residence already on the property). However, we anticipate accommodating two residents in the future.
- A commercial kitchen is required for food service. Please refer to the detailed information provided below.

Below is the key summary of the Parish Hall and Kitchen Usage:

- During weekdays, we do not serve any food or conduct regular activities, with the exception of daily mass.
- On Saturdays, our Parish Hall may host occasional celebrations or parties for approximately 200 attendees, which we estimate to occur about five times per year.
- On Sundays, we typically serve lunch for around 200 individuals following our Sunday Mass services.
- As for wedding events, we anticipate hosting 5 to 8 wedding receptions per year, with each reception accommodating approximately 150 guests.

Regarding #3, is this run through the County or MDE?

Please let us know if you have any additional questions.

Thanks

Pete

Peter J. Stone, RLA, LEED AP BD+C

Pennoni

8890 McGaw Road, Suite 100 | Columbia, MD 21045

From: Freemon, Robert <rfreemon@howardcountymd.gov>
Sent: Monday, April 3, 2023 10:20 AM
To: Peter J. Stone <pstone@Pennoni.com>
Cc: Jonathan Norman <jnorman@Pennoni.com>; Williams, Jeffrey <jewilliams@howardcountymd.gov>
Subject: RE: Holy Korean Martyrs Church Perc Test/Perc Cert Updates

Hi Peter,
Thank you for your patience. Below are our answers in red.

1. System Type – I assume this is a conventional system based on the perc results. Can you confirm? Before we can answer questions 1, 2, & 5 we need more details on the objectives of the church and the SFD. Based on the perc cert, the church (w/kitchen) will hold 1000 seats (5gpd per seat = 5000gpd). We need to see an approximate schedule of regular functions such as daycares, schools, banquets. We need to know approximately how many people would be attending these functions and will there be food served. The non-regular functions should be mentioned on the side as well, with the same level of detail. Additionally with there be anyone living on the property? If so how many?
2. MDE involvement – the owner wanted to confirm that the design and approval is handled at the County level and that MDE would not be involved. If the flow stays below 5000 gpd and does not require a discharge permit, the main review would be with the county. We may consult with MDE, but they would not be issuing a permit.
3. Groundwater Appropriations – again, is this handled at the County level, or does MDE need to be involved? Commercial properties have to apply for an exemption to the GAP if they are under 5000 gpd average or a full GAP if over 5000.
4. Septic Design – I assume that this is something that the consultant prepares based on the perc results, but wanted to confirm the level of involvement that the Health Department has in the design. We don't do a whole lot of septic work anymore, and I am sure things have changed. Are we just following the requirements on your website? [Top Conventional On-site Sewage Disposal System Design Plan Requirements 10-25-2018.pdf \(howardcountymd.gov\)](#) I know this is larger system so I understand there maybe some nuances. We recommend getting a consultant who has worked with us before to assist in the development of the OSDS plan since this is a large system for a commercial property. Health cannot design or assist with the design of any portion of the system per MDE guidance. We only review designs submitted to us so it is critical to have someone familiar with commercial septic systems design them.
5. Pretreatment – I know pretreatment is required based on the perc cert notes. Are there any specifics that you can provide as far as the type of pretreatment? Anything over 1500 gpd will require an individually engineered pre-treatment device. It is critical to work with the pre-treatment manufacturer and a designer familiar with pre-treatment and regulations to make sure all requirements are met with the pre-treatment design, including a letter from manufacturer stating that the design will work properly to reduce the BOD and TSS to below 300 (residential strength) and an O&M manual specific to the property.

Well and Septic Program

Robert "Spencer" Freemon

Phone: 410-313-6357

Email: rfreemon@howardcountymd.gov

Website: <https://www.howardcountymd.gov/health/well-septic-program>

From: Peter J. Stone <pstone@Pennoni.com>
Sent: Friday, March 17, 2023 11:58 AM
To: Freemon, Robert <rffreemon@howardcountymd.gov>
Cc: Jonathan Norman <jnorman@Pennoni.com>; Williams, Jeffrey <jewilliams@howardcountymd.gov>
Subject: RE: Holy Korean Martyrs Church Perc Test/Perc Cert Updates

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

Spencer/Jeff – this project is finally moving forward and the church is working towards submitting a Site Development plan for the project. We had a few questions as we confirm our scope of work for the church:

1. System Type – I assume this is a conventional system based on the perc results. Can you confirm?
2. MDE involvement – the owner wanted to confirm that the design and approval is handled at the County level and that MDE would not be involved.
3. Groundwater Appropriations – again, is this handled at the County level, or does MDE need to be involved?
4. Septic Design – I assume that this is something that the consultant prepares based on the perc results, but wanted to confirm the level of involvement that the Health Department has in the design. We don't do a whole lot of septic work anymore, and I am sure things have changed. Are we just following the requirements on your website ? [Top Conventional On-site Sewage Disposal System Design Plan Requirements 10-25-2018.pdf \(howardcountymd.gov\)](#) I know this is larger system so I understand there maybe some nuances.
5. Pretreatment – I know pretreatment is required based on the perc cert notes. Are there any specifics that you can provide as far as the type of pretreatment?

If it would be helpful to meet in person to review the plan and the questions, we are willing to do that.

