

Record Detail * (This section is required.)

Permit Type Building/Residential/Misc/Tanks Permit Number B23004110 Opened Date 10/11/2023
 Description of Work SFD//INSTALL (1) ONE 500 GALLON UNDERGROUND PROPANE TANK

[check spelling](#)

Address * (This section is required.)

Search Reset Clear Get Parcel & Owner

Street # 14005 Street Name CLARKSVILLE Street Type PIKE
 Unit Type --Select-- Unit # X Coordinate -76.96734 Y Coordinate 39.16045
 City HIGHLAND State MD Zip Code 20777 Primary Yes



Parcel * (This section is required.)

Search Reset Clear Get Address & Owner

GIS ID *	Parcel	Parcel Area	Land Value	Improved Value	Exemption Value	Plan Area
845301	443	3.73	245400	0	0	RURAL

Legal Description
 PAR 4 3.733A S 1[]RT 108 SS[]FOX HAVEN

[check spelling](#)

Block	Lot	Census Tract	Council Dist	Inspection Dist	Supervisor Dist	Map #	DAP Zone
	PAR 4	605102	5				

Plan Area State Tax Id 1405375134 Subdivision Name
 Section Area Tax Map 40
 Grid 40-16 Zoning District RR-DEO ADC Map 5051-F5
 SDP No. Final Plan No. WP File No.
 Record Plat No. WS Contract No. FDP No. Primary Yes
 Owner Occupied Year Built Historic District
 Yes No Yes No
 Historic District Registry No. Stat Area 5-15A Flood Plain
 Yes No
 Building No

Owner * (This section is required.)

Search Reset Clear

Name *
 TEMOFEEW RICHARD K
 Address Line 1
 13465 LONG DAYS CT
 Address Line 2
 Address Line 3

Mail City HIGHLAND Mail State MD Mail Zip Code 20777
 Phone 410-239-9515 Primary Yes

E-mail

Cell Number

Fax Number

Professionals (This section is not required.)

License # * 20020089549
 License Type * Plumb/Gas
 Primary Yes

Business Name MODERN COMFORT SYSTEMS LLC

First Name FRANK Middle Name E Last Name HENSLEY

Address Line 1 P.O. BOX 26
 Address Line 2

City WESTMINSTER State MD ZIP Code 21157-0000

Phone 1 4432777364 Phone 2 Fax

E-mail FHENSLEY@MODERNCOMFORTSYSTEMS.COM

Applicant (This section is not required.)

Search As Owner As Lic. Prof As Contact

Type * Applicant
 Relationship Applicant
 Primary Yes

First Name MICHELLE MI Last Name CLANCY

Full Name MICHELLE CLANCY

Organization Name APPLIED & APPROVED PERMITS LLC

Street Address P.O. BOX 310
 Address Line 2

City PERRY HALL State MD Zip Code 21128

Phone 443-340-1229 Cell Fax

E-mail * MICHELLE@APPLIEDANDAPPROVED.COM

Addtl Info

Est Construction Cost * 800 Housing Units * 0 Number of Buildings * 0 Public Owned No

Construction Type 434 - Additions, Alterations and Conversions - Residential

TANK INFORMATION

RESIDENTIAL TANK INFORMATION

Capital Project-No Fee * Yes No Capital Project Number _____ Fee Exempt * Yes No Roadside Tree Project Permit * Yes No Roadside Tree Permit # _____

Existing Use * SFD Number of Tanks Installed * 1 Number of Tanks Removed * 0

Water Supply Private Sewage Disposal Private Expiration Date 4/14/2024 Relocate Existing Tank * 0

Submit Cancel

Menu Save Reset Cancel Help

Record Detail * (This section is required.)

Permit Type Building/Residential/Misc/Porch Permit Number B23004147 Opened Date 10/13/2023
Description of Work SFD/Construct new 16' x 24' open deck with stairs, plus attached 16' x 16' screened porch on rear of home

check spelling

Address * (This section is required.)

Search Reset Clear Get Parcel & Owner

Street # 5038 Street Name CRAPE MYRTLE Street Type CT
Unit Type --Select-- Unit # X Coordinate -76.9474 Y Coordinate 39.23535
City ELLICOTT CITY State MD Zip Code 21042 Primary Yes

Parcel * (This section is required.)

Search Reset Clear Get Address & Owner

GIS ID * 1105356 Parcel 49 Parcel Area 36707 Land Value 337800 Improved Value 1383100 Exemption Value 1045300 Plan Area RURAL
Legal Description IMPSLOT 152, 36,707 SQ[]5038 CRAPE MYRTLE CT[]WALNUT CREEK PHASE 4

check spelling

Block 152 Census Tract 605101 Council Dist 5 Inspection Dist Supervisor Dist Map # DAP Zone
Plan Area State Tax Id 1405598905 Subdivision Name Walnut Creek
Section Area Tax Map 28
Grid 28-11 Zoning District RC-DEO ADC Map 4933-J3
SDP No. Final Plan No. F-07-076 WP File No.
Record Plat No. 23611-2362 WS Contract No. FDP No. Primary Yes
Owner Occupied Year Built 2017 Historic District Yes No
Historic District Registry No. Stat Area 5-02A Flood Plain Yes No
Building No

Owner * (This section is required.)

Search Reset Clear

Name * KOMATHI SUNIL
Address Line 1 5038 CRAPE MYRLE CT
Address Line 2
Address Line 3
Mail City ELLICOTT CITY Mail State MD Mail Zip Code 21042

PERMIT NUMBER: B 22002216

DATE ACCEPTED:

RECEIVED JUN 03 2022



RESIDENTIAL BUILDING PERMIT APPLICATION

HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES, AND PERMITS

3430 COURT HOUSE DRIVE, ELLICOTT CITY, MD 21043 - PHONE: (410) 313-2455 OPT. ON #4

www.howardcountymd.gov

BUILDING SITE ADDRESS REQUIRED

Street Address: 14005 Clarksville Pike Unit: City: Highland State: MD Zip Code: 20777

DESCRIPTION OF WORK REQUIRED

Existing Use: Vacant Lot Proposed Use: Single Family Home Estimated Cost: \$768,590.42 Construction of Detached single family dwelling to include 2 car garage, 2 bedrooms, office and full bath on lower level, master bedroom, 1 full and 1 half bathroom, living room area, kitchen, pantry, closets and storage on main level.

