

Approved
11 MRE 11/20/23

Record Detail * (This section is required.)

Permit Type Building/Residential/Misc/Porch Permit Number B23004470 Opened Date 11/09/2023
Description of Work SFD/Extend existing rear covered porch, approximately 11' x 14'6 and 3' x 22'-3"

check spelling

Address * (This section is required.)

Search Reset Clear Get Parcel & Owner
Street # 5207 Street Name SWEET MEADOW Street Type LN
Unit Type --Select-- Unit # X Coordinate -76.94915 Y Coordinate 39.22891
City CLARKSVILLE State MD Zip Code 21029 Primary Yes

Parcel * (This section is required.)

Search Reset Clear Get Address & Owner
GIS ID * 924654 Parcel 74 Parcel Area 39172 Land Value 339000 Improved Value 1523000 Exemption Value 1184000 Plan Area RURAL
Legal Description IMPSLOT 68 39172 SQ[]5207 SWEET MEADOW LN[]WALNUT GROVE

check spelling

Block 68 Lot 68 Census Tract 605101 Council Dist 5 Inspection Dist Supervisor Dist Map # DAP Zone
Plan Area State Tax Id 1405449324 Subdivision Name Walnut Grove
Section Area Tax Map 28
Grid 28-17 Zoning District ADC Map 4933-J4
SDP No. Final Plan No. F-06-031 WP File No.
Record Plat No. 19220-1922 WS Contract No. FDP No. Primary Yes
Owner Occupied Yes No Year Built 2014 Historic District Yes No
Historic District Registry No. Stat Area 5-02A Flood Plain Yes No
Building No

Owner * (This section is required.)

Search Reset Clear
Name * PEAY SEAN M
Address Line 1 5207 SWEET MEADOW LANE
Address Line 2
Address Line 3
Mail City CLARKSVILLE Mail State MD Mail Zip Code 21029

Phone 410-984-5813 Primary Yes

Cell Number Fax Number

Professionals (This section is not required.)

License # 08010091659 Business Name MCWHORTER CONSTRUCTION LLC
License Type MHIC Ind Primary Yes
First Name RYAN Middle Name Last Name MCWHORTER
Address Line 1 6851 REDBERRY ROAD Address Line 2
City CLARKSVILLE State MD ZIP Code 21029-0000
Phone 1 4109845813 Phone 2 Fax 3018543449
E-mail MCWHORTEROUTDOOR@GMAIL.COM

Applicant (This section is not required.)

Search As Owner As Lic. Prof As Contact

Type Applicant Relationship Applicant Primary Yes
First Name RYAN MI Last Name MCWHORTER
Full Name RYAN MCWHORTER
Organization Name MCWHORTER CONSTRUCTION LLC
Street Address 6851 REDBERRY ROAD Address Line 2
City CLARKSVILLE State MD Zip Code 21029-0000
Phone 4109845813 Cell Fax 3018543449
E-mail MCWHORTEROUTDOOR@GMAIL.COM