Thanks

Pete

Peter J. Stone, RLA, LEED AP BD+C

Pennoni

8890 McGaw Road, Suite 100 | Columbia, MD 21045
Direct: +1 (443) 537-2721 | **Mobile:** +1 (443) 845-1253
www.pennoni.com | pstone@Pennoni.com

From: Freemon, Robert <rffreemon@howardcountymd.gov>
Sent: Tuesday, January 25, 2022 3:27 PM
To: Peter J. Stone <pstone@Pennoni.com>
Cc: Jonathan Norman <jnorman@Pennoni.com>; Williams, Jeffrey <jewilliams@howardcountymd.gov>
Subject: RE: Perc Test/Perc Cert Updates

Pete,
The PC for "Holy Korean Martyrs Catholic Church" 1740 Rt. 32 was signed on 11/2. We have two signed copies. If you or the homeowner would like hard copies we will need 2 additional copies to sign. The Health Dept. needs to keep two copies in the file. If you are interested in swinging by for drop sign let Jeff or I know so we can give you times we are available.



Howard County Health Department
8930 Stanford Blvd. Columbia, MD 21045
Bureau of Environmental Health

Well and Septic Program
Robert "Spencer" Freemon
Phone: 410-313-6357

Email: rfreemon@howardcountymd.gov
Website: <https://www.howardcountymd.gov/health/well-septic-program>

From: Peter J. Stone <pstone@Pennoni.com>
Sent: Thursday, January 20, 2022 3:44 PM
To: Freemon, Robert <rfreemon@howardcountymd.gov>
Cc: Jonathan Norman <jnorman@Pennoni.com>
Subject: RE: Perc Test/Perc Cert Updates

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

Spencer – still looking for an update on these project.

Pete

Peter J. Stone, RLA, LEED AP BD+C

Pennoni

8890 McGaw Road, Suite 100 | Columbia, MD 21045
Direct: +1 (443) 537-2721 | **Mobile:** +1 (443) 845-1253
www.pennoni.com | pstone@Pennoni.com

From: Peter J. Stone
Sent: Thursday, December 23, 2021 12:35 PM
To: Freemon, Robert <rfreemon@howardcountymd.gov>
Cc: Jonathan Norman <jnorman@Pennoni.com>
Subject: Perc Test/Perc Cert Updates

Spencer – can you give me an update on the following projects:

1. Holy Korean Martyrs Perc Cert Plat – 1740 Route 32
2. 11362 Homewood Road Perc Test Plan

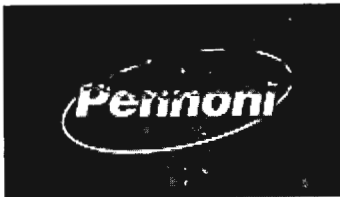
Thanks

Pete

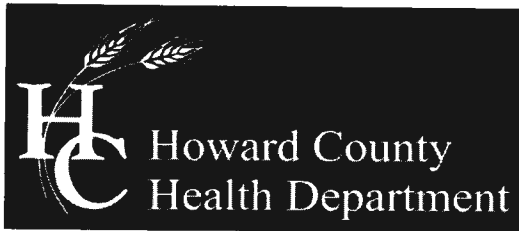
Peter J. Stone, RLA, LEED AP BD+C

Pennoni

8890 McGaw Road, Suite 100 | Columbia, MD 21045
Direct: +1 (443) 537-2721 | **Mobile:** +1 (443) 845-1253
www.pennoni.com | pstone@Pennoni.com



Happy Holidays 2021 | Pennoni



Bureau of Environmental Health

8930 Stanford Boulevard, Columbia, MD 21045

Main: 410-313-2640 | Fax: 410-313-2648

TDD 410-313-2323 | Toll Free 1-866-313-6300

www.hchealth.org

Facebook: www.facebook.com/hocohealth

Twitter: HowardCoHealthDep

Maura J. Rossman, M.D., Health Officer

Date: February 17, 2021

To: Joseph Sole
320 Cathedral Street,
Baltimore, MD 21201

Re: Percolation Test Report
Holy Korean Martyrs Catholic Church
1740 Route 32
Sykesville, MD 21784

Percolation tests were conducted at 1740 Rt. 32 (Tax Map 9, Parcel 21) on February 11th, 2021. Test and profile descriptions were documented for locations 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11 & 12. Out of 12 tests 11 passed (1, 2, 3, 5, 6, 7, 8, 9, 10, 11 & 12).

All percolation tests conducted were standard tests, measuring rate of fall for a pre-wet period followed by measurement and recordation of the time required for the water level to drop 1 inch. Areas that may be included in a septic reserve area are represented by test locations having satisfactory soil condition. The sewage disposal area must accommodate 3 systems (initial and two replacements). The next step in the process is to have an engineer/consultant submit a finalized percolation certification plan to the Health Dept. for review and signature.

Should you have any questions regarding this evaluation, please contact me. I may be reached at (410) 313-6357 or by email rfreemon@howardcountymd.gov

Respectfully,

A handwritten signature in cursive script, appearing to read 'Robert Freemon'.