1 story

PROPERTY OWNER INFORMATION REQUIRED

Owner(s) Name(s): Temofeew Richard K; Temofeew Denise R Primary Residence: Yes No City: Highland State: MD Zip Code: 20777

APPLICANT NAME REQUIRED - INDIVIDUAL WHO SIGNS THIS APPLICATION

Business Name: D2 Contractors LLC Contact Name: Dale German City: Finksburg State: MD Zip Code: 21048

CONTRACTOR INFORMATION REQUIRED

Business Name: D2 Contractors LLC License #: MHR 8580 City: Finksburg State: MD Zip Code: 21048

ARCHITECT/ENGINEER INFORMATION INDIVIDUAL WHO SIGNED PLANS, IF APPLICABLE

Business Name: 2e Architects Name: Peter Twoey City: Timonium State: MD Zip Code: 21093

BUILDING CHARACTERISTICS REQUIRED

Primary Structure: SF Dwelling SF Townhouse SF Duplex Mobile Home Multi-Family Dwelling (MF*) Condo: Yes No Utilities: Electric Gas Water Supply: Public Private (Well) Sewage Disposal: Public Private (Septic)

ADDITIONAL RESIDENTIAL INFORMATION (PLEASE SELECT/COMPLETE ALL THAT APPLY)

Model Name & Options: # of Bedrooms (SF): 4 # of efficiency units (MF*): # of 1 BR (MF*): # of 2 BR (MF*): # of 3 BR (MF*): # Rooms: 16 # Full Baths: 2 # Half Baths: 1 # Fireplaces: 0

Full Basement Vertical Finksburg

AGREEMENT/ DISCALIMER REQUIRED

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

APPLICANT'S ORIGINAL SIGNATURE DATE SIGNED 6-3-22

FOR OFFICE USE ONLY

CHECKS PAYABLE TO: DIRECTOR OF FINANCE OF HOWARD COUNTY

AGENCIES REQUIRED/APPROVALS: PR LDPZ DED Health SHA CID SUBMITTAL FEES: 150- PAYMENT: online ACCEPTED BY: me



HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

3430 Court House Drive ■ Ellicott City, Maryland 21043 ■ 410-313-2350
Voice/Relay

Amy Gowan, Director

FAX 410-313-3467

May 4, 2022

Richard and Denise Temofeew
13465 Long Days Court
Highland, MD 20777

RE: 14005 Clarksville Pike
TM 40, Grid 21, Parcel 443
(the "Property")

Sir or Madam:

I am writing in response to your request for a determination whether the Property is a legal "buildable lot." You submitted deeds for Parcel 443 recorded on June 4, 2021 (L:20642/F:270), December 29, 2020 (L:20407/F:234), February 4, 2004 (L:8303, F:191), October 6, 1982 (L:1321, F:266), and February 24, 1975 (L:713, F:363).

This Division has researched the zoning in place in 1971. The deed recording the subdivision is dated February 24, 1975, with the recording in Liber 713, Folio 363.

The lot was zoned R-40 (Residential: Single Family Detached); with a minimum lot size of 40,000 square feet. Additionally, any deed filed between May 3, 1974 (Liber 680, Folio 506) and March 5, 1975 (Liber 715, Folio 221) to create a lot in which no more than four (4) lots total were created at one time, exempted that type of division from complying with the subdivision plat process. This type of division would allow property owners to create three (3) lots and a residue of the original tract (considered as the fourth lot). This residue could then be re-divided into three (3) lots and a residue. This process could continue until all of the original parcel was divided and did not make a distinction as to minimum lot size other than that required by the zoning district. The above is the period commonly referred to as the "Loop-Hole" period. This remained valid until the adoption of the term "subdivision" which closed the "Loop-Hole" division and required all future subdivision to go through the Howard County Subdivision and Land Development Regulations, effective March 5, 1975.

This means that the property located at Tax Map 40, Parcel 443 was legally created and is therefore a buildable lot for which this Division will grant authorization of a building permit for a single-family dwelling, but only if the dwelling complies with the current bulk regulations for the RR-DEO District.

The Property may be subject to access or plan approval requirements before a building permit may be issued. A building permit application for a single-family detached dwelling on the Property will not be given zoning authorization unless a copy of this letter is submitted with the application. If you have any questions, please contact me at 410-313-4383 or jehartner@howardcountymd.gov.

Sincerely,

JJ Hartner, Planning Supervisor
Division of Public Service and Zoning Administration

Cc: Julia Sauer, Planning Supervisor, DPZ
BLD-22-011

**COMPLETE THIS FORM WHEN DROPPING OFF ANY
CORRESPONDENCE AND/OR PLANS TO THE HOWARD COUNTY
DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS COUNTER:**

Date: 6-23-23 ONLINE SUBMITTAL PAPER SUBMITTAL

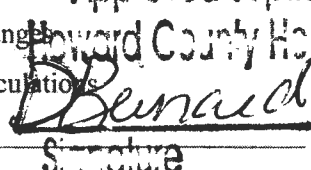
To: Mike Blewins Plan Review
(Reviewer/Requestor's Name) (Division)

From: Dele German. D2 Contractors _____
(Your Name, Company Name) (Phone Number)

Subject: Project name Remodel
Project site address 14005 Clarksville Pike
Permit # B22002216 SDP # _____
Other information pertinent to this project _____

Please check the attachments below that you are submitting with this transmittal:

- Letter of response to address plan review comment letter
- Revised plans and/or revised details. **Approved Septic System Plan** (If a plan is submitted for re-review, duplicate sets shall be submitted.)
- Letter Summarizing Changes
- Energy conservation calculations
- Copies of _____ (be specific).



 Health Department Request DPZ/ DED Request Applicant's Request
- Two sets of single-family model plans to be placed on permanent file: Model name and/or # _____
- Other Foundation Window Header Detail

Contact Person Information: (Required)

Dele German Telephone No: 443-744-9074
Please Print Name E-Mail Address: Dele@D2Contractors.com

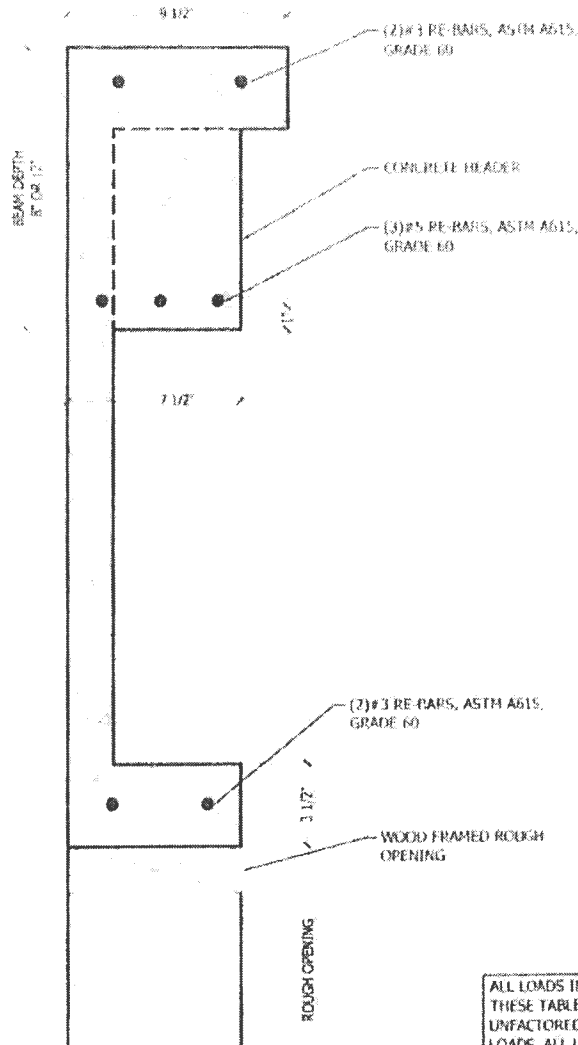
PLEASE ASSURE ALL DOCUMENTS AND/OR REVISIONS ARE APPROPRIATELY SIGNED AND SEALED, IF NECESSARY, BY A LICENSED ARCHITECT OR ENGINEER. PLEASE BE ADVISED THAT INSUFFICIENT INFORMATION MAY RESULT IN THE DELAY OF REVIEW BY THE PLANS EXAMINER. THE DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS WILL CONTACT YOU IF THERE IS A PROBLEM. IN ADDITION, ONCE THE BUILDING PERMIT IS APPROVED BY THE PLAN REVIEW DIVISION AND ALL OTHER REQUIRED SIGNATORY AGENCIES, AND THE BUILDING PERMIT IS READY FOR ISSUANCE, THE PERMIT DIVISION WILL NOTIFY THE APPROPRIATE CONTACT PERSON FOR PERMIT PICK UP. ALL PERMIT STATUS INQUIRIES SHALL BE DIRECTED TO THE PERMIT DIVISION AT 410-313-2455 OPTION #4 OR BY VISITING MYHOWARD.INFO. CODE RELATED QUESTIONS AND PLAN REVIEW INQUIRIES SHALL BE DIRECTED TO THE PLAN REVIEW DIVISION AT 410-313-2436. PLEASE ALLOW A MINIMUM OF FIVE (5) WORKING DAYS FOR ANY PLAN SUBMITTALS TO BE REVIEWED. THANK YOU.