Addtl Info

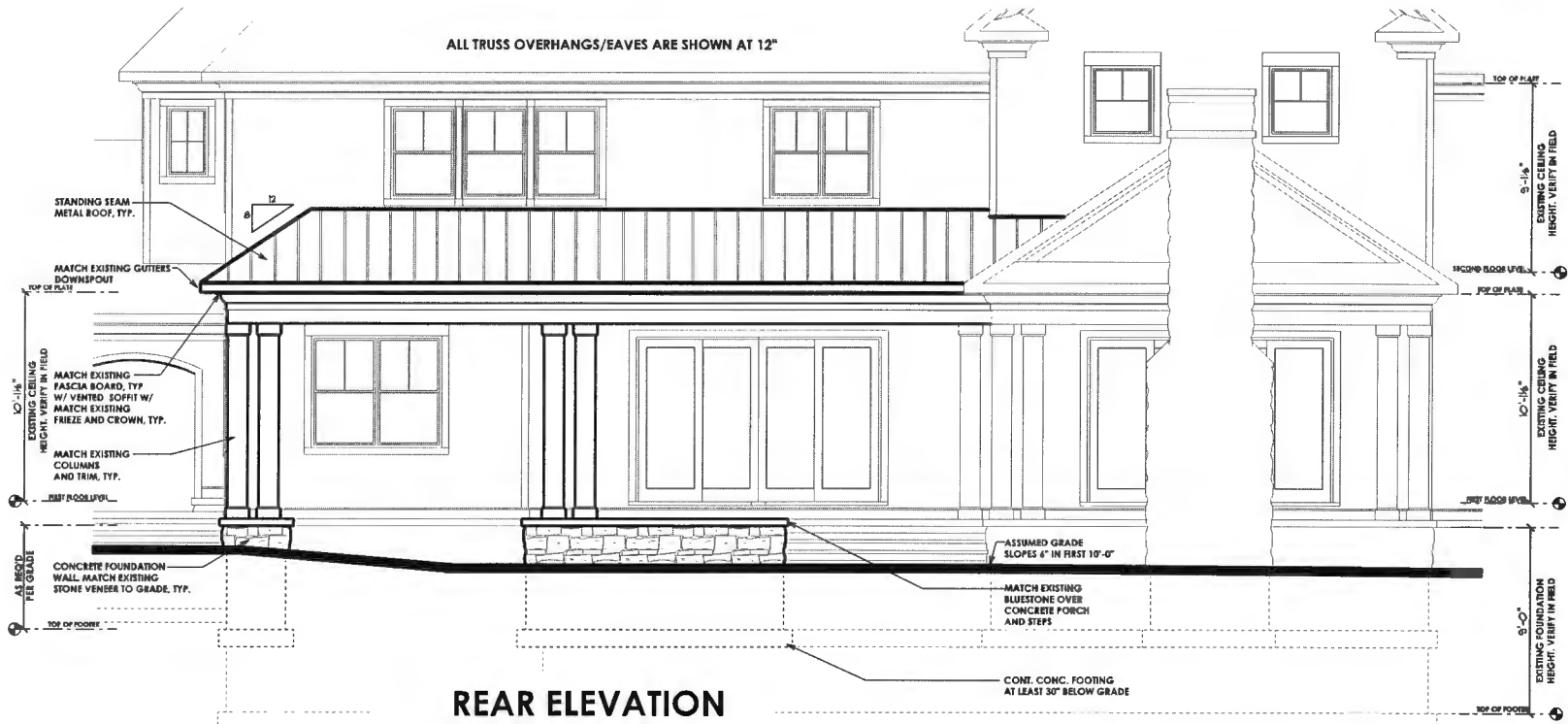
Est Construction Cost 20000 Housing Units 0 Number of Buildings 0 Public Owned No
Construction Type 434 - Additions, Alterations and Conversions - Residential

PORCH INFORMATION

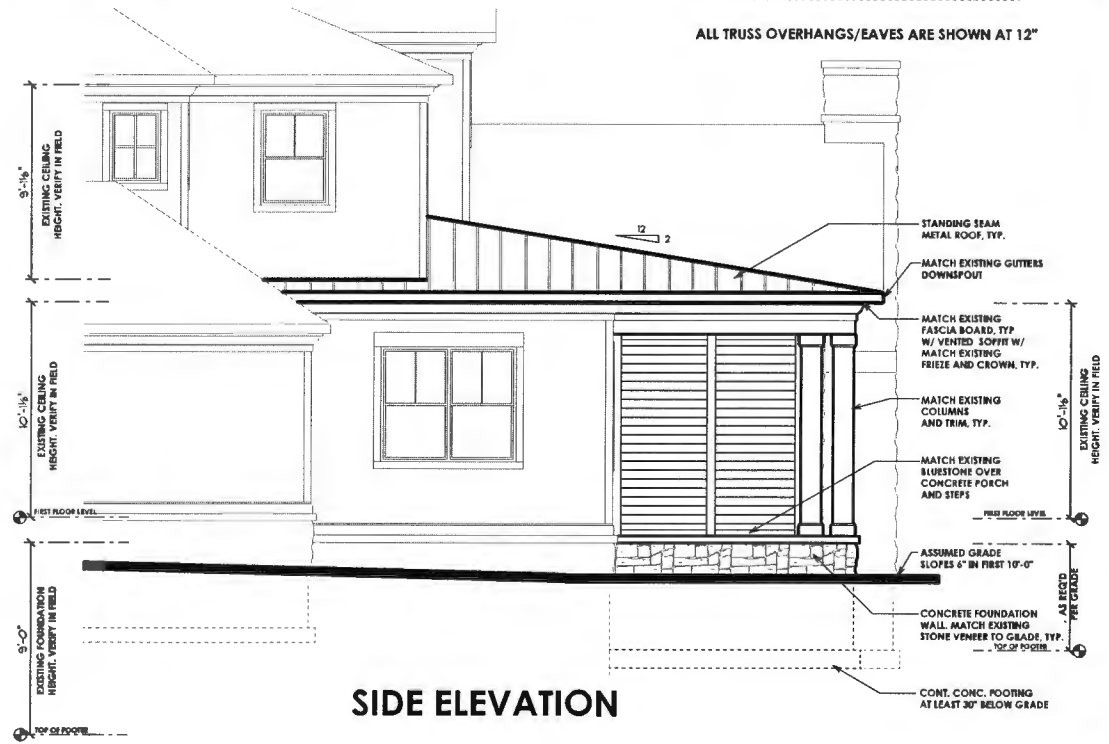
PORCH INFORMATION

Capital Project-No Fee Yes No Capital Project Number Fee Exempt Yes No Roadside Tree Project Permit Yes No Roadside Tree Project Permit #
Existing Use SFD Type of Porch Open Porch Type of Porch Foundation New Slab Total Square Footage 195 SQFT
Water Supply Private Sewage Disposal Private Expiration Date 5/12/2024