Robert Freemon
Bureau of Environmental Health
Well & Septic Program

Attachment: Percolation Field Notes



Bureau of Environmental Health

8930 Stanford Boulevard, Columbia, MD 21045

Main: 410-313-2640 | Fax: 410-313-2648

TDD 410-313-2323 | Toll Free 1-866-313-6300

www.hchealth.org

Facebook: www.facebook.com/hocohealth

Twitter: HowardCoHealthDep

Maura J. Rossman, M.D., Health Officer

SEWAGE DISPOSAL SYSTEM SPECIFICATIONS WORKSHEET

Address: 1740 Rt. 32

Subdivision: Lot:

Table with 4 columns: Replacement type, Application rate, Effective area beginning depth, Bottom maximum depth. Values are handwritten: 0.8, 4, 8 for Initial system; 0.8, 4, 8 for 1st Replacement; 0.8, 4, 8 for 2nd Replacement.

Design Flow = 150 gallons per day per bedroom

Design flow ÷ application rate = square footage of drainfield required

Linear length of trench required = drainfield square footage x sidewall reduction percentage ÷ trench width

Sidewall reduction credit formula:

(W + 2) / (W + 1 + 2D) x 100 = Percent of length of standard trench where W=trench width and D= depth between effective area beginning depth and trench bottom.

Standard design requirements:

- Trenches must be located to provide room for 3 systems in the disposal area
All trenches must be equal length unless low pressure dosed
All trenches must be on contour
Minimum trench spacing: 10' for all trenches utilizing sidewall reduction credit. Additional spacing may be necessary for any trench using over 3.5' of effective sidewall. In those cases, the spacing formula is 2D + W up to a maximum spacing of 18'.
Minimum trench spacing for trenches with no sidewall credit (bottom area only) is 6' for a 2' wide trench and 9' for a 3' wide trench (spacing is measured edge to edge)
Maximum trench length is 100'
Maximum pipe depth is 4'

Additional requirements:

Approved: [Signature] Date: 2/17/2021



Bureau of Environmental Health
8930 Stanford Blvd | Columbia, MD 21045
410.313.2640 - Voice/Relay
410.313.2648 - Fax
1.866.313.6300 - Toll Free

Handwritten number: 1572807

Maura J. Rossman, M.D., Health Officer

APPLICATION
FOR PERCOLATION TESTING AND SITE EVALUATION

PROPERTY LOCATION

SUBDIVISION/PROPERTY NAME Holy Korean Martyrs Catholic Church

PROPERTY ADDRESS 1740 Route 32, Sykesville, MD 21784

TAX ACCOUNT # 293890 TAX MAP 9 GRID 23 PARCEL 21 LOT NO. PROPOSED LOT SIZE (ACRES) 37.23
ZONING CATEGORY RC-DEO TIER 4

PROPERTY OWNER(S) The Roman Catholic Archbishop of Baltimore, a Corporation Sole, c/o Fr. Joseph Kim, Officer of the Corporation and Pastor of Holy Korean Martyrs

DAYTIME PHONE 240-491-8210 CELL EMAIL christin.kinman@archbalt.org

MAILING ADDRESS 320 Cathedral Street, Baltimore, MD 21201

APPLICANT Same RELATIONSHIP TO OWNER:

DAYTIME PHONE CELL EMAIL

MAILING ADDRESS

I HEREBY APPLY FOR THE NECESSARY TESTING/EVALUATION PRIOR TO ISSUANCE OF SEWAGE DISPOSAL SYSTEM PERMIT(S):

PROPERTY:

- Subdivision: Number of lots including residue:
Subdivision classification (per dept. of planning and zoning) Major Minor
Construct new OSDs on undeveloped lot
Repair or replace failing OSDs
Upgrade existing OSDs

BUILDING:

- Residential with existing or proposed bedrooms in the completed structure
Commercial (provide detail of type of use and numbers of employees/customers on accompanying plan)

IS THE PROPERTY WITHIN 2500 FEET OF ANY RESERVOIR?

- Yes
No

AS APPLICANT, I UNDERSTAND THE FOLLOWING:

- This application is valid for two(2) years from date of fee payment and approval is based upon health officer signature of a perc certification plan prior to expiration of this permit.
The application fee is non-refundable
This application must be accompanied by all applicable fees and a suitable site plan in order to be processed
This is a public document

I declare and affirm that to the best of my knowledge, the information contained herein is correct. I declare that I am the owner of the property or duly authorized to make this application on behalf of the owner. I agree to comply with all applicable state and county regulations.
By signature of this application, I hereby grant Howard County Health Department officials the right to enter onto the property for the purpose of inspecting the property as directly related to the requested permit/service.