RECEIVED

Received by _____
White-Plan Review / Yellow-Applicant / Pink-Permit Division
t:\Operations\Updated forms\HoCoTransmittalForm05.2022

JUN 23 2023

LICENSES & PERMITS
DIVISION



ALL LOADS INDICATED IN THESE TABLES ARE UNFACTORED SERVICE LOADS. ALL LOADS (DEAD, LIVE, ETC.) MUST BE COMBINED TO OBTAIN THE TOTAL SERVICE LOADS INDICATED.

FIGURE 21a : HEADER SECTION A-A

(INSULATION AND METAL STUDS NOT SHOWN FOR CLARITY)

TABLE 9	
12" HEADER SPAN TABLE	
Clear Span (feet)	Maximum Load (PLF)
3'-0"	1500
3'-6"	1750
4'-0"	3250
4'-6"	3000
5'-0"	2700
5'-6"	2400
6'-0"	2250
6'-6"	2000
7'-0"	1900
7'-6"	1750
8'-0"	1675
8'-6"	1500
9'-0"	1450
10'-0"	1350
11'-0"	1200
12'-0"	1100
13'-0"	1000
14'-0"	950
15'-0"	900
16'-0"	800

8" HEADER SPAN TABLE	
Clear Span (feet)	Maximum Load (PLF)
3'-0"	2800
3'-6"	2400
4'-0"	2100
4'-6"	1850
5'-0"	1700
5'-6"	1500
6'-0"	1400
6'-6"	1300
7'-0"	1200
7'-6"	1100
8'-0"	1050
8'-6"	1000
9'-0"	900
10'-0"	800
11'-0"	750
12'-0"	700
13'-0"	600
14'-0"	450
15'-0"	300
16'-0"	250

AFS Geo Consultants, LLC
 Geotechnical Consulting and Earth Retaining Structures Design

MODERN PRECAST SYSTEMS

IPCA CERTIFIED PLANT
 7860 Kabik Court, Woodbine, MD, 21797

STATE OF MARYLAND
 ALY F. SOLIMAN
 PROFESSIONAL ENGINEER
 No. 19957
 8/23/22

ENVIROCAST
 RESIDENTIAL · COMMERCIAL · INDUSTRIAL

Drawn By: ART
 Checked By: AFS
 DATE: 11/8/19
 Page Number: 34 of 65

How the Crushed Stone Footing Works

- The purpose of any wall footing is to spread the load from the wall over a sufficiently large area of soil thereby not exceeding the load bearing capacity of the soil.
- The load of the building is transferred into the Enviro-Cast Wall System, where it is transmitted to the crushed stone footings.
- The load distribution path width through the crushed stone travels downward through the stone increasing as it spreads at an angle of 60% from horizontal (30% from vertical) to the undisturbed soil below.
- As the depth of the crushed stone footing increases the effective bearing width of the crushed stone footing on the undisturbed soil also increases, resulting in a wider bearing surface on the soil. (See Figure 1 on sheet 6 for a visual reference).
- The tables on sheet 10 of this handbook give the approximate values of soil bearing capacity based on various depths of stone in the foundation.

CODE REFERENCE
2018 IRC SECTION R902.3
(PRECAST CONCRETE)

CODE REFERENCE
2018 IRC SECTION R903.1
(GENERAL)

CODE REFERENCE
2018 IRC SECTION R903.4.1
(CRUSHED STONE FOOTINGS)

Crushed Stone Footings

1. Place the crushed stone footing as determined from the table on the previous page.
2. Enviro-Cast Wall System panels must be placed on clean crushed stone that is free from organic matter and clay or silt. The crushed stone shall be angular and graded according to ASTM C33 with a maximum size not to exceed 1/2". Natural rounded river gravels should not be used.
3. The crushed stone footing shall bear on in situ, undisturbed soil. DO NOT place crushed stone footing on fill.
4. Evenly grade the crushed stone to level.
5. Other sizes of stone may be used for under-slab applications but must terminate 2'-0" or more from the inside edge of the Enviro-Cast Wall System. Other stone types and sizes must not be within the load distribution path of the Enviro-Cast wall system.
6. Don't forget to retain some gravel for final grading.
7. All crushed stone used in the footings must be compacted to 98% standard Proctor.

TABLE 3

Minimum Depth of Crushed Stone Footing (inches)

Construction Type (Assumed Wall Loading)		Soil Type and Load Bearing Capacity (PSF)		
		1500	2000	3000
		MH, CH, CL, ML	SC, GC, SM, GM, SP, SH	GP, GB
Conventional Light Frame Construction (e)				
1 Story	1100 pounds per lineal foot	4"	4"	4"
2 Story	1800 pounds per lineal foot	7"	4"	4"
3 Story	2900 pounds per lineal foot	14" (a)	9" (a)	4"
Masonry Veneer over light frame construction (e)				
1 Story	1500 pounds per lineal foot	5"	4"	4"
2 Story	2700 pounds per lineal foot	13" (a)	8"	4"
3 Story	4000 pounds per lineal foot	22" (a)	14" (a)	7"

- (a) Crushed stone must be consolidated in 8" lifts with a plate vibrator to 98% standard proctor
 (b) Table allows for 430 pounds per lineal foot for self weight of foundation wall
 (c) See note 2 above for stone specifications
 (d) Consult drawings for the required depth of the crushed stone footing
 (e) Assumed Wall Loading (plf) per 2018 IRC Table R403.4.1
 (f) The above wall loads are presumptive and may not be equivalent to the loads of your project.
 Consult a Design Professional to calculate the actual loads for your project.

AFS Geo Consultants, LLC
Geotechnical Consulting and Earth Retaining Structures Design

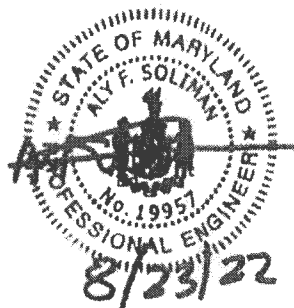


MODERN
PRECAST
SYSTEMS



7860 Kabik Court, Woodbine, MD, 21797

CRUSHED STONE FOOTING



Drawn By:
ART
DATE:
11/8/19

Checked By:
AFS
Page Number:
12 of 65

Bernard, Dana

From: Bernard, Dana
Sent: Wednesday, June 29, 2022 3:28 PM
To: Tony Fertitta (tonyf@fcc-eng.com); Dale@d2contractors.com; denisetemofeew@att.net
Subject: 14005 Clarksville- B22002216

Good Afternoon All,

I have reviewed your Building permit and the only thing missing is the OSDS plan. If you can get Tony to send it in we will be able to review your property ASAP and approve your building permit. I know that Tony worked on the Percolation Certification Plan so I figured he would be preparing your OSDS plan. The Septic Specs to complete the OSDS was sent out on March 2, 2022. If anyone has any questions don't hesitate to shoot me an e-mail.