Submit Cancel



REAR ELEVATION



SIDE ELEVATION

PROFESSIONAL CERTIFICATION
 I certify that these documents were prepared or approved by me, and that I am a duly licensed professional architect under the laws of the State of Maryland.
 License Number: #14678
 Expiration Date: 6/30/2024

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PROPOSED ADDITION

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BUILDER
 McWhorter Construction
 2900 Daisy Road
 Woodbine, Maryland
 (410) 984-5813
 ryva@mcwhorterconstruction.net

ISSUE DATE

▲	11-03-23	PERMIT SET
▲		
▲		
▲		
▲		
▲		

SCALE: 1/4" = 1'-0"
ELEVATIONS
1.01
 PRINT DATE:
 Tuesday, November 7, 2023

PROFESSIONAL CERTIFICATION
I certify that these documents were prepared or approved by me, and that I am a duly licensed professional architect under the laws of the State of Maryland.
License Number #14478
Expiration Date: 4/30/2024

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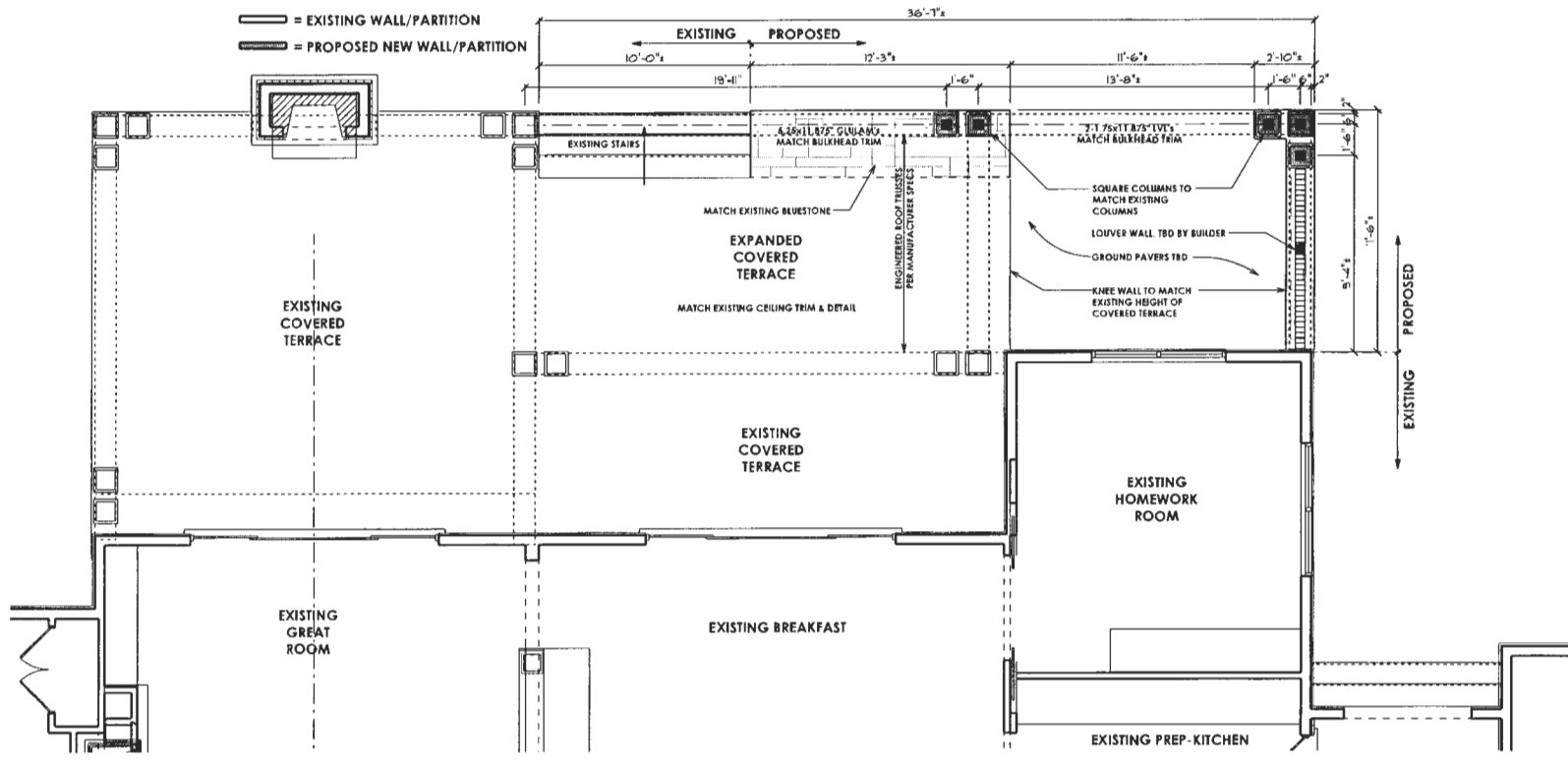
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(410) 984-5813
ryan@mcwhorterconstruction.net