SIGNATURE OF APPLICANT

Handwritten signature

DATE 11-17-2020

1740 RT 32

Detailed Search

Add Layer

Howard County Base Map

BASE MAP LAYERS

HEALTH SPECIAL LAYERS

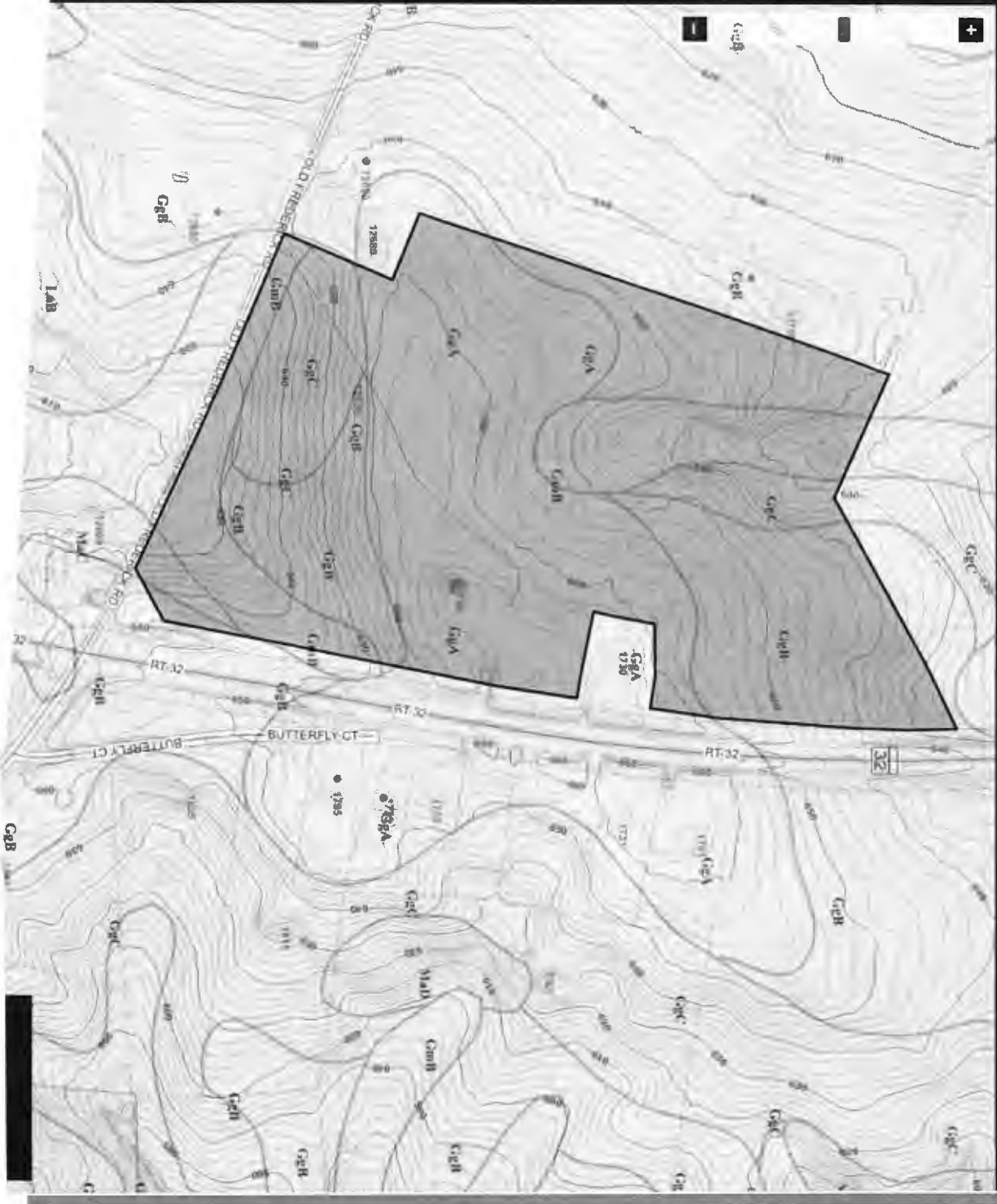
UTILITY LAYERS

GEOGRAPHY

PLANNING

ADDED LAYERS

- Home
- Navigation
- Length
- Area
- Select
- Point
- Line
- Polygon
- Clear





LEGEND

- EXISTING 2' CONTOUR
- EXISTING 10' CONTOUR
- EX. PROPERTY LINE AND RIGHT OF WAY
- EX. TREELINE
- EXISTING SOIL BOUNDARY
- EXISTING GAS
- EXISTING OVERHEAD ELECTRICAL
- PROPOSED WELL
- PROPOSED SEPTIC FIELD
- EXISTING 15%-25% SLOPES
- EXISTING 25%+ SLOPES
- PROPOSED PERCOLATION TEST LOCATION

APPROVED FOR PRIVATE WATER AND SEWERAGE SYSTEMS			
HEALTH OFFICER, HOWARD COUNTY HEALTH DEPT.			DATE
DATE	NO.	REVISION	BY
DEVELOPER			
HOLY KOREAN MARTYRS CATHOLIC CHURCH 5801 SECURITY BOULEVARD WOODLAWN, MD 21207 ATTN: JOSEPH YI PHONE: 410-265-8885			
OWNER			
THE ROMAN CATHOLIC ARCHBISHOP OF BALTIMORE A CORPORATION SOLE C/O FR. JOSEPH KIM OFFICER OF THE CORPORATION & PASTOR OF HOLY KOREAN MARTYRS 320 CATHEDRAL STREET BALTIMORE, MD 21201			
PROJECT			
HOLY KOREAN MARTYRS CATHOLIC CHURCH			
AREA			
TAX MAP 9, PARCEL 21 ZONED RC-DEO GRID NO. 23, 3RD ELECTION DISTRICT 1740 ROUTE 32 SYKESVILLE, MD 21784 HOWARD COUNTY, MARYLAND			
TITLE			
PERCOLATION TEST PLAN			