Thanks
Dana Bernard
Well and Septic Program

Silvast, Zackary

From: Silvast, Zackary
Sent: Thursday, March 17, 2022 12:21 PM
To: Tony Fertitta
Cc: Bernard, Dana
Subject: Regarding PC for 14005 Clarksville Pike

Hello Mr. Fertitta,

We are requiring revisions to the most recent submittal of the perc certification plan for 14005 Clarksville Pike.

1. **We are requiring that all perc holes be labeled accurately.**
2. **We are requiring that the elevation be shown for each of the three perc holes tested on February 28th, 2022.**
3. **Please revise note #7 to say "Topography shown is from Howard County GIS topography at 2' contour intervals, and has been either field run or field verified as stated in local Howard County Code."**

Once these comments have been addressed, we'll look forward to getting this approved and signed swiftly. Thank you.

- ZS

Zack Silvast (LEHS)

Plan Supervisor - Water & Sewer Division

410-313-1777

Environmental Health Bureau
Howard County Health Department

Bernard, Dana

From: Tony Fertitta <tonyf@fcc-eng.com>
Sent: Tuesday, February 22, 2022 2:59 PM
To: Bernard, Dana
Cc: Paul Cavanaugh
Subject: RE: 14005 Clarksville Pike

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

Thank you see you out at 14005 Clarksville Pike on the 28th the Temofeew's.

Tony

From: Bernard, Dana <dbernard@howardcountymd.gov>
Sent: Tuesday, February 22, 2022 2:15 PM
To: Tony Fertitta <tonyf@fcc-eng.com>
Subject: RE: 14005 Clarksville Pike

Yes! I responded to the homeowner earlier today. I didn't know you were working on this project.

See you soon.

From: Tony Fertitta <tonyf@fcc-eng.com>
Sent: Tuesday, February 22, 2022 11:20 AM
To: Bernard, Dana <dbernard@howardcountymd.gov>
Cc: Paul Cavanaugh <PaulC@fcc-eng.com>
Subject: FW: 14005 Clarksville Pike

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

Just checking to see if we are set for Feb. 28th.

Thanks
Tony

From: Tony Fertitta
Sent: Friday, February 18, 2022 8:26 AM
To: Bernard, Dana <dbernard@howardcountymd.gov>
Cc: Paul Cavanaugh <PaulC@fcc-eng.com>
Subject: 14005 Clarksville Pike

Can we have feb 28th for the perc test out at 14005 Clarksville Pike
Thanks
Tony

Williams, Jeffrey

From: Williams, Jeffrey
Sent: Thursday, December 2, 2021 3:52 PM
To: 'Tony Fertitta'
Subject: RE: 14005 Clarksville Pike

I reviewed it for signature and we have the following issue to be resolved:

- The first version of the perc cert contained a note that a hole was needed in the middle of the area when we installed the first system since the passing holes are so far apart from each other. This new proposal cuts off so much of one side that the new top of the area is nowhere near any passing holes. We will need to do at least one hole in that area in order to proceed with this proposed new configuration.

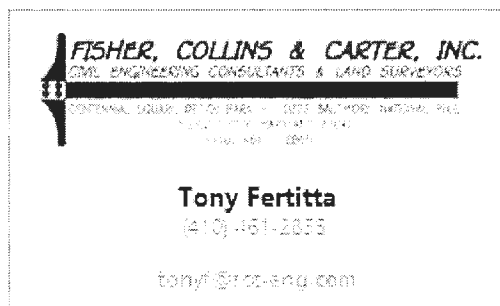
Jeff

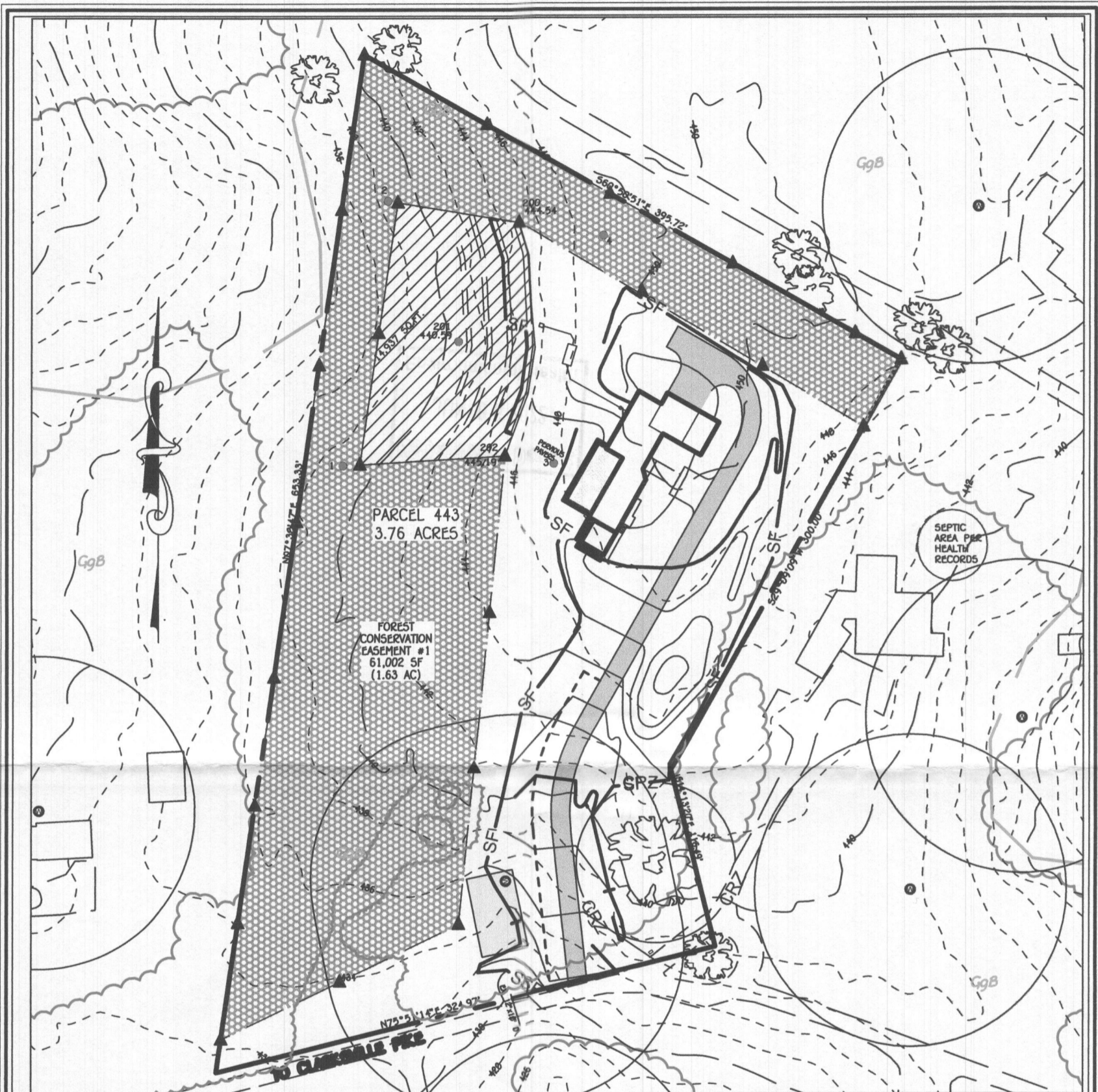
From: Tony Fertitta <tonyf@fcc-eng.com>
Sent: Wednesday, December 1, 2021 7:55 AM
To: Williams, Jeffrey <jewilliams@howardcountymd.gov>
Subject: 14005 Clarksville Pike

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

Just checking to see who is reviewing this plan.