ISSUE DATE
11-03-23 PERMIT SET

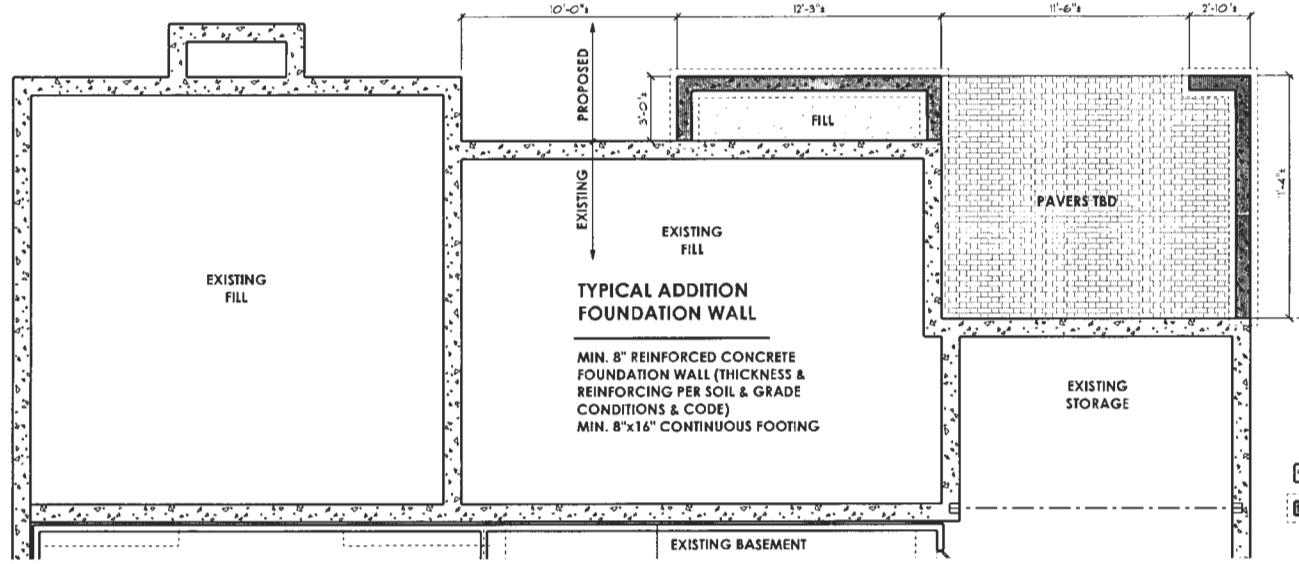
SCALE: 1/4" = 1'-0"

FLOOR PLANS
2.01
PRINT DATE:
Tuesday, November 7, 2023



1st FLOOR PLAN

ALL DIMENSIONS TO BE VERIFIED IN FIELD



FOUNDATION

FOUNDATION NOTES

- 1) 1500 PSF MIN SOIL BEARING CAPACITY ASSUMED
- 2) BEAMS, JOISTS, HEADERS & RAFTERS TO BE SPF #1/#2 OR EQ. TYP THRUOUT U.N.O.
- 3) ALL LOCATIONS FOR HVAC, SUMP PUMPS, ROUGH-INS, H/W/H, A/H AND OTHER FEATURES ARE SUBJECT TO BUILDER DISCRETION ON SITE
- 4) FOUNDATION WALL MIN. THICKNESS 8" or 10" WHERE STEM WALL AT BRICK LEDGE EXCEEDS 12" HIGH
- 5) MIN. 1/2" HOOKED ANCHOR BOLTS EMBEDDED A MIN. 7" INTO CONC. SHALL BE SPACED AT 4' O.C. AND LOCATED 4" TO 12" FROM EACH END OF ALL SILL PLATE PIECES.
- 6) REFER TO WALL SECTION(S) FOR FOUNDATION WALL DETAILS.

= EXISTING FOUNDATION WALL
 = PROPOSED FOUNDATION WALL

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 ryan@mcwhorterconstruction.net

ISSUE DATE

NO.	DATE	DESCRIPTION
1	11-02-23	PERMIT SET
2		
3		
4		
5		
6		
7		

SCALE: 1/4" = 1'-0"

SECTIONS

3.01

PRINT DATE:
 Tuesday, November 7, 2023