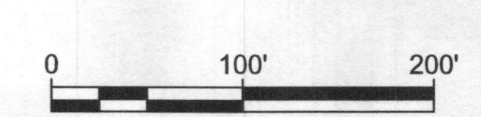
SOILS CHART

MAP SYMBOL	NAME	STRUCTURAL LIMITATIONS DWELLINGS W/ BASEMENTS	EROSION HAZARD	HYDRIC (Y/N)	SLOPE (%)	SOIL GROUP	Kw FACTOR	WET SEASON?
GgA	GLENELG LOAM	NOT LIMITED	SLIGHT	N	0-3	B	0.24	NO
GgB	GLENELG LOAM	NOT LIMITED	SLIGHT	N	3-8	B	0.24	NO
GgC	GLENELG LOAM	SOMEWHAT LIMITED	MODERATE	N	8-15	B	0.24	NO
GmB	GLENVILLE SILT LOAM	VERY LIMITED	SLIGHT	N	3-8	C/D	0.37	YES
MaC	MANOR LOAM	SOMEWHAT LIMITED	MODERATE	N	8-15	B	0.28	NO

SOURCE: NATURAL RESOURCES CONSERVATION SERVICE WEB SOIL SURVEY.

GENERAL NOTES

- BOUNDARY AND 2' TOPOGRAPHIC INFORMATION PROVIDED BY AVAILABLE HOWARD COUNTY RECORDS.
- THE PROPERTY IS LOCATED AT 1740 ROUTE 32 IN SYKESVILLE, MD, TAX MAP 9, PARCEL 21 AND CONTAINS 437.23 ACRES.
- THE PROPERTY IS ZONED RC-DEO (RURAL CONSERVATION - DENSITY EXCHANGE OPTION).
- ANY CHANGES TO A PRIVATE SEWERAGE EASEMENT SHALL REQUIRE A REVISED PERCOLATION CERTIFICATION PLAN.
- THE TOPOGRAPHY OF THIS PLAN IS TAKEN FROM HOWARD COUNTY GIS AND IS VERIFIED TO ACCURATELY REPRESENT THE RELATIVE CHANGES TO THE SUBJECT PROPERTY.
- ALL WELLS AND SEPTIC SYSTEMS LOCATED WITHIN 100' OF THE PROPERTY BOUNDARIES AND 200' DOWN GRADIENT OF ANY WELLS AND/OR SEPTIC SYSTEMS HAVE BEEN SHOWN.
- THE PURPOSE OF THIS PLAN IS TO PROVIDE LOCATIONS AND DESIGN FOR PROPOSED WELL AND SEPTIC SYSTEMS FOR THE PROPERTY.
- THIS AREA DESIGNATES A PRIVATE SEWERAGE AREA AS REQUIRED BY THE MARYLAND DEPARTMENT OF THE ENVIRONMENT FOR INDIVIDUAL SEWAGE DISPOSAL FOR LOTS CREATED PRIOR TO MARCH OF 1972 IT PROVIDES AT LEAST ENOUGH AREA TO ACCOMMODATE AN INITIAL AND TWO REPLACEMENT SEPTIC SYSTEMS AS REQUIRED BY THE HOWARD COUNTY HEALTH DEPARTMENT. IMPROVEMENTS OF ANY NATURE IN THIS AREA ARE RESTRICTED UNTIL PUBLIC SEWERAGE IS AVAILABLE. THIS AREA SHALL BECOME NULL AND VOID UPON CONNECTION TO A PUBLIC SEWERAGE SYSTEM. THE COUNTY HEALTH OFFICER SHALL HAVE THE AUTHORITY TO GRANT ADJUSTMENTS TO THE PRIVATE SEWERAGE AREA RECORDATION OF A MODIFIED SEWERAGE AREA SHALL NOT BE NECESSARY.
- THE PROPOSED CHURCH WILL CONTAIN 1,000 SEATS, AND WILL INCLUDE A PRIVATE KITCHEN FOR CHURCH USE ONLY.
- THE EXISTING RESIDENCE WILL BE USED AS A RECTORY AND WILL BE CONNECTED TO THE PROPOSED WELL AND SEPTIC SYSTEM.



DESIGNED BY: JSN
DRAWN BY: JSN
PROJECT NO.: QNEVN19001
DATE: DECEMBER 23, 2020
SCALE: 1" = 100'
DRAWING NO. 1 OF 1

Pennoni Associates Inc.
 Engineers • Surveyors • Planners
 Landscape Architects
 8890 McGaw Road, Suite 100 Columbia, MD 21045
 T 410.997.8900 F 410.997.9282



LEGEND

- EXISTING 2' CONTOUR
- EXISTING 10' CONTOUR
- EX. PROPERTY LINE AND RIGHT OF WAY
- EX. TREELINE
- EXISTING SOIL BOUNDARY
- EXISTING GAS
- EXISTING OVERHEAD ELECTRICAL
- PROPOSED WELL
- PROPOSED SEPTIC FIELD
- EXISTING 15%-25% SLOPES
- EXISTING 25%+ SLOPES
- PASSED PERCOLATION TEST LOCATION PERC #3
- FAILED PERCOLATION TEST LOCATION PERC #3