Thanks
Tony





**PLAN TO ACCOMPANY
BUILDING PERMIT
14005 CLARKSVILLE PIKE**

ZONED: RR-DEO
 TAX MAP: 40 PARCEL: 443 GRID: 21
 FIFTH ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND
 DATE: MAY 27, 2022
 SCALE: 1" = 100'

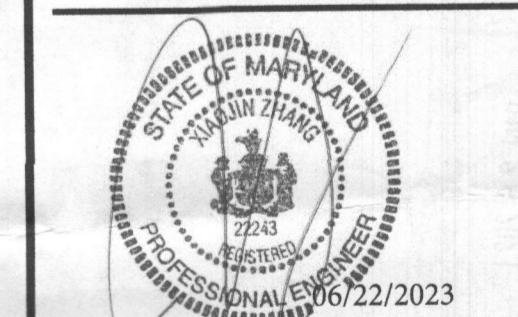
FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
 ELICOTT CITY, MARYLAND 21042
 (410) 461 - 2855

Job #

Date: 04/29/2022 Issue: REVIEW SET
05/27/2022 PERMIT SET

REVISION

- 1 06/17/2022 REVISION
- 2 07/13/2022 COUNTY COM



I hereby certify that these documents were prepared or approved by me, and I am a duly licensed professional engineer under the law of the State of Maryland, License No. 22243, Expiration Date: 02/04/2025

Drawn LS Checked JZ

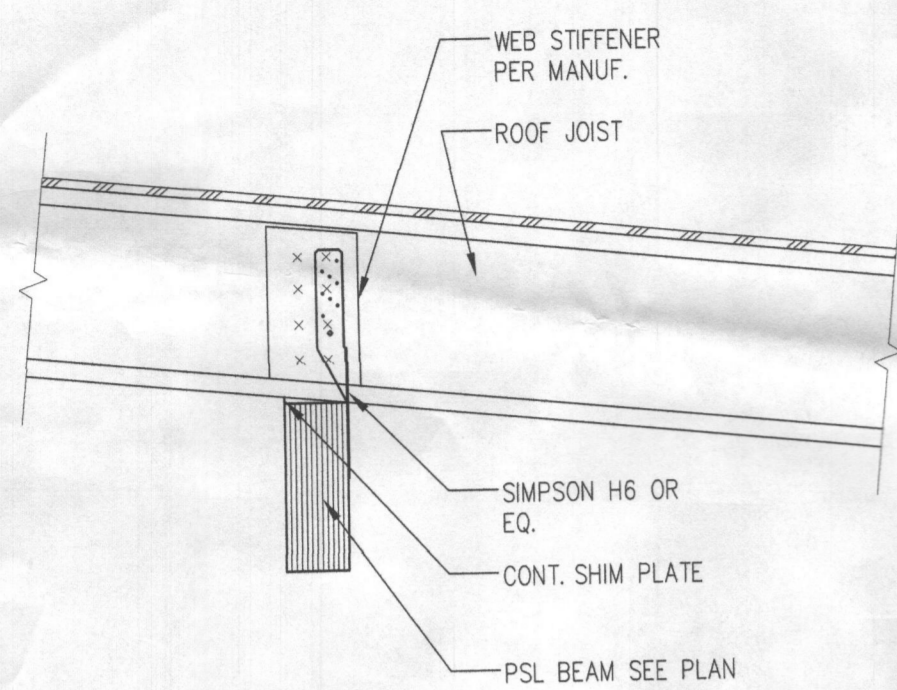
Scale AS NOTED

Sheet Title

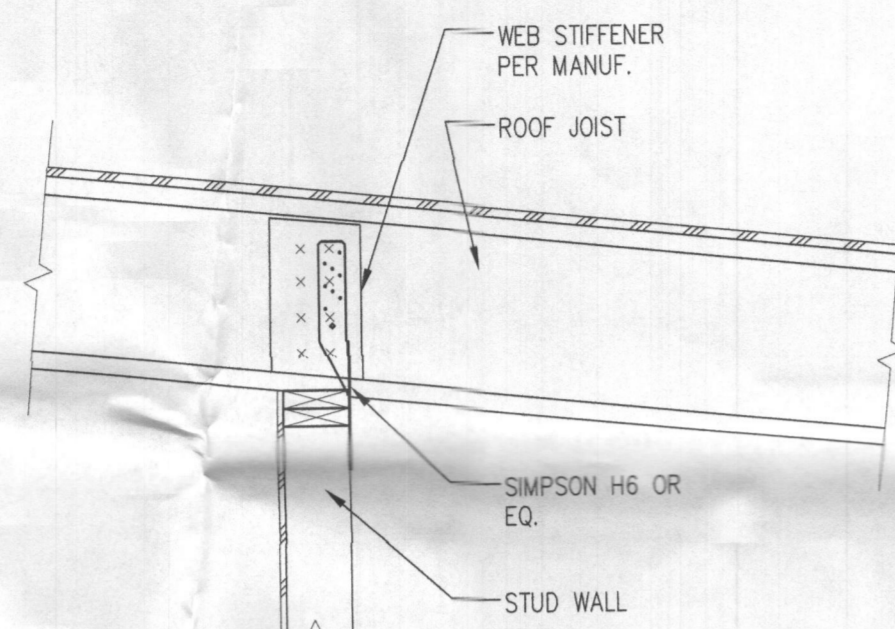
FRAMING DETAILS

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ALL RIGHTS RESERVED
Sheet No.

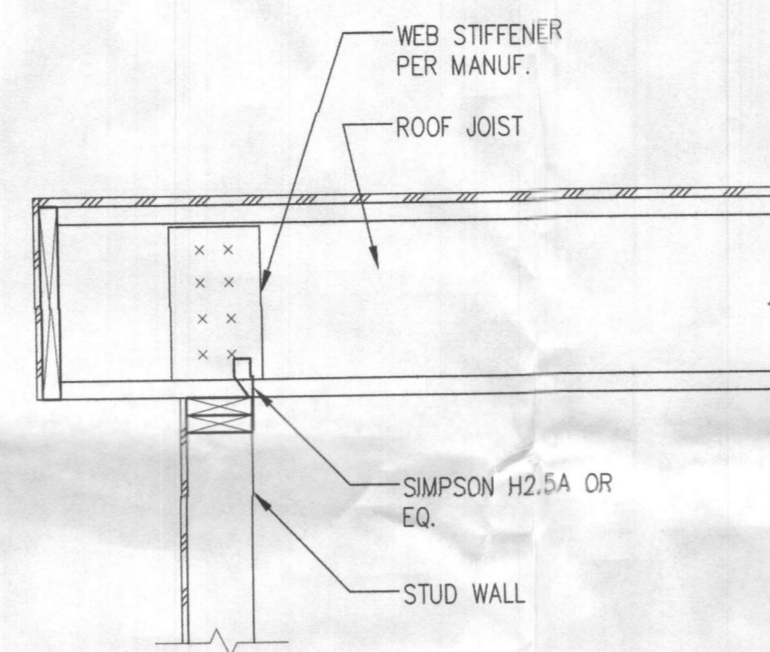
S007



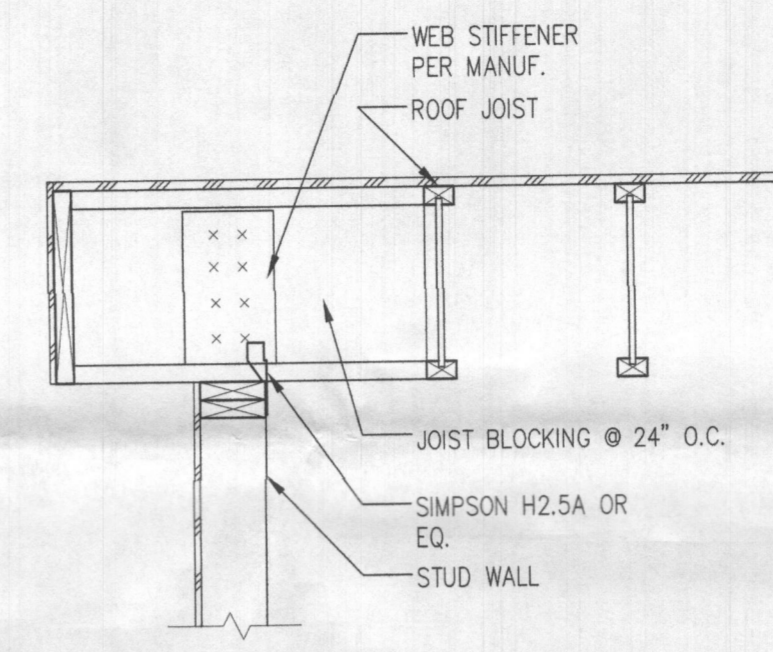
SECTION 1
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S007