SOILS CHART

MAP SYMBOL	NAME	STRUCTURAL LIMITATIONS DWELLINGS W/ BASEMENTS	EROSION HAZARD	HYDRIC (1/1N)	SLOPE (%)	SOIL GROUP	Kw FACTOR	WET SEASON?
GgA	GLENELG LOAM	NOT LIMITED	SLIGHT	N	0-3	B	0.24	NO
GgB	GLENELG LOAM	NOT LIMITED	SLIGHT	N	3-8	B	0.24	NO
GgC	GLENELG LOAM	SOMEWHAT LIMITED	MODERATE	N	8-15	B	0.24	NO
GmB	GLENVILLE SILT LOAM	VERY LIMITED	SLIGHT	N	3-8	UD	0.37	YES
MaC	MANOR LOAM	SOMEWHAT LIMITED	MODERATE	N	8-15	B	0.28	NO

SOURCE: NATURAL RESOURCES CONSERVATION SERVICE WEB SOIL SURVEY.

GENERAL NOTES

- BOUNDARY AND 2' TOPOGRAPHIC INFORMATION PROVIDED BY AVAILABLE HOWARD COUNTY RECORDS.
- THE PROPERTY IS LOCATED AT 1740 ROUTE 32 IN SYKESVILLE, MD, TAX MAP 9, PARCEL 21 AND CONTAINS .3723 ACRES.
- THE PROPERTY IS ZONED RC-DEO (RURAL CONSERVATION - DENSITY EXCHANGE OPTION).
- ANY CHANGES TO A PRIVATE SEWERAGE EASEMENT SHALL REQUIRE A REVISED PERCOLATION CERTIFICATION PLAN.
- THE TOPOGRAPHY OF THIS PLAT IS TAKEN FROM HOWARD COUNTY GIS AND HAS BEEN VERIFIED BY PENNONI TO ACCURATELY REPRESENT THE RELATIVE CHANGES TO THE SUBJECT PROPERTY.
- ALL WELLS AND SEPTIC SYSTEMS LOCATED WITHIN 100' OF THE PROPERTY BOUNDARIES AND 200' DOWN GRADIENT OF ANY WELLS AND/OR SEPTIC SYSTEMS HAVE BEEN SHOWN.
- THE PURPOSE OF THIS PLAN IS TO PROVIDE LOCATIONS AND DESIGN FOR PROPOSED WELL AND SEPTIC SYSTEMS FOR THE PROPOSED CHURCH FACILITY.
- THIS AREA DESIGNATES A PRIVATE SEWERAGE AREA AS REQUIRED BY THE MARYLAND DEPARTMENT OF THE ENVIRONMENT FOR INDIVIDUAL SEWERAGE DISPOSAL. FOR LOTS CREATED PRIOR TO MARCH OF 1972 IT PROVIDES AT LEAST ENOUGH AREA TO ACCOMMODATE AN INITIAL AND TWO REPLACEMENT SEPTIC SYSTEMS AS REQUIRED BY THE HOWARD COUNTY HEALTH DEPARTMENT. IMPROVEMENTS OF ANY NATURE IN THIS AREA ARE RESTRICTED UNTIL PUBLIC SEWERAGE IS AVAILABLE. THIS AREA SHALL BECOME NULL AND VOID UPON CONNECTION TO A PUBLIC SEWERAGE SYSTEM. THE COUNTY HEALTH OFFICER SHALL HAVE THE AUTHORITY TO GRANT ADJUSTMENTS TO THE PRIVATE SEWERAGE AREA. RECORDATION OF A MODIFIED SEWERAGE AREA SHALL NOT BE NECESSARY.

- THE PROPOSED CHURCH WILL CONTAIN 1,000 SEATS. THE PROPOSED KITCHEN IS FOR CHURCH USE ONLY. IT WILL BE USED BY THE CONGREGATION FOR SPECIAL EVENTS OPEN TO THE WHOLE CONGREGATION, AND MAY BE USED ON A MORE REGULAR BASIS FOR SMALLER GROUPS WITHIN THE CONGREGATION. IT IS NOT MEANT TO BE OPENED TO THE GENERAL PUBLIC. A GREASE TRAP WILL BE PROVIDED.
- THE EXISTING RESIDENCE WILL BE USED AS A RECTORY AND WILL BE CONNECTED TO THE PROPOSED WELL AND SEPTIC SYSTEM.
- PRIOR TO BUILDING PERMIT APPROVAL, THE EXISTING WELL AND SEPTIC SYSTEM MUST BE PROPERLY ABANDONED WITH DOCUMENTATION SENT TO THE HOWARD COUNTY HEALTH DEPARTMENT.
- IF APPLICABLE, GROUNDWATER APPROPRIATIONS PERMIT SHALL BE OBTAINED PRIOR TO BUILDING PERMIT APPROVAL.
- PROPOSED FACILITY USE, DESIGN WASTEWATER FLOW, AND ON-SITE SEWERAGE DISPOSAL SYSTEM DESIGN SHOWING HOW THE SYSTEM AND 2 FUTURE REPAIRS CAN FIT IN THE SEWERAGE DISPOSAL AREA MUST BE SHOWN ON THE SDP PRIOR TO HEALTH APPROVAL OF THE BUILDING PERMIT.
- WELL MUST BE DRILLED AND A COMPLETION REPORT APPROVED PRIOR TO HEALTH APPROVAL OF BUILDING PERMIT.
- FACILITY WILL REQUIRE PRE-TREATMENT AS NON-RESIDENTIAL STRENGTH WASTE. DETAILS OF TREATMENT TO BE SHOWN WITH SYSTEM DESIGN ON SDP.