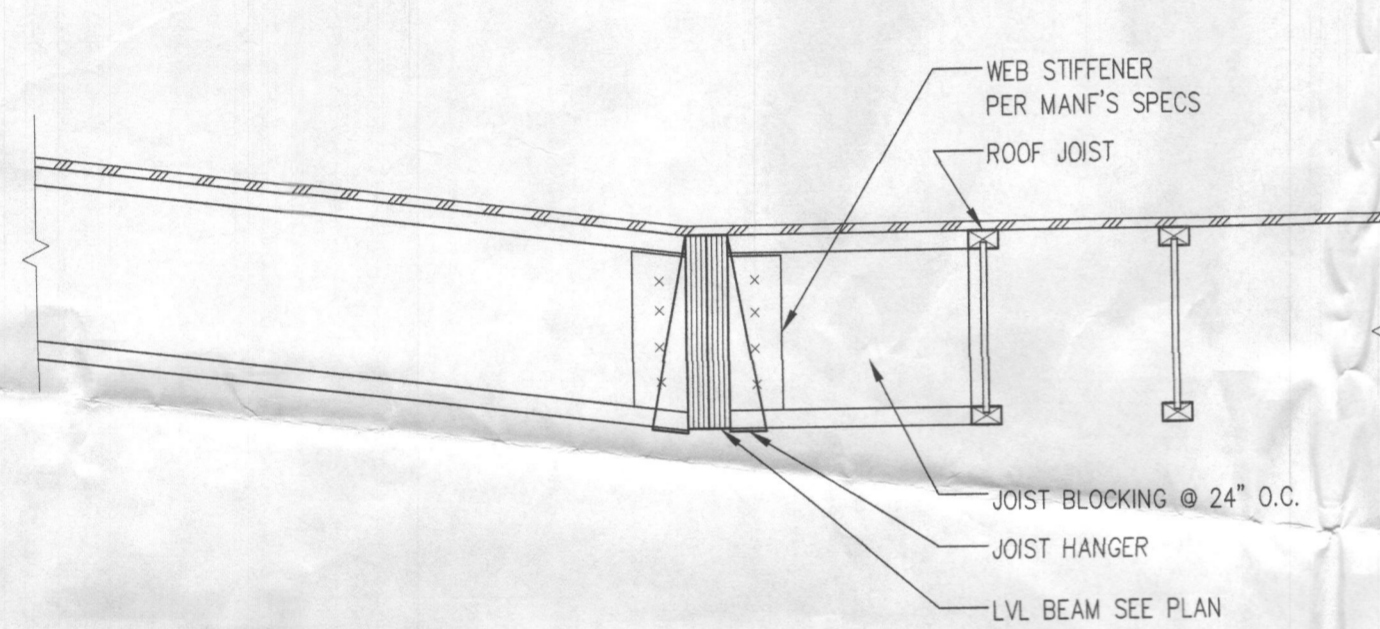
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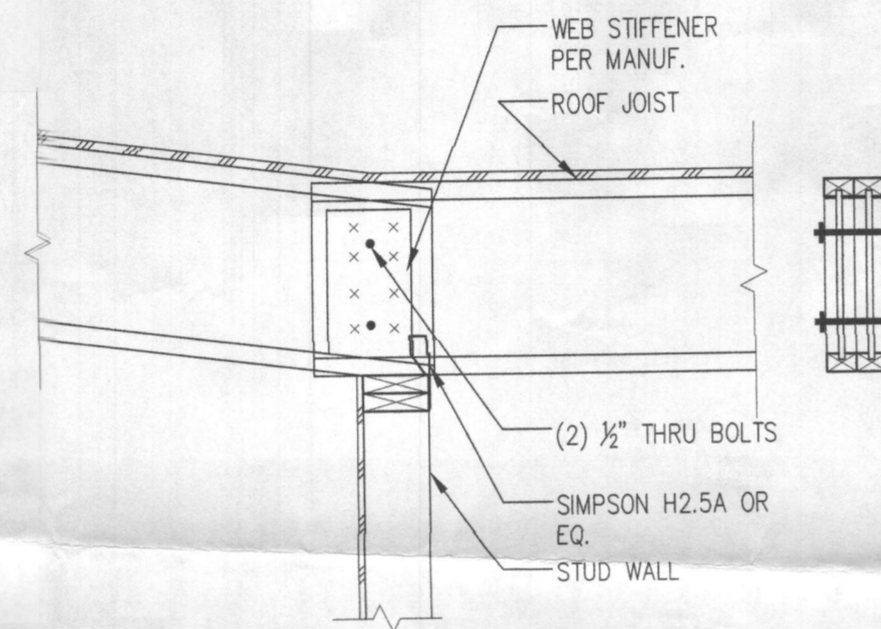
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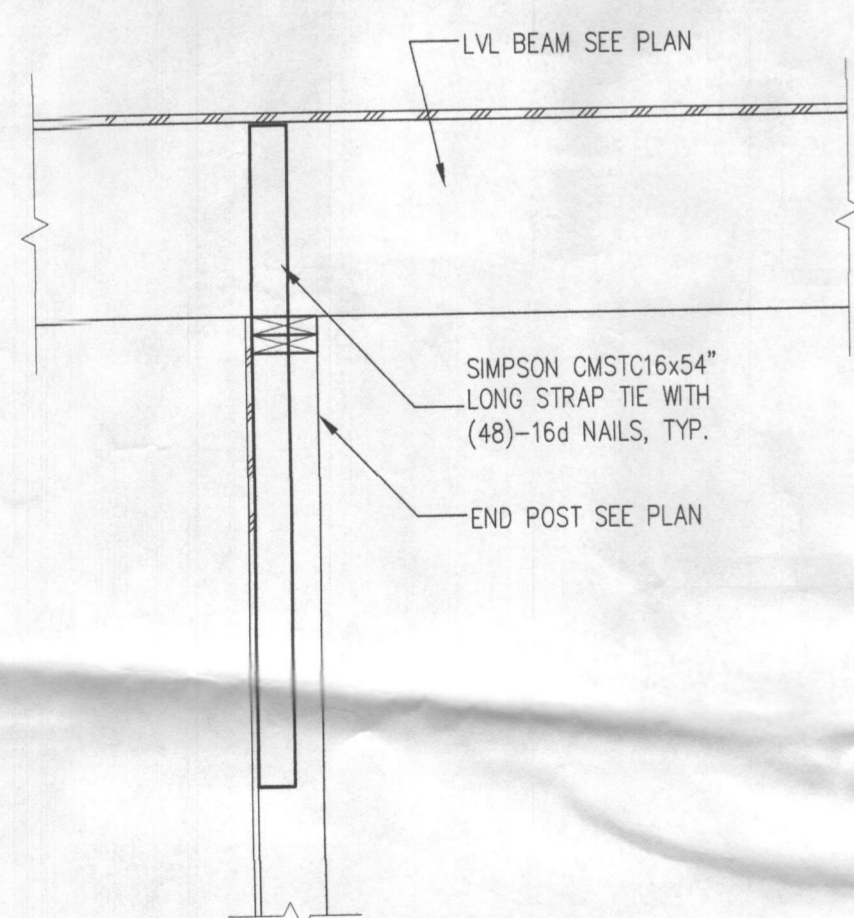
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NOT TO SCALE
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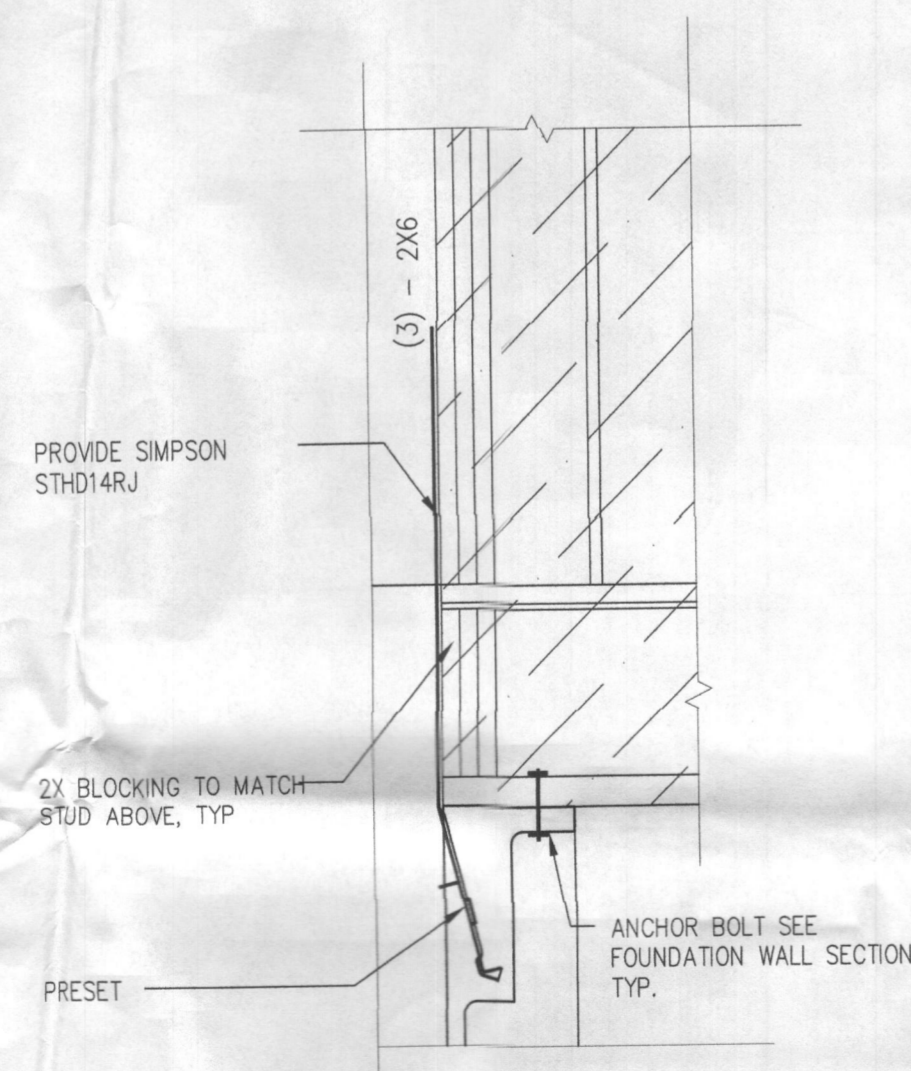
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NOT TO SCALE
S007



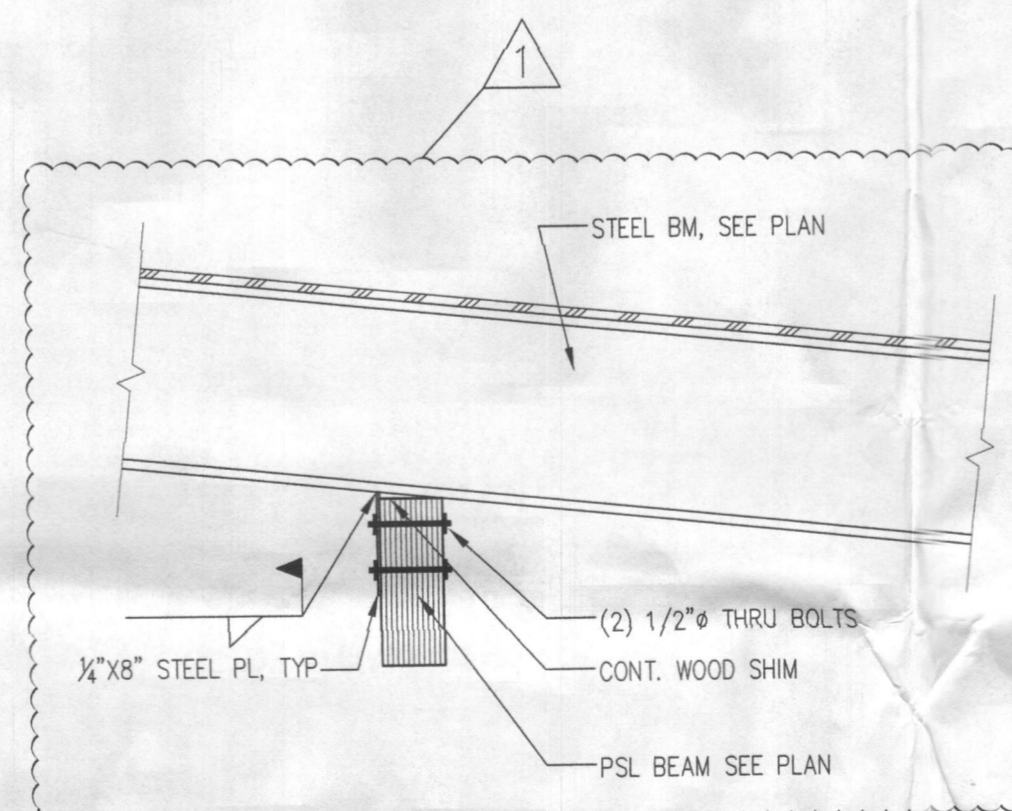
SECTION 6
NOT TO SCALE
S007



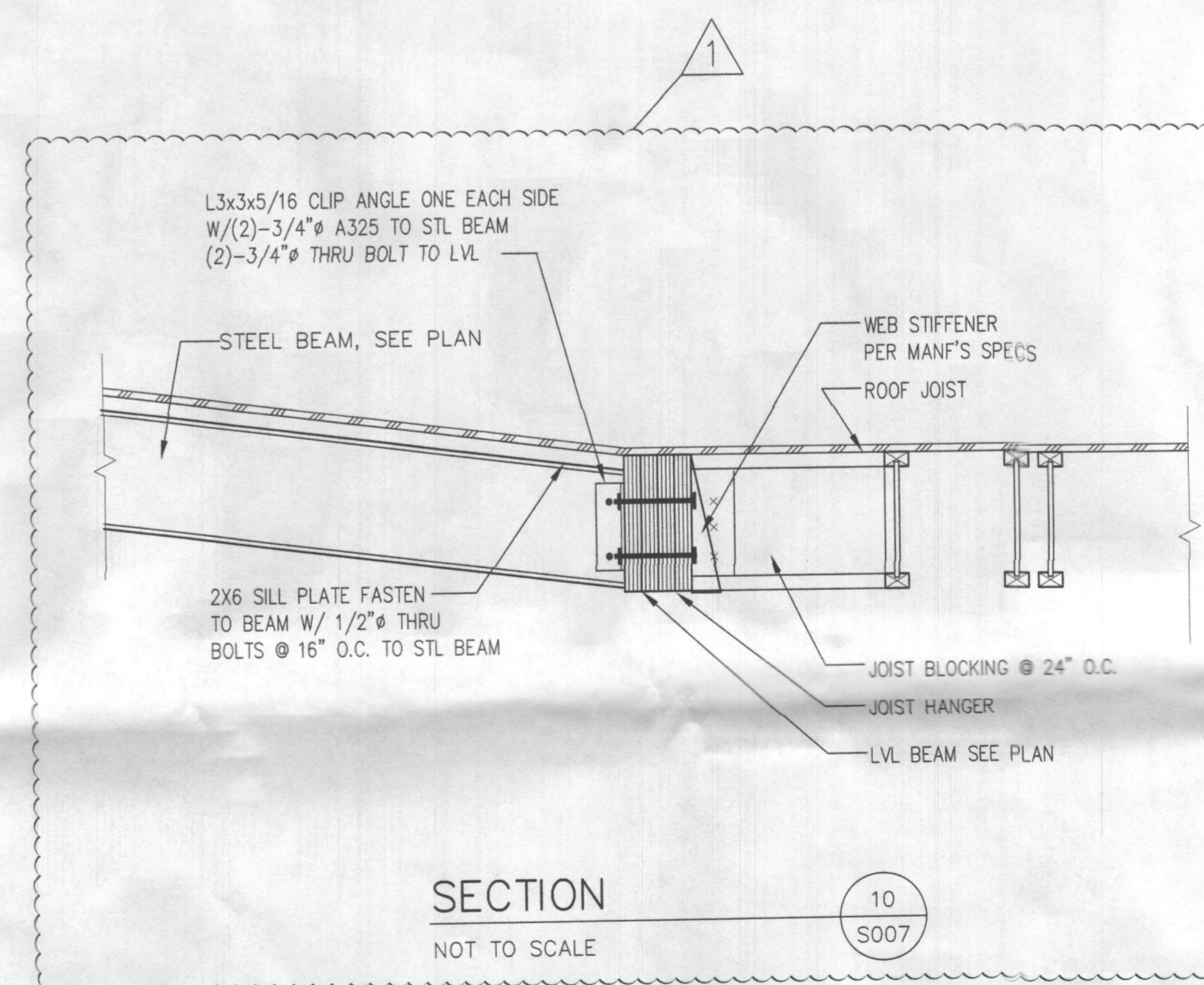
SECTION 7
NOT TO SCALE
S007



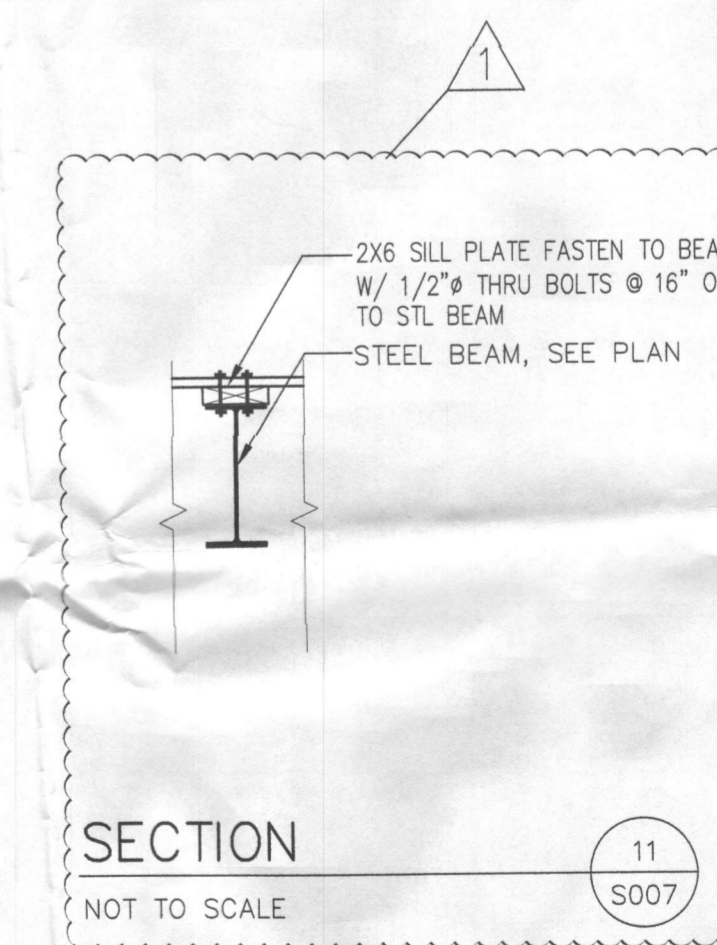
SECTION 8
NOT TO SCALE
S007



SECTION 9
NOT TO SCALE
S007



SECTION 10
NOT TO SCALE
S007



SECTION 11
NOT TO SCALE
S007