APPROVED FOR PRIVATE WATER AND SEWERAGE SYSTEMS

Joseph Kim 11/2/21
HEALTH OFFICER, HOWARD COUNTY HEALTH DEPT. DATE

DATE	NO.	REVISION	BY

DEVELOPER: HOLY KOREAN MARTYRS CATHOLIC CHURCH
5801 SECURITY BOULEVARD
WOODLAWN, MD 21207
ATTN: JOSEPH YI
PHONE: 410-265-8885

OWNER: THE ROMAN CATHOLIC ARCHBISHOP OF BALTIMORE
A CORPORATION SOLE
C/O FR. JOSEPH KIM
OFFICER OF THE CORPORATION
& PASTOR OF HOLY KOREAN MARTYRS
320 CATHEDRAL STREET
BALTIMORE, MD 21201

PROJECT: HOLY KOREAN MARTYRS CATHOLIC CHURCH

AREA: TAX MAP 9, PARCEL 21 ZONED RC-DEO
GRID NO. 23 3RD ELECTION DISTRICT
1740 ROUTE 32
SYKESVILLE, MD 21784
HOWARD COUNTY, MARYLAND

TITLE: PERCOLATION CERTIFICATION PLAN

Pennoni Associates Inc.
Engineers • Surveyors • Planners
Landscape Architects

8890 McGaw Road, Suite 100 Columbia, MD 21045
T 410.997.8900 F 410.997.9282

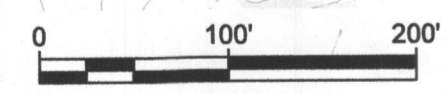
SEAL: STATE OF MARYLAND PROFESSIONAL ENGINEER JOSEPH YI LICENSE NO. 21543 EXPIRATION DATE 12/31/2021

DESIGNED BY: JSN
DRAWN BY: JSN
PROJECT NO: QNEVN19001
DATE: OCTOBER 19, 2021
SCALE: 1" = 100'
DRAWING NO. 1 OF 1



LEGEND

- EXISTING 2' CONTOUR
- EXISTING 10' CONTOUR
- EX. PROPERTY LINE AND RIGHT OF WAY
- EX. TREELINE
- EXISTING SOIL BOUNDARY
- EXISTING GAS
- EXISTING OVERHEAD ELECTRICAL
- PROPOSED WELL
- PROPOSED SEPTIC FIELD
- EXISTING 15%-25% SLOPES
- EXISTING 25%+ SLOPES
- PASSED PERCOLATION TEST LOCATION
- FAILED PERCOLATION TEST LOCATION



SOILS CHART

MAP SYMBOL	NAME	STRUCTURAL LIMITATIONS DWELLINGS W/ BASEMENTS	EROSION HAZARD	HYDRIC (Y/N)	SLOPE (%)	SOIL GROUP	Kw FACTOR	WET SEASON?
GgA	GLENELG LOAM	NOT LIMITED	SLIGHT	N	0-3	B	0.24	NO
GgB	GLENELG LOAM	NOT LIMITED	SLIGHT	N	3-8	B	0.24	NO
GgC	GLENELG LOAM	SOMEWHAT LIMITED	MODERATE	N	8-15	B	0.24	NO
GmB	GLENVILLE SILT LOAM	VERY LIMITED	SLIGHT	N	3-8	CD	0.37	YES
Mac	MANOR LOAM	SOMEWHAT LIMITED	MODERATE	N	8-15	B	0.28	NO

SOURCE: NATURAL RESOURCES CONSERVATION SERVICE WEB SOIL SURVEY.

GENERAL NOTES

- BOUNDARY AND 2' TOPOGRAPHIC INFORMATION PROVIDED BY AVAILABLE HOWARD COUNTY RECORDS.
- THE PROPERTY IS LOCATED AT 1740 ROUTE 32 IN SYKESVILLE, MD, TAX MAP 9, PARCEL 21 AND CONTAINS 337.23 ACRES.
- THE PROPERTY IS ZONED RC-DEO (RURAL CONSERVATION - DENSITY EXCHANGE OPTION).
- ANY CHANGES TO A PRIVATE SEWERAGE EASEMENT SHALL REQUIRE A REVISED PERCOLATION CERTIFICATION PLAN.
- THE TOPOGRAPHY OF THIS PLAT IS TAKEN FROM HOWARD COUNTY GIS AND HAS BEEN VERIFIED BY PENNONI TO ACCURATELY REPRESENT THE RELATIVE CHANGES TO THE SUBJECT PROPERTY.
- ALL WELLS AND SEPTIC SYSTEMS LOCATED WITHIN 100' OF THE PROPERTY BOUNDARIES AND 200' DOWN GRADIENT OF ANY WELLS AND/OR SEPTIC SYSTEMS HAVE BEEN SHOWN.
- THE PURPOSE OF THIS PLAN IS TO PROVIDE LOCATIONS AND DESIGN FOR PROPOSED WELL AND SEPTIC SYSTEMS FOR THE PROPOSED CHURCH FACILITY.
- THIS AREA DESIGNATES A PRIVATE SEWERAGE AREA AS REQUIRED BY THE MARYLAND DEPARTMENT OF THE ENVIRONMENT FOR INDIVIDUAL SEWAGE DISPOSAL. FOR LOTS CREATED PRIOR TO MARCH OF 1972 IT PROVIDES AT LEAST ENOUGH AREA TO ACCOMMODATE AN INITIAL AND TWO REPLACEMENT SEPTIC SYSTEMS AS REQUIRED BY THE HOWARD COUNTY HEALTH DEPARTMENT. IMPROVEMENTS OF ANY NATURE IN THIS AREA ARE RESTRICTED UNTIL PUBLIC SEWERAGE IS AVAILABLE. THIS AREA SHALL BECOME NULL AND VOID UPON CONNECTION TO A PUBLIC SEWERAGE SYSTEM. THE COUNTY HEALTH OFFICER SHALL HAVE THE AUTHORITY TO GRANT ADJUSTMENTS TO THE PRIVATE SEWERAGE AREA. RECORDATION OF A MODIFIED SEWERAGE AREA SHALL NOT BE NECESSARY.

- THE PROPOSED CHURCH WILL CONTAIN 1,000 SEATS. THE PROPOSED KITCHEN IS FOR CHURCH USE ONLY. IT WILL BE USED BY THE CONGREGATION FOR SPECIAL EVENTS OPEN TO THE WHOLE CONGREGATION AND MAY BE USED ON A MORE REGULAR BASIS FOR SMALLER GROUPS WITHIN THE CONGREGATION. IT IS NOT MEANT TO BE OPENED TO THE GENERAL PUBLIC. A GREASE TRAP WILL BE PROVIDED.
- THE EXISTING RESIDENCE WILL BE USED AS A RECTORY AND WILL BE CONNECTED TO THE PROPOSED WELL AND SEPTIC SYSTEM.
- PRIOR TO BUILDING PERMIT APPROVAL, THE EXISTING WELL AND SEPTIC SYSTEM MUST BE PROPERLY ABANDONED WITH DOCUMENTATION SENT TO THE HOWARD COUNTY HEALTH DEPARTMENT.
- IF APPLICABLE, GROUNDWATER APPROPRIATIONS PERMIT SHALL BE OBTAINED PRIOR TO BUILDING PERMIT APPROVAL.
- PROPOSED FACILITY USE, DESIGN WASTEWATER FLOW, AND ON-SITE SEWAGE DISPOSAL SYSTEM DESIGN SHOWING HOW THE SYSTEM AND 2 FUTURE REPAIRS CAN FIT IN THE SEWAGE DISPOSAL AREA MUST BE SHOWN ON THE SDP PRIOR TO HEALTH/APPROVAL OF THE BUILDING PERMIT.
- WELL MUST BE DRILLED AND A COMPLETION REPORT APPROVED PRIOR TO HEALTH APPROVAL OF BUILDING PERMIT.
- FACILITY WILL REQUIRE PRE-TREATMENT AS NON-RESIDENTIAL STRENGTH WASTE. DETAILS OF TREATMENT TO BE SHOWN WITH SYSTEM DESIGN SDP.

APPROVED FOR PRIVATE WATER AND SEWERAGE SYSTEMS

John J. Davis 11/2/21
HEALTH OFFICER, HOWARD COUNTY HEALTH DEPT. DATE

DATE	NO.	REVISION	BY

DEVELOPER
HOLY KOREAN MARTYRS CATHOLIC CHURCH
5801 SECURITY BOULEVARD
WOODLAWN, MD 21207
ATTN: JOSEPH YI
PHONE: 410-265-8885

OWNER THE ROMAN CATHOLIC ARCHBISHOP OF BALTIMORE
A CORPORATION SOLE
C/O FR. JOSEPH KIM
OFFICER OF THE CORPORATION
& PASTOR OF HOLY KOREAN MARTYRS
320 CATHEDRAL STREET
BALTIMORE, MD 21201

PROJECT
HOLY KOREAN MARTYRS CATHOLIC CHURCH

AREA
TAX MAP 9, PARCEL 21 ZONED RC-DEO
GRID NO. 23 3RD ELECTION DISTRICT
1740 ROUTE 32
SYKESVILLE, MD 21784
HOWARD COUNTY, MARYLAND

TITLE
PERCOLATION CERTIFICATION PLAN

Pennoni Associates Inc.
Engineers • Surveyors • Planners
Landscape Architects

8890 McGaw Road, Suite 100 Columbia, MD 21045
T 410.997.8900 F 410.997.9282

SEAL

DESIGNED BY: JSN
DRAWN BY: JSN
PROJECT NO.: QNEVN19001
DATE: OCTOBER 19, 2021
SCALE: 1" = 100'
DRAWING NO. 1 OF 1